

# **City of Norcross**

*65 Lawrenceville Street*

*Norcross, GA 30071*



## **Meeting Agenda**

**Tuesday, January 27, 2026**

**6:00 PM**

**2nd Floor Conference Room**

### **Regular Meeting**

**Jeff Hopper, Chair**

**Barbara Grayson, Vice Chair**

**Hugh Cooper**

**Naim Harrison**

**Bill McLees**

**A. Call to Order**

Roll Call (recorded)

**B. Approval of Previous Meetings Minutes**

[Architectural Review Board RegularMeeting Minutes 12 18 2025v2](#)

**C. Unfinished Business****D. New Business**

- 1. 2026-36: COA2025-003, 633 Sunset Drive**  
Revisions to Right Side of Garage/Accessory Dwelling Unit.

Attachments:

1. Staff Report - COA2025-003
2. REVISED PLAN SET
3. Revised Application redacted
4. Clearance Letter
5. Approved Building Elevations
6. ZBA2025-007\_Clearance Letter

- 2. 2026-37: COA2025-055, 275 Summerour St.**  
Construction of 14 Townhomes

Attachments:

1. Staff Report
2. Color Samples 12-2-25
3. Index 12-2-25
4. Redacted Application
5. Approved Elevations
6. ZBA2024-007\_Decision Letter

- 3. 2026-38: COA2025-056, 6028 Lanier Boulevard**  
Addition of two rear extensions and a new front porch.

Attachments:

1. Staff Report
2. Application redacted

- 4. 2026-39: COA2025-057, 3040 Holcomb Bridge Road**  
Upgrade Façade and Exterior Paint to Existing Office Building

Attachments:

1. Staff Report
2. Application redacted

**E. ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA**

**F. Adjourn**

# City of Norcross

*65 Lawrenceville Street*

*Norcross, GA 30071*



## Meeting Minutes

Tuesday, December 16, 2025

6:00 PM

2nd Floor Conference Room

## Architectural Review Board

Jeff Hopper, Chair

Barbara Grayson, Vice Chair

Naim Harrison

Bill McLees

Hugh Cooper

**A. Call to Order**

The meeting was called to order by Chair Jeff Hopper at 6:01 pm.

Attendee Name	Title	Status	Arrived
Jeff Hopper	Chair	Present	
Barbara Grayson	Vice Chair	Present	
Naim Harrison	Board member	Present	
Bill McLees	Board member	Present	
Hugh Cooper	Board member	Absent	

**B. Approval of Previous Meetings' Minutes**

A motion to approve the December 16, 2025, meeting minutes of the Architectural Review Board.

RESULT: APPROVED [UNANIMOUS]

MOVER: Jeff Hopper, Board Chair

SECONDER: Barbara Grayson, Vice Chair

AYES: Hopper, McLees, Grayson, Harrison

**C. Unfinished Business****D. New Business****1. 2025-355: COA2025-051 - 831 South Peachtree Street****Discussion:**

- The applicant spoke briefly about the proposal and the need for additional storage.
- The property's one-story office building is currently occupied by a roofing contractor.
- Jeff Hooper asked about the location and the surrounding uses.
- Bill McLees, who is the architect on the board, asked about the roofing plan and how the addition was going to be attached to the existing office.

**Vote:**

A motion to approve application COA2025-051 to all Storage to an Existing Office Building, with the following conditions:

1. Hardie plank on the front and left elevation;
2. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval;
3. The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance, if applicable.
4. Any changes from the Architectural Review Board-approved component shall require ARB approval at another public hearing; and

An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

## **E. ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA**

### **1. 2025-356: Project Overview presented by Bruce Fernald**

- Staff introduced the presenter and reminded the ARB and citizens in attendance that the presentation was not up for a vote. The applicant will be going through the rezoning process starting in February, and since the zoning district requested is not a PRD, Planned Residence District, the applicant's building plans will be reviewed by the ARB separate from the rezoning review done by the Planning and Zoning Board and Mayor and Council.
- The presentation included a discussion about
  - Crooked Creek and the proposed pedestrian bridge
  - Overflow parking
  - Townhomes
  - Greenways
  - Multifamily component
  - Existing conditions

#### Public Comment

- Cindy Flynn:
  - Apartments to Homeownership Ratio
  - Median income of those who live in Norcross
  - Additional traffic entering onto Holcomb Bridge Road

## **F. Adjourn**

Jeff Hopper motioned to adjourn the meeting at 7:12 pm, seconded by Barbie Grayson. The vote was unanimous 4-0



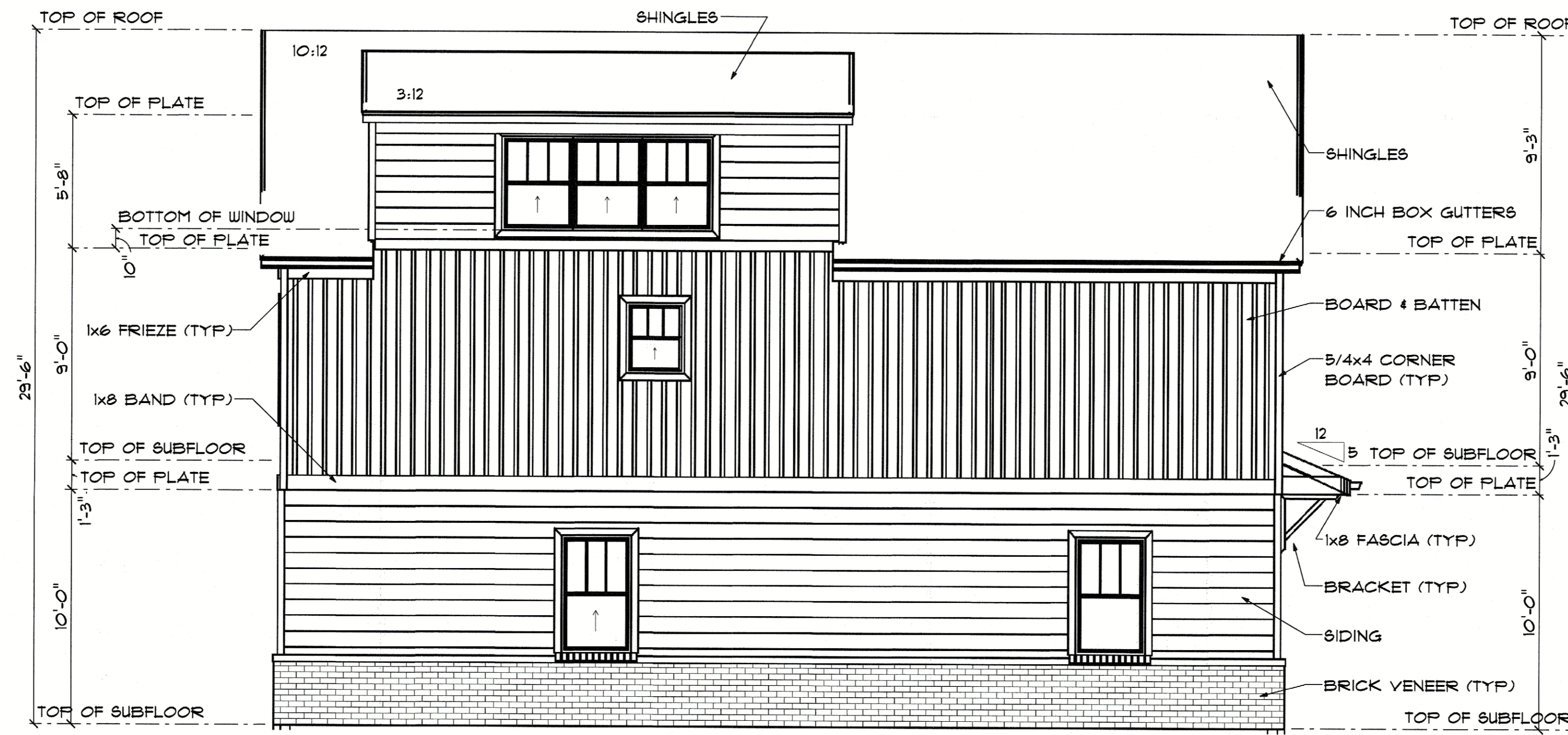
## Certificate of Appropriateness

<b>Case Number</b>	<b>Revision to COA2025-003</b>
<b>Hearing Date</b>	January 27, 2026
<b>Petitioner</b>	Blake Manton
<b>Property Location</b>	633 Sunset Drive
<b>Current Zoning</b>	R100
<b>Proposed Zoning</b>	N/A
<b>Proposed Structure</b>	Revisions to Right Side of Garage/Accessory Dwelling Unit
<b>Character Area</b>	Character Area 4: North Peachtree Street Neighborhoods
<b>Site Acreage</b>	.91 Acres
<b>District</b>	6
<b>Land Lot</b>	254
<b>Parcel #</b>	6254 243
<b>Taxes Paid</b>	N/A
<b>Historic District</b>	N/A

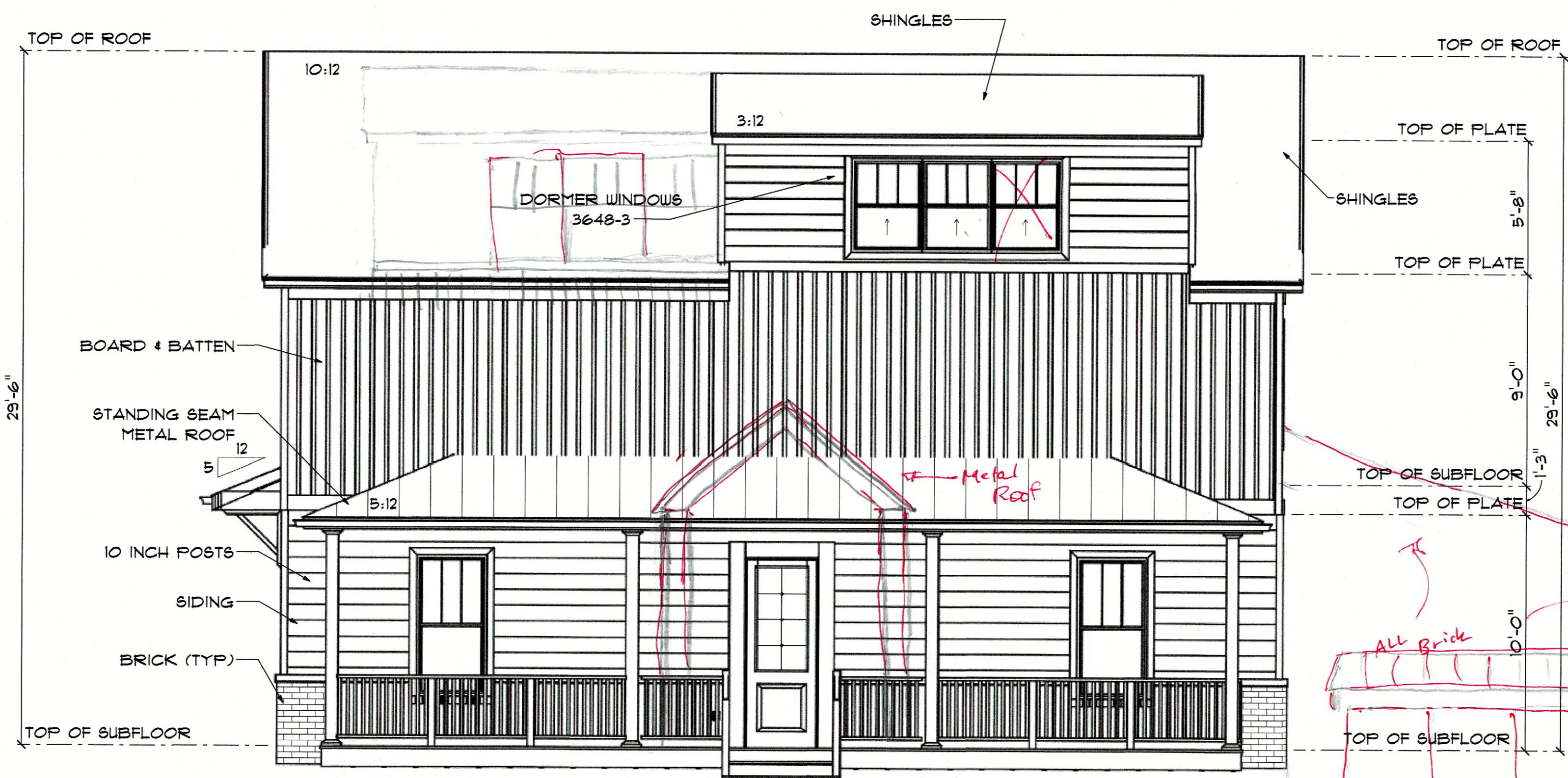
### **COMMUNITY DEVELOPMENT AND PLANNING DEPT. RECOMMENDATIONS**

Should the ARB decide to grant approval, Staff recommends the following conditions:

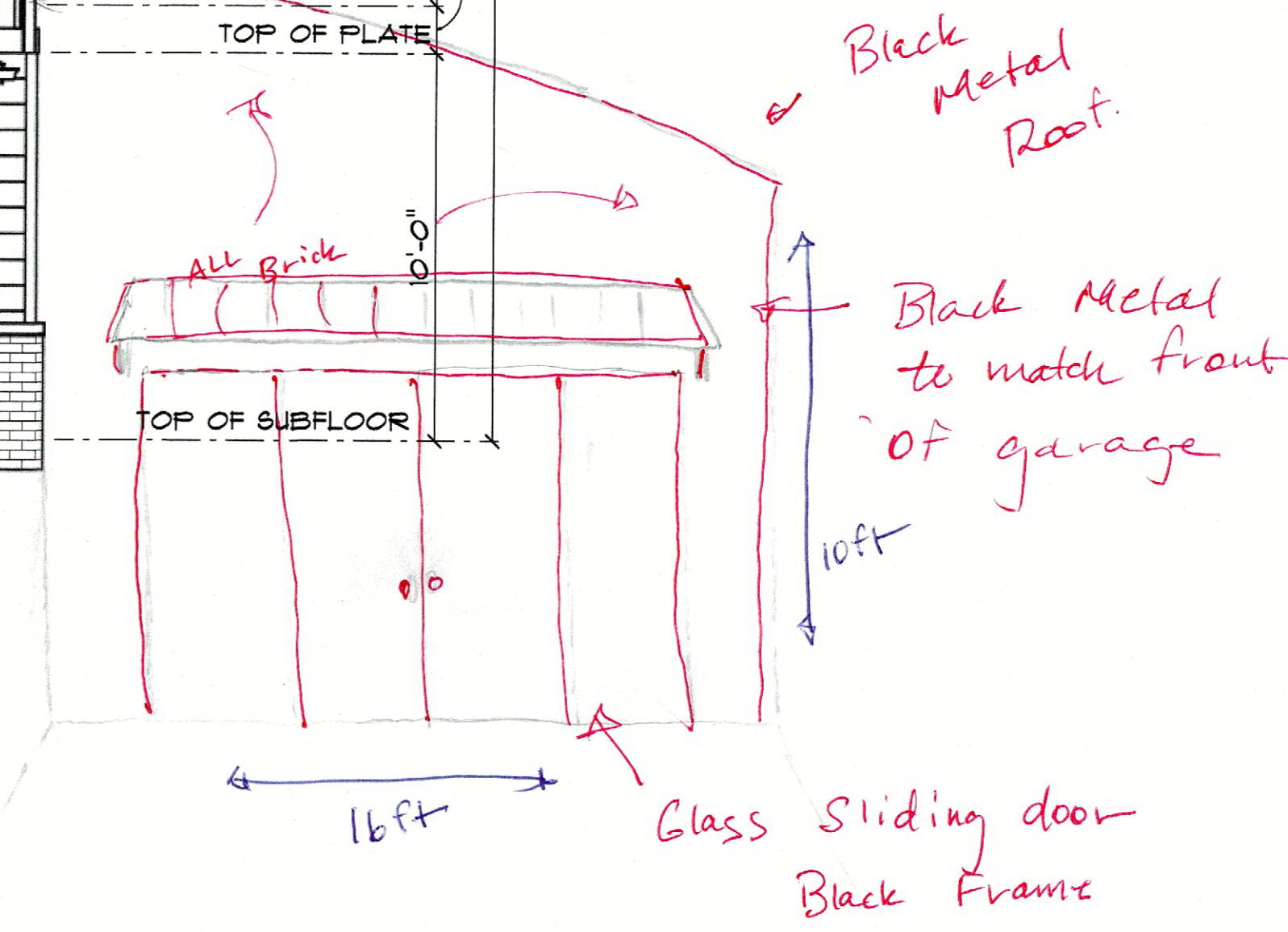
1. All conditions, not otherwise in conflict, to remain in effect.
2. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
3. The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance, if applicable.
4. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
5. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"





# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address: <i>633 Sunset Drive</i>	Lot #	Tax Parcel ID: <i>6254 243</i>	
LANDOWNER OF RECORD			
<b>If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.</b>			
Name: <i>Blake Manton</i>	Phone: <span style="background-color: black; color: black;">[REDACTED]</span>		
Address: <i>633 Sunset Drive</i>	City: <i>Norcross</i>	State: <i>GA</i>	Zip Code: <i>30071</i>
APPLICANT			
Applicant Name: <i>same</i>	Phone:		
Company Name:	Email:		
Address:	City:	State:	Zip Code:
DESCRIPTION OF PROJECT			
Project Type <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:  <i>New gable and addition on rear</i>			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
If yes, please list the board and reference number: <i>COA 2025-003</i>			
OWNER'S SIGNATURE			
Signature:	Date: <i>12/5/2025</i>		
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <a href="https://eplansolution.com/norcrossga">https://eplansolution.com/norcrossga</a> Hard copies of application materials will not be accepted.			



# Certificate of Appropriateness Application

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Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width: 29.8'	Length: 36.8'	Height:* 29.9
Area Dimensions:		
First Floor:	Second Floor:	Third Floor:
Basement**:	Front Porch:	Rear Porch:
Patio:	Garage:	
Primary Roof System: (Circle One)		
Gable	Hip	Gambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch: 12/4		
Secondary Roof Pitch: 12/5		
Additional Roof Pitch: 12/10	and additional on rear	
Floor and Elevation Plan Information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan Information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		



# Certificate of Appropriateness Application

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COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	General Slate - 30-10-32 Old Georgian Tudor	Brick
Garage Doors	CHF - 5300	Steel
Trim	Alabaster SW - 7008	Wood
Mortar	Gray	Type S
Gutters	<del>White</del> Alabaster SW - 7008	Metal
Corner Board	Alabaster SW - 7008	Wood
Railings	Alabaster - SW 7008	Wood
Windows	Alabaster - SW 7008	Wood
Window Sills	Alabaster - SW 7008	Wood
Window Muntin/Mull		
Columns	Alabaster SW 7008	Wood
Other Architectural Features	Metal Roof SW - 7069 - Iron Ore	Metal
Other Architectural	Front Door / Shutters	Wood

↳ SW - 9560 / SW 7069 - Wood



# Certificate of Appropriateness Application

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 65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First		
Primary Façade:		
Primary Façade: Third		
Left Side:		
Left Side: Second		
Left Side: Third		
Left Side:		
Right Side:		
Right Side: Second		
Right Side:		
Right Side:		
Rear: First		
Rear: Second		
Rear: Third		
Rear: Basemnt		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
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## ARCHITECTURAL REVIEW BOARD MEETING CALENDAR

Pre-Application Submittal Deadline	Application Submittal Deadlines	ARB Meeting
12/01/2024	12/08/2024	01/21/2025
12/30/2024	01/06/2025	02/18/2025
01/27/2025	02/03/2025	03/18/2025
02/24/2025	03/03/2025	04/15/2025
03/31/2025	04/07/2025	05/20/2025
04/28/2025	05/05/2025	06/17/2025
05/26/2025	06/02/2025	07/15/2025
06/30/2025	07/07/2025	08/19/2025
07/28/2025	08/04/2025	09/16/2025
09/01/2025	09/08/2025	10/21/2025
09/29/2025	10/06/2025	11/18/2025
10/27/2025	11/03/2025	12/16/2025

## HISTORIC PRESERVATION COMMISSION MEETING CALENDAR


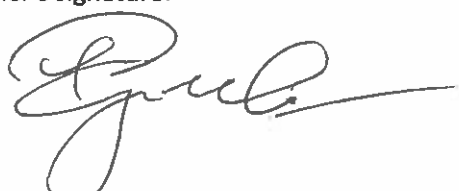
Pre-application Meeting Deadline	Application Submittal Deadline	Historic Preservation Commission Meeting
12/01/2024	12/08/2024	01/22/2025
01/06/2025	01/13/2025	02/26/2025
02/03/2025	02/10/2025	03/26/2025
03/03/2025	03/10/2025	04/23/2025
04/07/2025	04/14/2025	05/28/2025
05/05/2025	05/12/2025	06/25/2025
06/02/2025	06/09/2025	07/23/2025
07/07/2025	07/14/2025	08/27/2025
08/04/2025	08/11/2025	09/24/2025
09/01/2025	09/08/2025	10/22/2025
10/06/2025	10/13/2025	11/26/2025
11/03/2025	11/10/2025	12/24/2025

ARCHITECTURAL REVIEW BOARD/ HISTORIC PRESERVATIONS REVIEW FEES		
Commercial/Industrial Major Reviews	Major Project Reviews	\$500
Commercial/Industrial Reviews	Minor improvements to façade	\$150
Residential Major Review	New Residential Construction in the City or Historic District	\$150
Residential Minor/Administrative Staff Review	Minor improvements or alterations in the City or Historic District/Administrative Staff Review	\$25
Historic Demolition	Historic Demolition Review	\$500



# Owner Affidavit

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

<b>Section I. Land Ownership</b>	
I, [REDACTED], hereby attest to ownership of the property located at [REDACTED], Parcel ID# [REDACTED] for which this Application is submitted. The Ownership, as recorded on the deed, is in the name of [REDACTED].	
<b>Section II. Type of Ownership</b>	
<input checked="" type="checkbox"/> Individual <input type="checkbox"/> Corporation/LLC <input type="checkbox"/> Partnership <input type="checkbox"/> Government	
Corporation/LLC/Partnership Name:	Secretary of State Registration Number:
[REDACTED]	[REDACTED]
Registered Agent Name:	
Provide Names of all Officers/Members/General Partners (If applicable):	
Registered Agent Address:	Registered Agent Phone #:
<b>COMPLETE BY OWNER</b>	
As the owner of the above designated property for which this affidavit is submitted, I wish to allow _____ (applicant's name) to apply for a <u>Blake Manton</u> for the address mentioned in Section I of this form. I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief.	
<b>NOTARY</b>	
Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.	Sworn and subscribed before me this <u>5</u> day of <u>December</u> , 20 <u>25</u> . Notary Public: <u>Sarai Baguerizo</u>
Name: <u>Blake Manton</u>	Seal:   Commission expires: <u>Sep 12th, 2027</u>
Address: <u>633 Sunset Drive</u>	
City, State, Zip Code: <u>Norcross Ga 30071</u>	
Email address: [REDACTED]	
Phoner Number: [REDACTED]	
Owner's signature: 	



**Mayor:** Craig Newton • **Mayor Pro Tem:** Marshall Cheek • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare  
**Councilmember:** Matt Myers • **Councilmember:** Bruce Gaynor • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

May 21, 2025

Blake Manton  
633 Sunset Drive  
Norcross, GA 30071

RE: COA2025-003: 633 Sunset Drive

Dear Blake,

Your application, COA2025-003, a consideration of a detached garage with an accessory dwelling unit has been reviewed by the City of Norcross Planning Staff, and heard by the Architectural Review Board on May 20, 2025. After careful review and consideration, your application was **approved**, with the following conditions:

1. Paint color to match house paint color.
2. Left elevation: 3 over 1 windows on first floor.
3. Right elevation: Replace two doors with 3 over 1 windows.
4. Right elevation: Door installed at center of patio with steps leading off patio.
5. Columns to match house columns in size and color.
6. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
7. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.



**Mayor:** Craig Newton • **Mayor Pro Tem:** Marshall Cheek • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare  
**Councilmember:** Matt Myers • **Councilmember:** Bruce Gaynor • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

8. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

Compliance with the UDO shall be shown when submitting construction documents as part of the building permit process. If you have any questions, contact our office at 678-421-2027.

Sincerely,

LeDarius Scott, Senior Planner  
City of Norcross

Approved Elevations under  
COA2025-003

NEVER SCALED.  
5. THESE PLANS ARE NOT TO BE COPIED OR REPRODUCED IN ANY FORM FOR CONSTRUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DESIGNER.  
6. ALL LOAD BEARING WALLS, BEAM SUPPORTS AND RAFTER BRACING SHOULD CARRY LOAD THRU ALL LEVELS TO FOUNDATION AND BE SUPPORTED BY GRADE BEAMS OR FOOTINGS DESIGNED TO CARRY LOADS.  
7. ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.  
8. ALL STRUCTURAL BEAMS AND WALLS ARE TO BE DESIGNED BY A LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.  
9. FLOOR AND ROOF TRUSS DRAWINGS MUST BE PROVIDED BY TRUSS MANUFACTURER. PLUMBING AND HVAC PLANS MUST BE PROVIDED BY A LOCAL CONTRACTOR.  
10. DESIGNER ASSUMES NO LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS BY OTHERS.

ELECTRICAL NOTES:

1. VENT FANS TO COMPLY WITH CURRENT IRC REQUIREMENTS
2. ALL AFCI CIRCUIT BREAKERS TO BE INSTALLED AS PER CURRENT NEC REQUIREMENTS.
3. ALL OUTLETS TO BE INSTALLED PER CODE.
4. ALL SWITCHES ARE ROCKER SWITCHES
5. MAIN FLOOR OUTLETS TO BE INSTALLED HORIZONTALLY IN THE BASE MOUNDING (WHERE POSSIBLE).
6. KITCHEN OUTLETS TO BE INSTALLED HORIZONTALLY ALONG THE COUNTERTOP.

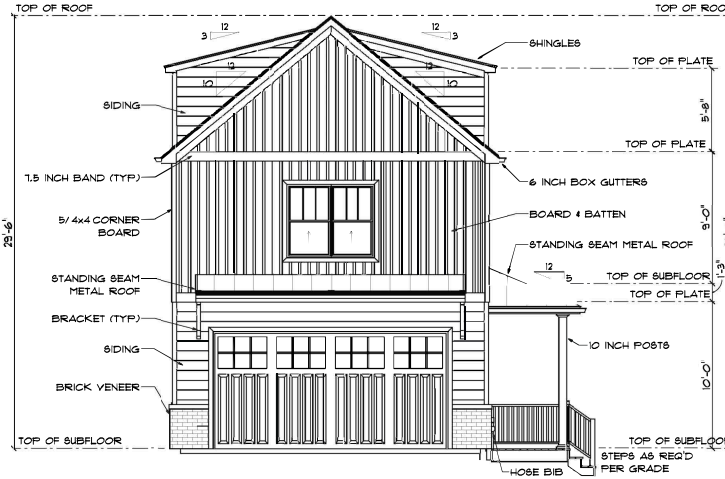
ROOFING NOTES:

1. ROOFING SHINGLES TO BE DIMENSIONAL ASPHALT SHINGLES WITH A 25-YEAR WARRANTY.
2. GUTTER PROFILE SIZE AND DOWNSPOUT LOCATIONS TO BE DETERMINED.
3. SOFFIT AND ROOF VENTING AS REQUIRED AND TO BE DETERMINED.
4. RAFTER SIZE AND ROOF BEAM SPECS PER ENGINEER.

FRAMING NOTES:

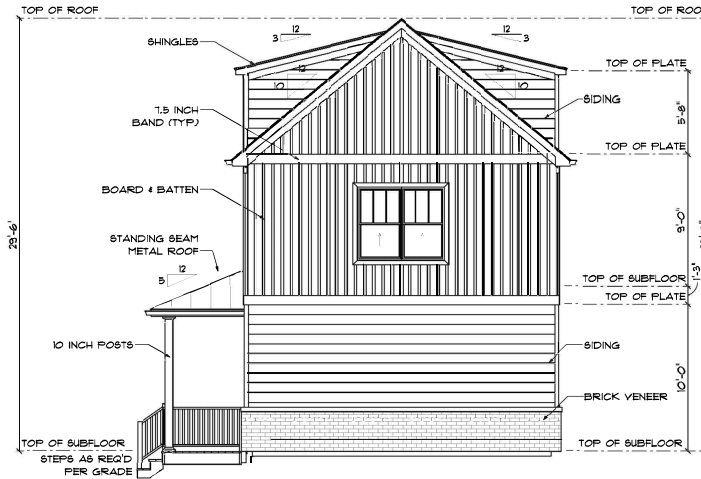
THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY. DUE TO A VARIANCE OF CODES PER REGION, PLEASE REFER AND COMPLY WITH ALL YOUR LOCAL CODES. CONSULT WITH LOCAL ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.

1. PROVIDE PURLINS AT MD HEIGHT OF ALL WALLS.
2. ALL JOIST AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.
3. ALL HEADERS SHALL BE 2-2X10'S WITH 1/2" PLYWOOD FLITCH PLATE UNLESS OTHERWISE NOTED.
4. FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.
5. PROVIDE 1X4 CROSS BRIDGING AT MD POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.
6. ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE BRACES WITH 1/2" CDX PLYWOOD. ALL SUBFLOOR PANELS SHOULD BE SPACED WITH A 1/8-INCH GAP AT ALL EDGES AND ENDS TO PROVIDE ROOM FOR NATURALLY OCCURRING EXPANSION, UNLESS PANEL IS DESIGNED WITH A SELF-GAP. PANELS TO BE GLUED DOWN, TWO PANELS AT A TIME, WITH A SOLVENT-BASED GLUE THAT MEETS ASTM D3499 PERFORMANCE STANDARDS AND SCREWED DOWN (NOT NAILED). SCREWS SHOULD BE SPACED 6 INCHES ON CENTER ALONG SUPPORTED PANEL EDGES AND 12 INCHES ON CENTER ON THE PANEL'S INTERIOR SUPPORTS, OR AS SPECIFIED ON THE CONSTRUCTION DRAWINGS. ALL PANEL EDGES SHOULD BE SUPPORTED WITH BLOCKING WHEN TONGUE & GROOVE IS NOT PRESENT (OPTION - APPROVED DIAGONAL CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS).
7. ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY LOAD.
8. PROVIDE DOUBLE 2X8 STRONGBACK AT MID-SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0".
9. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM.
10. HF, VALLEY RAFTERS, AND RIDGE BOARDS SHALL BE ONE "2X" SIZE LARGER THAN RAFTERS.
11. ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.
12. WHERE PRE-ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAMS OR FOOTING DESIGNED TO CARRY LOAD.
14. ALL BASEMENT WALLS, BEAMS, AND COLUMNS, TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
15. ALL SOLID FRAMING, COLUMNS, BEAMS, ETC., TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
16. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2 X 4 STUDS UNLESS OTHERWISE NOTED.



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

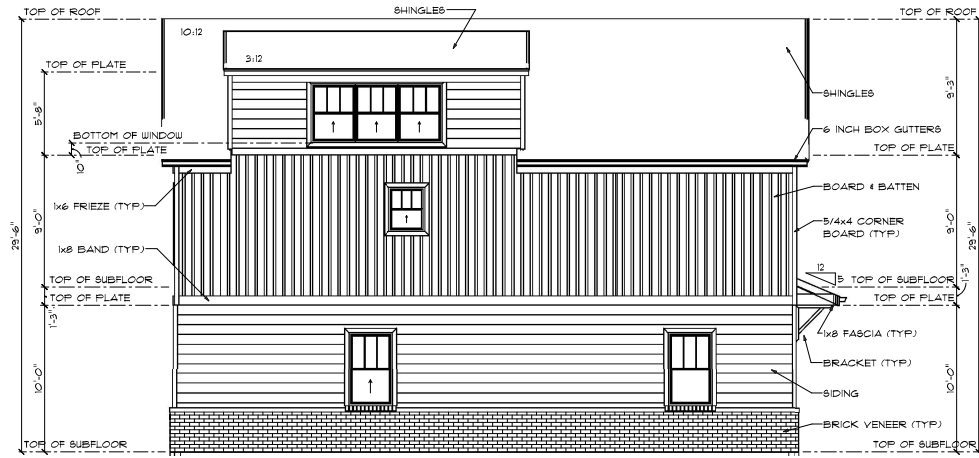
EXTERIOR COLOR SPECIFICATIONS			
CODE	COLOR	MANUFACTURER	LOCATION
SW 6385	Dover White	Shenwin Williams	Exterior Trim, Garage Door
8175D	Wild Grasses	Duron	Siding
	Black		Metal Roof*
	Black		Exterior Door*
	Same as Existing House		Roofing Shingles*
	White		Gutters*

\*COLORS TO MATCH THE EXISTING HOUSE

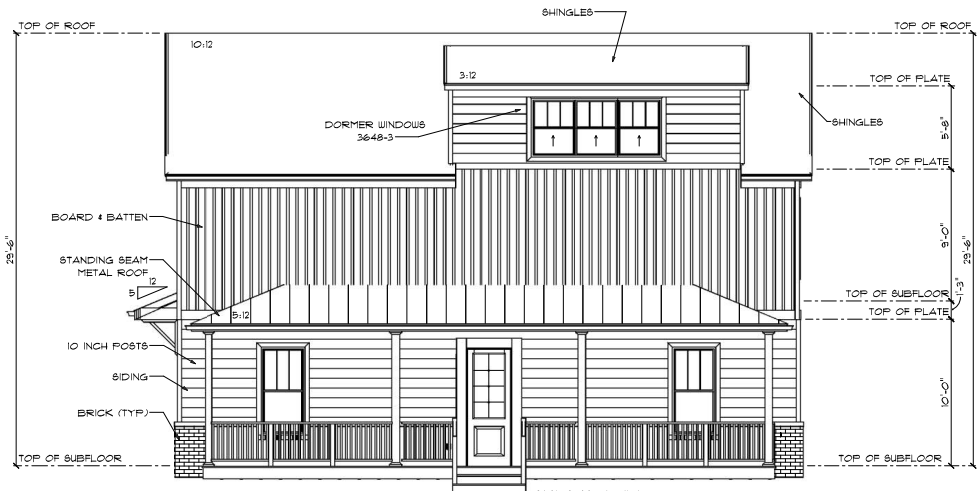
DRAWING SCHEDULE

Front & Rear Elevations	1
Left & Right Elevations	2
Slab Foundation	3
Main Floor Plan	4
Second Floor Plan	5
Electrical Plan	6
Ceiling Plan	7
Floor System	8
Roof System	9
Elevations	10

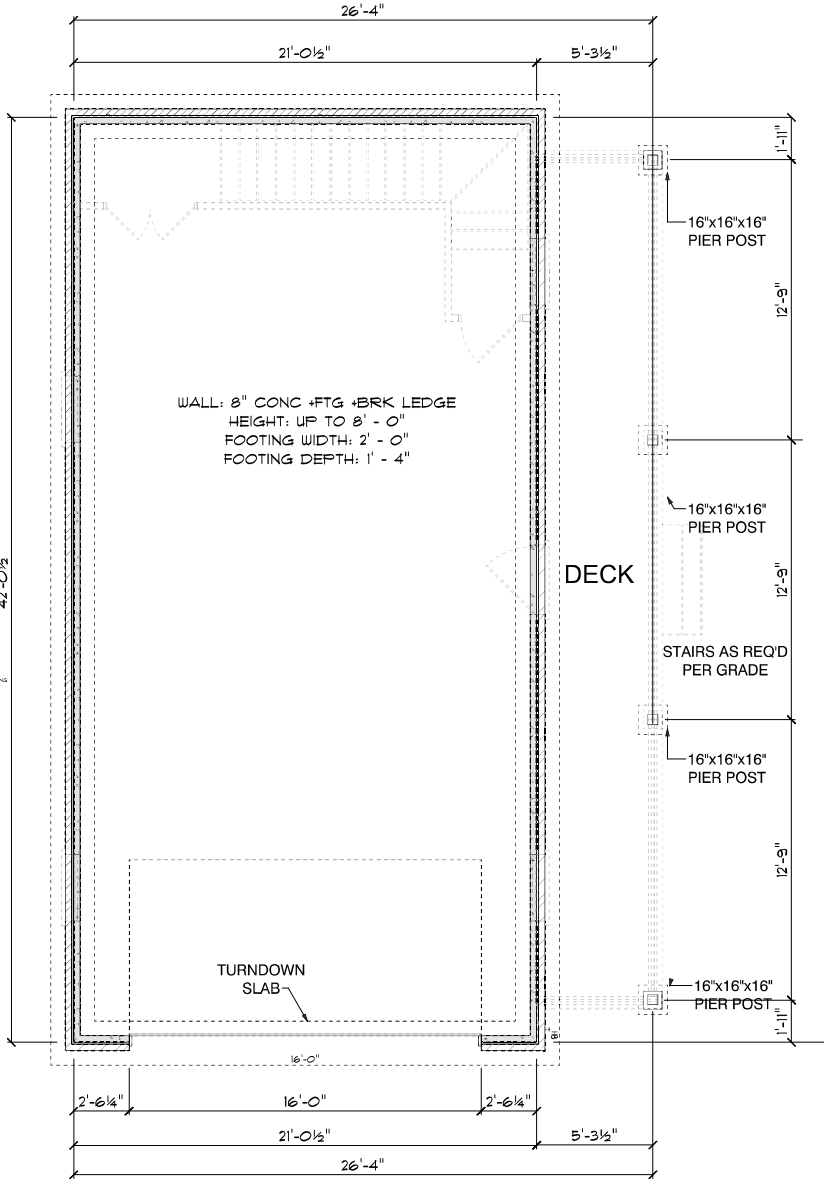
AREA SCHEDULE	
NAME	AREA
Deck Area	206 sq ft.
Garage Area	771 sq ft.
Heated Square Feet	846 sq ft.
Mech Area	24 sq ft.



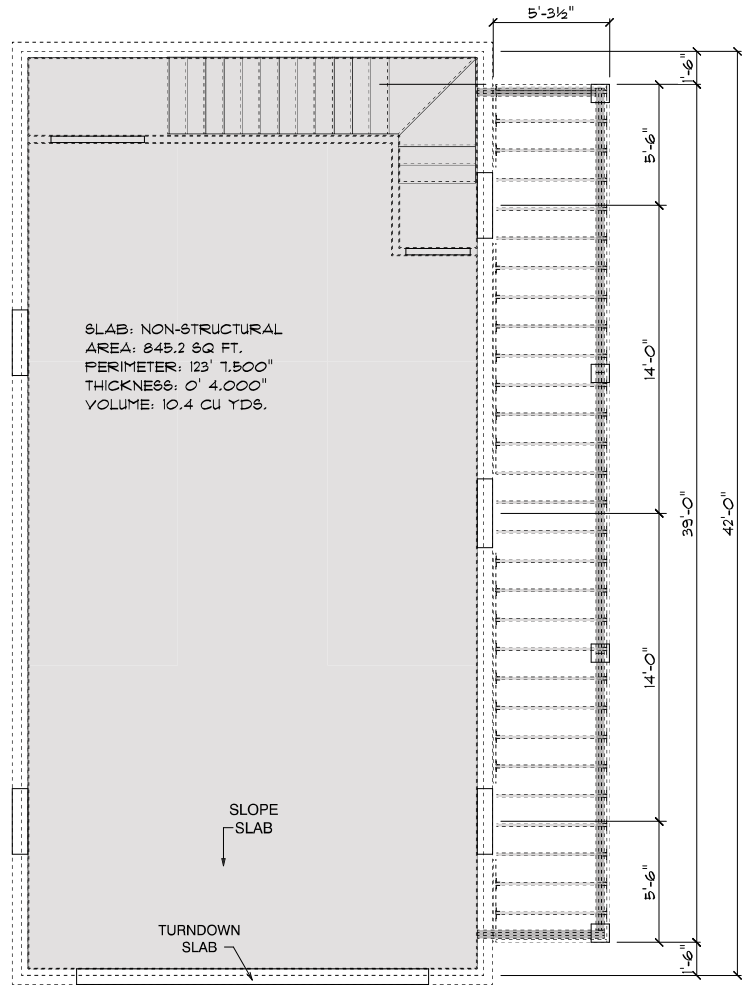
**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



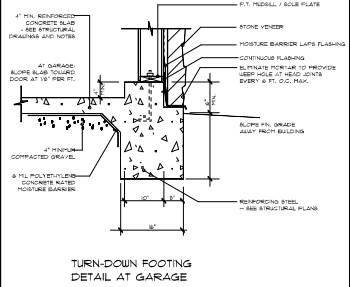
**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



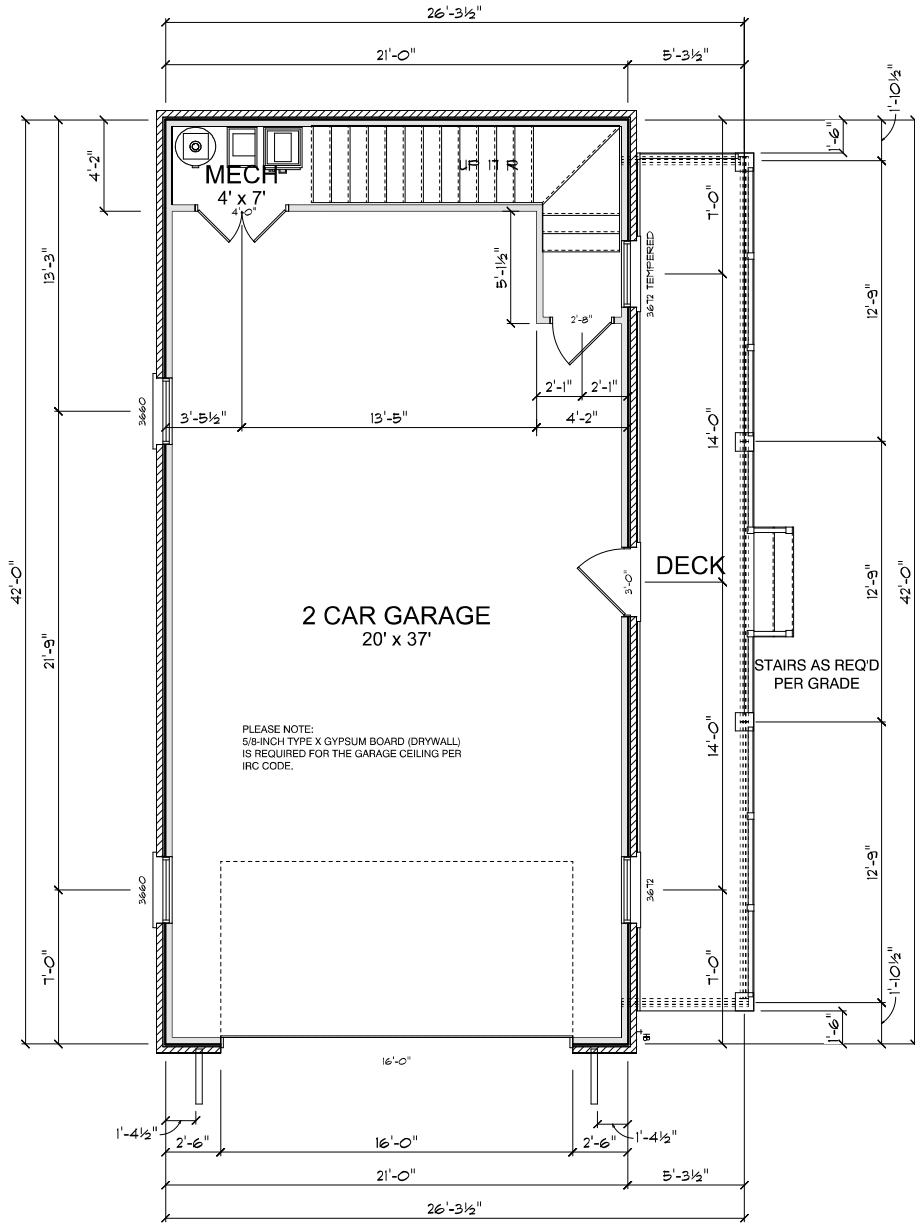
**FOUNDATION WALLS**  
 SCALE: 3/8" = 1'-0"



**SLAB FOUNDATION**  
 SCALE: 3/8" = 1'-0"

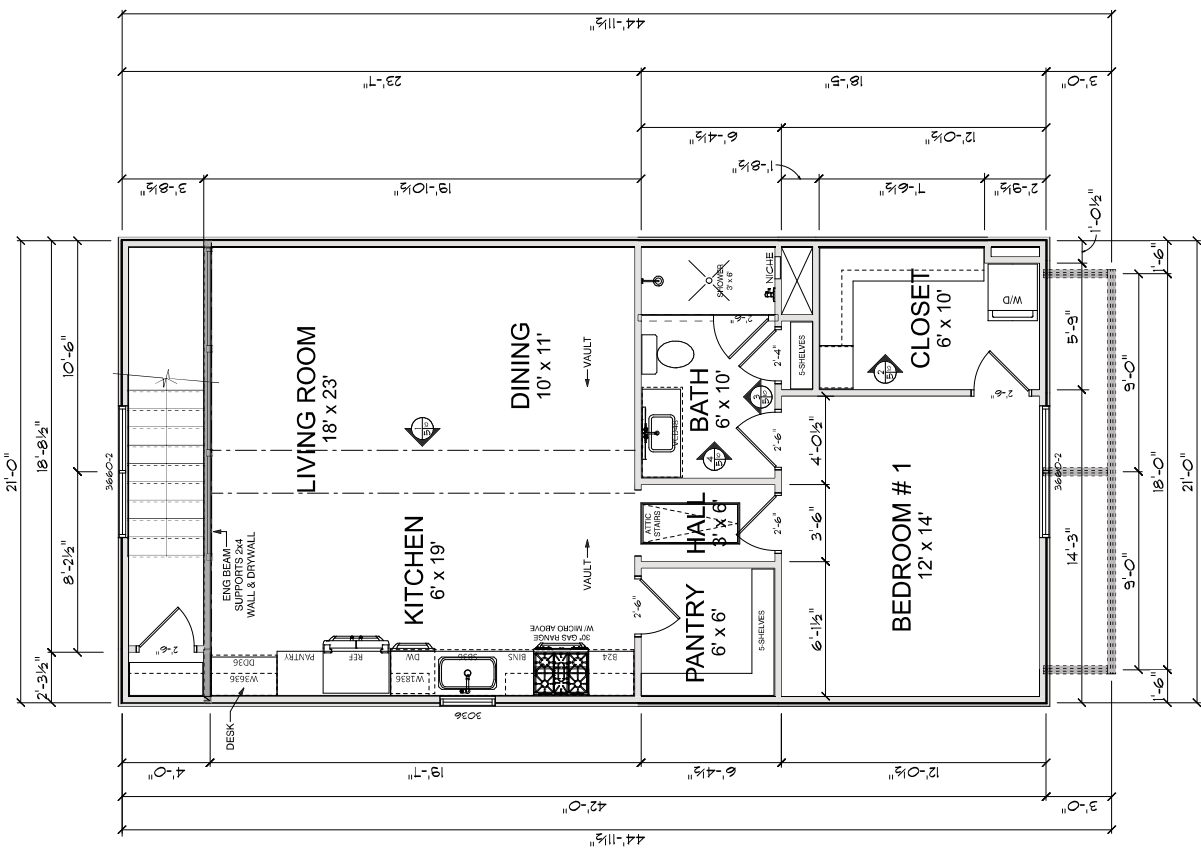


**MAIN FLOOR PLAN**  
SCALE: 3/8" = 1'-0"



PLEASE NOTE:  
SET MAIN FLOOR WINDOW &  
DOOR HEADERS AT 8'-0" A.F.F.  
UNLESS OTHERWISE NOTED

PLEASE NOTE:  
 SET MAIN FLOOR WINDOW & DOOR  
 HEADERS AT 6'-8" A.F.F. UNLESS  
 OTHERWISE NOTED

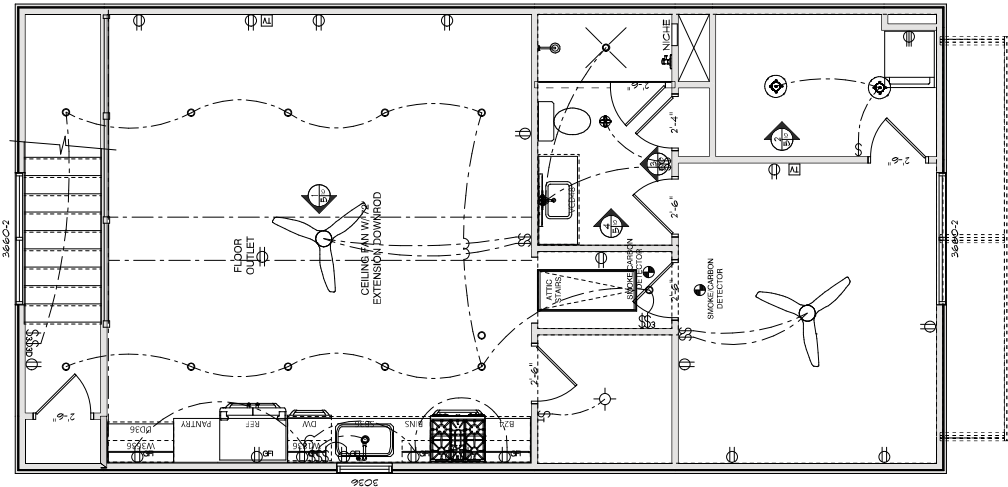


SECOND FLOOR PLAN  
 SCALE: 3/8" = 1'-0"

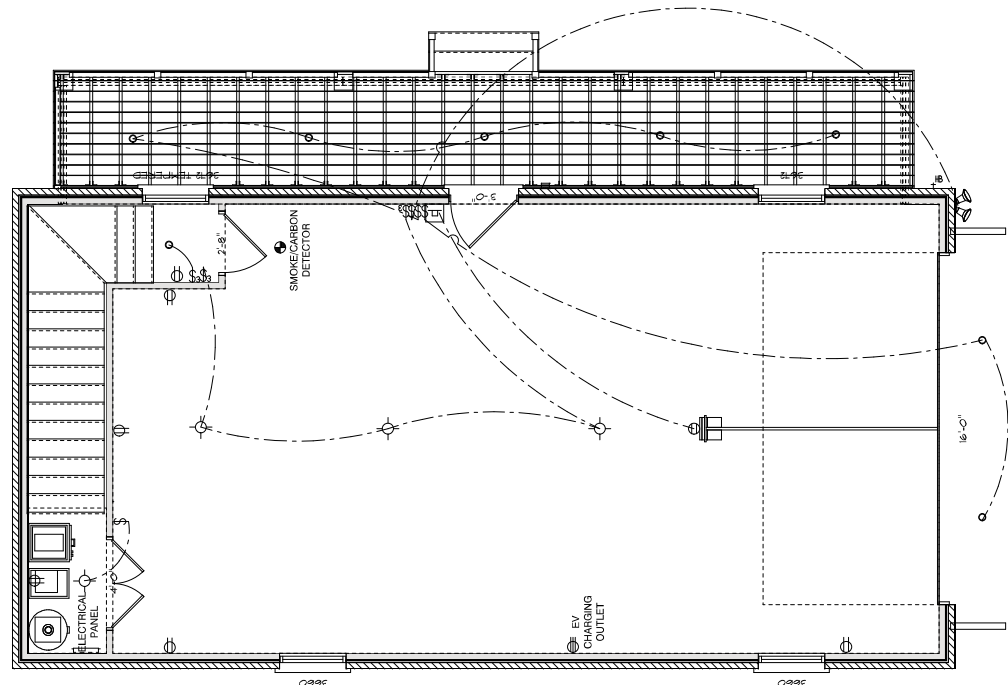
ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
Bath Fan	1	⊙
CableTV Outlet	2	⊙
Can Light 5-inch	22	⊙
Ceiling Fan	2	⊙
Ceiling Light LED (enclosed)	2	⊙
Ceiling Mounted Light Fixture	5	⊙
Ceiling Receptacle Duplex	1	⊙
Continuous Light (Cabinet)	127,000*	—
Dimmer Switch 3-way	1	⊙
Electrical Panel	1	⊙
EV Outlet NEMA 14-50	1	⊙
Floodlight Double with Motion Detector	1	⊙
Floor Receptacle Duplex	1	⊙
Garage Door Opener	1	⊙
Outlet	19	⊙
Outlet - Exterior Waterproof	1	⊙
Outlet 220v	2	⊙
Outlet GFI	6	⊙
Smoke/Carbon Detector	3	⊙
Switch - Rocker Style	3	⊙
Switch - Timer Switch	1	⊙
Switch 3 way - Rocker Style	5	⊙
Switch Double - Rocker Style	3	⊙
Switch Triple - Rocker Style	2	⊙
Wall Vanity Light Fixture	1	⊙

**ELECTRICAL NOTES:**

1. VENT FANS TO COMPLY WITH CURRENT IRC REQUIREMENTS
2. ALL AFCI CIRCUIT BREAKERS TO BE INSTALLED AS PER CURRENT NEC REQUIREMENTS.
3. ALL OUTLETS TO BE INSTALLED PER CODE.
4. ALL SWITCHES ARE ROCKER SWITCHES



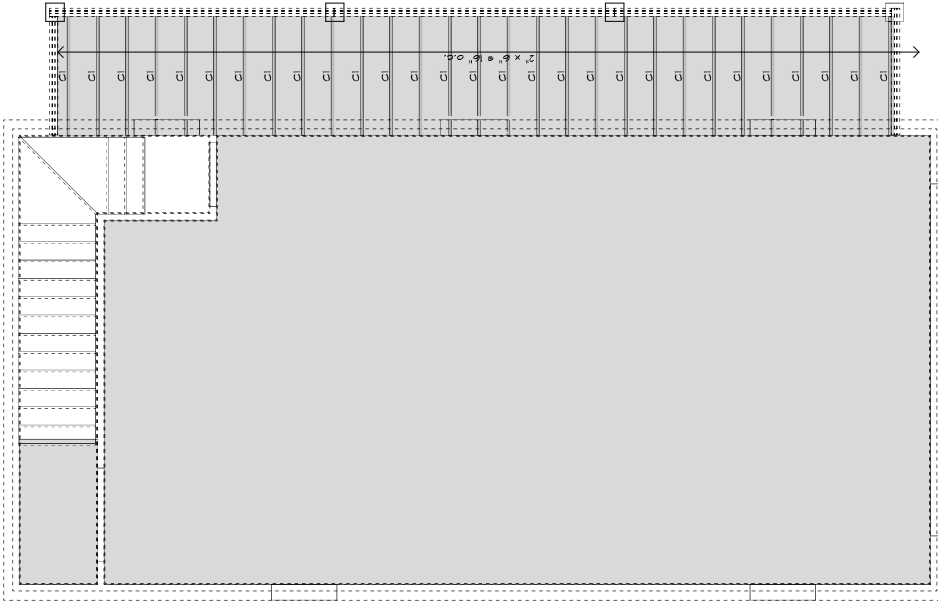
**ELECTRICAL PLAN - SECOND FLOOR**  
 SCALE: 3/8" = 1'-0"



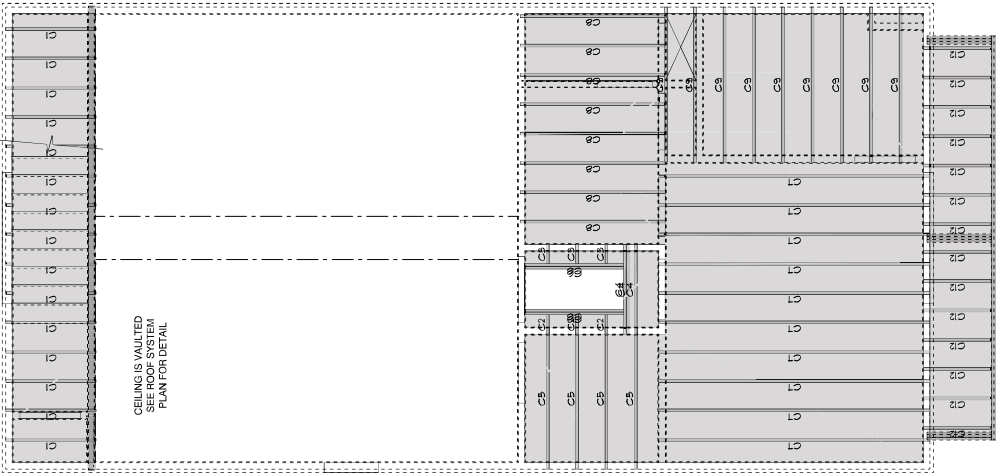
**ELECTRICAL PLAN - MAIN FLOOR**  
 SCALE: 3/8" = 1'-0"



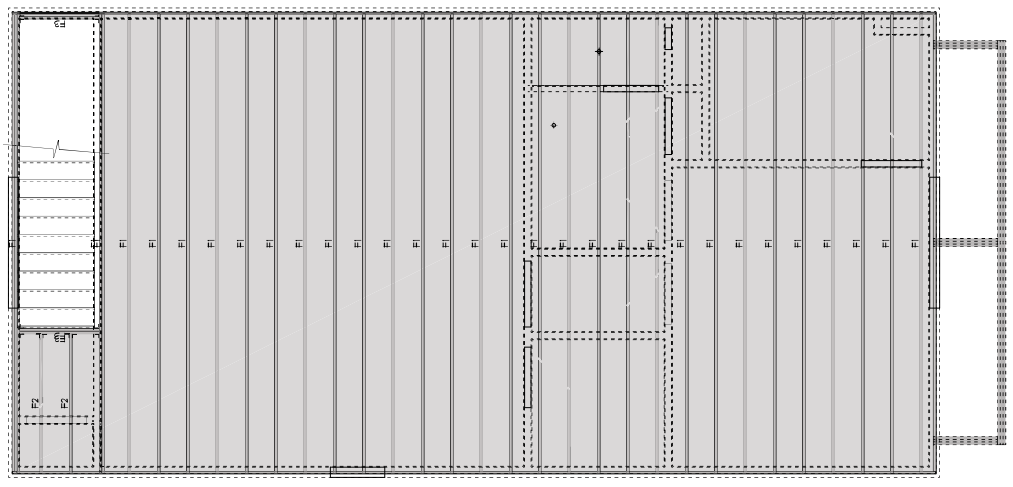
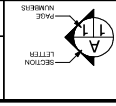
CEILING FRAMING SCHEDULE				
FRAMING ID	WIDTH	DEPTH	LENGTH	COUNT
C1	2"	6"	4'-1 1/4"	15
C1 (DECK)	2"	6"	5'-4 7/8"	29
C2	2"	6"	10 5/8"	3
C3	2"	6"	10 3/8"	3
C4	2"	6"	4'-1"	3
C5	2"	6"	6'-5"	4
C6	2"	6"	4'-6"	4
C7	2"	6"	12'-3 3/8"	10
C8	2"	6"	6'-7 1/8"	8
C9	2"	6"	7'-0 3/4"	9
C12	2"	6"	3'-1"	14



CEILING PLAN - MAIN FLOOR DECK  
 SCALE: 3/8" = 1'-0"



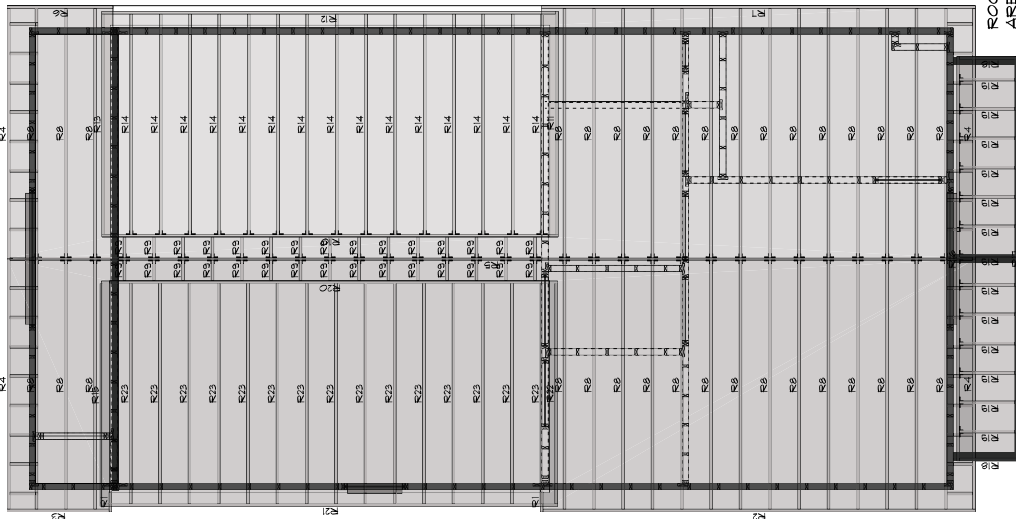
CEILING PLAN - SECOND FLOOR  
 SCALE: 3/8" = 1'-0"



FLOOR FRAMING SCHEDULE			
FRAMING ID	WIDTH	DEPTH	LENGTH   COUNT
F1	1 1/2"	14"	20'-10 3/4"   31
F2	1 1/2"	14"	6'-3 3/4"   2
F3	1 1/2"	14"	3'-7 1/4"   3

PLEASE NOTE: FLOOR JOISTS ARE 14" WEB OR TJI JOISTS @ 16" O.C.

FLOOR SYSTEM  
SCALE: 3/8" = 1'-0"



**ROOF: RAFTER**  
 SIZE: 1500" X 5.500"  
 FRAMING ID: R8  
 FRAMING LABEL: 2" X 6" X 15'-0 1/4"  
 OVERHANG: 12"

**DORMER ROOFS**  
 AREA: 218.9 SQ FT.  
 MATERIAL AREA: 218.9 SQ FT.  
 PERIMETER: 42' 11.625"  
 THICKNESS: 0' 0.500"

**ROOF**  
 AREA: 112.5 SQ FT.  
 MATERIAL AREA: 112.5 SQ FT.  
 PERIMETER: 136' 0.000"  
 THICKNESS: 0' 0.500"

**ROOF**  
 AREA: 59.1 SQ FT.  
 MATERIAL AREA: 59.1 SQ FT.  
 PERIMETER: 42' 9.000"  
 THICKNESS: 0' 0.500"

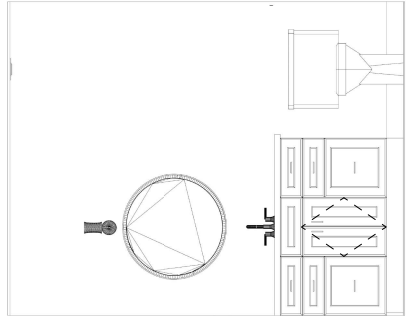
**ROOF SYSTEM - SECOND FLOOR**  
 SCALE: 3/8" = 1'-0"



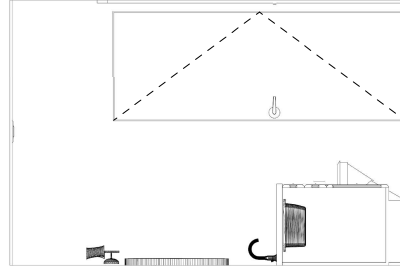
**ROOF**  
 AREA: 285.8 SQ FT.  
 MATERIAL AREA: 285.8 SQ FT.  
 PERIMETER: 94' 3.250"  
 THICKNESS: 0' 0.500"  
 OVERHANG: 12"

**ROOF SYSTEM - MAIN FLOOR DECK**  
 SCALE: 3/8" = 1'-0"

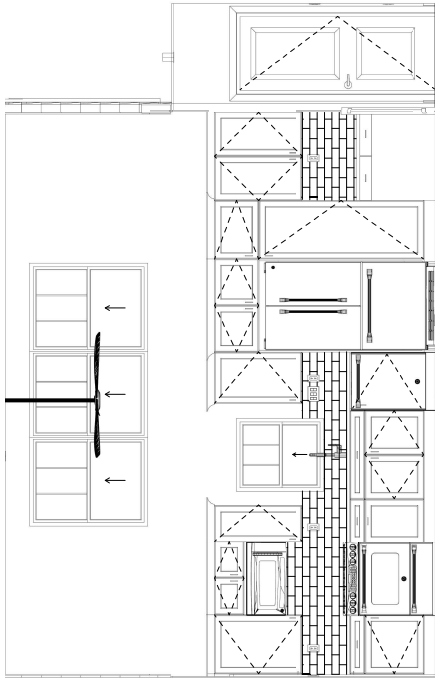
ROOF FRAMING SCHEDULE				
FRAMING ID	WIDTH	DEPTH	LENGTH	COUNT
R1	2"	6"	11'-5 1/2"	2
R1	2"	6"	7'-1 1/4"	2
R2	2"	6"	7'-1 1/4"	2
R2	2"	6"	19'-7 3/4"	1
R3	2"	6"	4'-7 1/2"	1
R3	2"	6"	6'-3 3/8"	4
R4	2"	6"	15'-1 1/4"	4
R4	2"	8"	9'-8 3/4"	2
R5	2"	6"	27'-10 1/2"	1
R5	2"	8"	43'-9"	1
R6	2"	6"	4'-9 3/4"	1
R6	2"	6"	40'-6 1/2"	1
R7	2"	6"	6'-2 1/2"	1
R7	2"	6"	19'-8 1/2"	1
R8	2"	6"	1'-3 3/8"	3
R8	2"	6"	15'-0 1/4"	34
R9	2"	6"	1'-2 1/2"	30
R9	2"	6"	2'-8 3/4"	3
R10	2"	6"	4'-2 1/4"	3
R10	2"	6"	20'-8 1/2"	1
R11	2"	6"	5'-7 1/2"	3
R11	2"	6"	10'-6 3/4"	1
R12	2"	6"	6'-11 1/4"	20
R12	2"	6"	20'-7 3/4"	1
R13	2"	6"	6'-9 1/2"	1
R13	2"	6"	10'-5 1/4"	1
R14	2"	6"	5'-4 3/8"	1
R14	2"	6"	10'-5 1/4"	15
R15	2"	6"	3'-11"	1
R15	2"	6"	10'-6 3/4"	1
R16	2"	6"	2'-5 1/2"	1
R16	2"	6"	18'-4 1/2"	1
R17	2"	8"	1'-0 3/4"	1
R17	2"	8"	18'-4 1/2"	1
R18	2"	6"	7'-0 1/2"	1
R18	2"	8"	3'-2 3/4"	2
R19	2"	6"	3'-2 1/4"	13
R20	2"	6"	19'-11 1/2"	1
R21	2"	6"	20'-8 1/2"	1
R22	2"	6"	10'-5 1/4"	1
R23	2"	6"	10'-5 1/4"	15



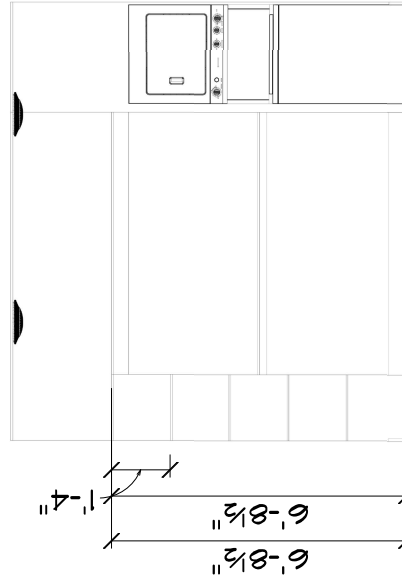
3 B/D BATH ELEVATION  
SCALE: 3/4" = 1'-0"



4 B/D BATH SHOWER ELEVATION  
SCALE: 3/4" = 1'-0"



5 B/D KITCHEN ELEVATION  
SCALE: 1/2" = 1'-0"



2 B/D CLOSET ELEVATION  
SCALE: 3/4" = 1'-0"



**Mayor:** Craig Newton • **Mayor Pro Tem:** Marshall Cheek • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare  
**Councilmember:** Matt Myers • **Councilmember:** Bruce Gaynor • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

July 24, 2025

Blake Manton  
633 Sunset Drive  
Norcross, GA 30071

RE: ZBA2025-007: 633 Sunset Drive

Dear Applicant,

Your application, ZBA2025-007, a request for relief from the maximum height allowed for an accessory dwelling unit from 12 feet to a proposed top of the roof height of 29' 9", based on the average height methodology calculation of 22 feet, has been reviewed by the City of Norcross Planning Staff and heard by the Zoning Board of Appeals on July 24, 2025.

After careful review and consideration, your application was **approved**.

Should you apply for a permit for development on this property, this letter shall be submitted along with your application. If you have any questions, contact our office at 678-421-2027.

Sincerely,

LeDarius Scott, Senior Planner  
City of Norcross



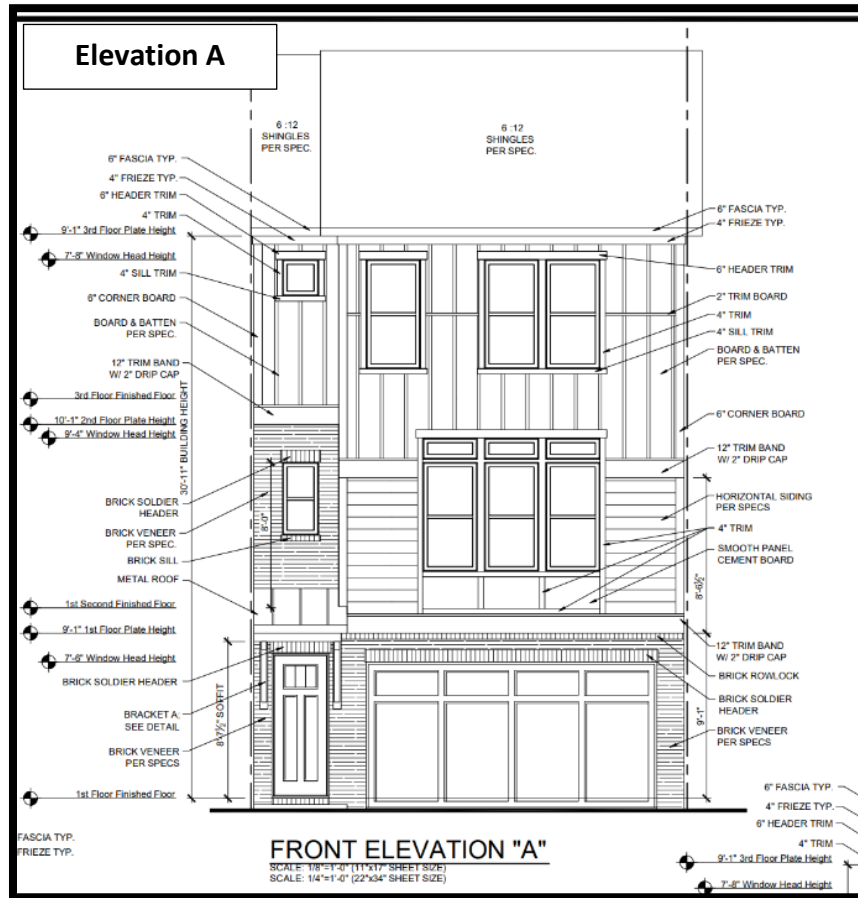
## Certificate of Appropriateness

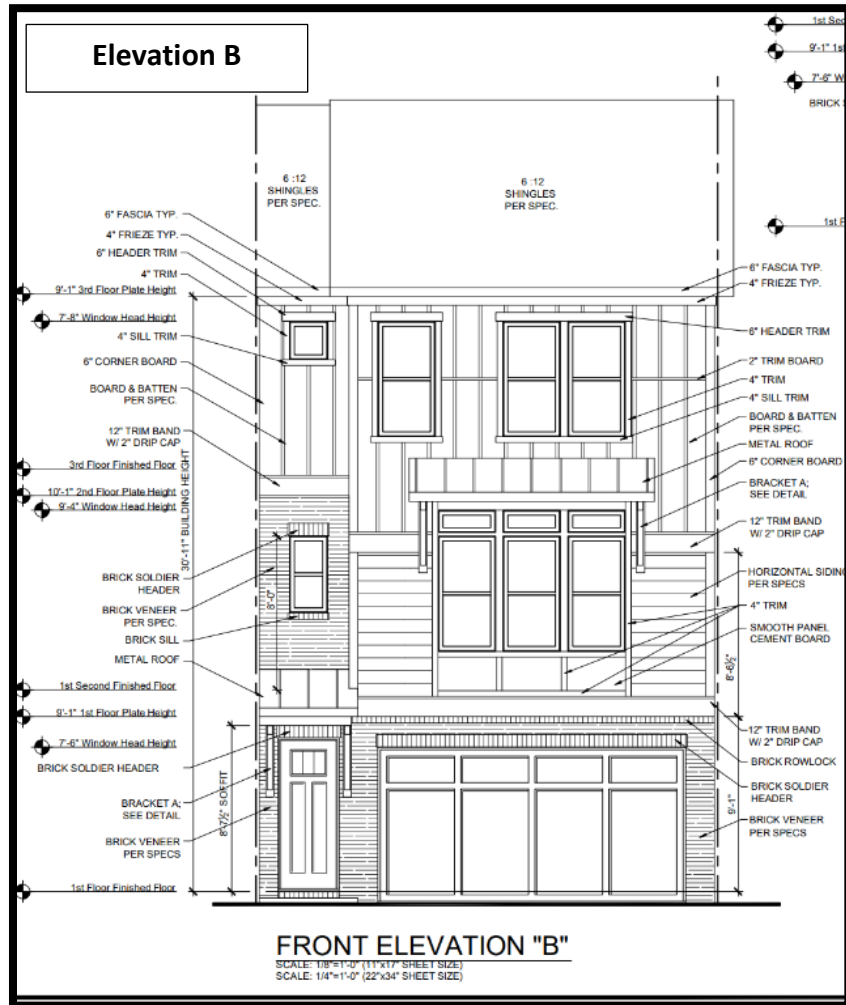
<b>Case Number</b>	<b>COA2025-055</b> (Revisions of COA2020-0018)
<b>Hearing Date</b>	January 27, 2026
<b>Petitioner</b>	Arthur Blumen
<b>Property Location</b>	275 Summerour Street
<b>Current Zoning</b>	BH (Buford Highway)
<b>Proposed Zoning</b>	N/A
<b>Proposed Structure</b>	14 Townhomes
<b>Character Area</b>	Character Area 7: Town Center
<b>Site Acreage</b>	1.62 Acres
<b>District</b>	6
<b>Land Lot</b>	242
<b>Parcel #</b>	6242 061
<b>Taxes Paid</b>	N/A
<b>Historic District</b>	N/A

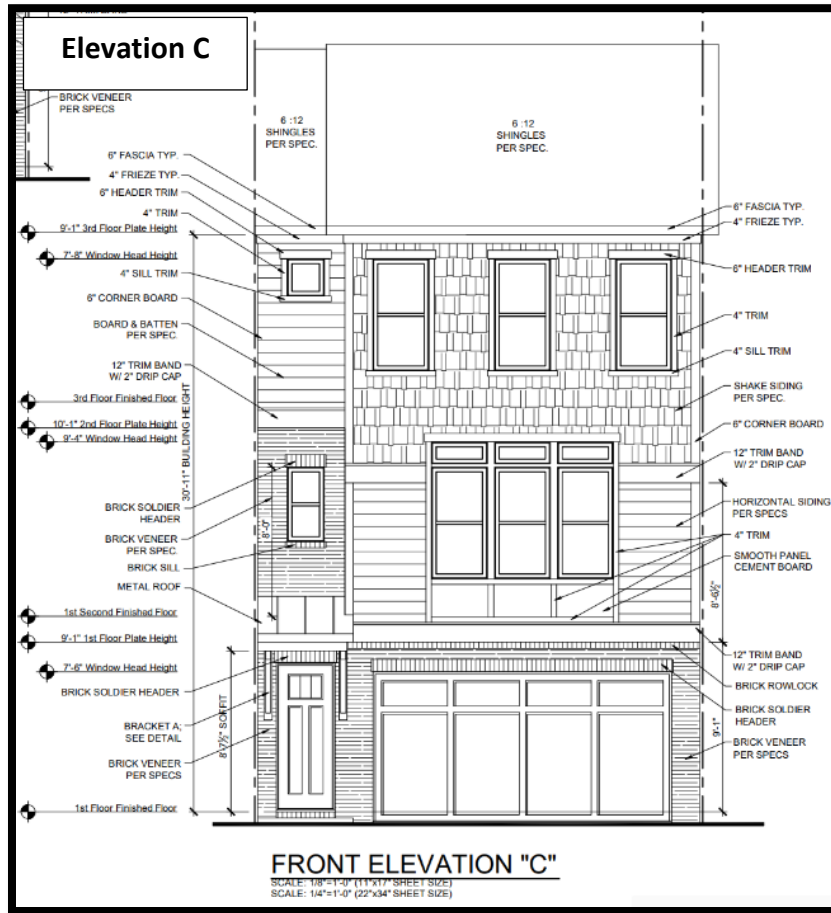
### **COMMUNITY DEVELOPMENT AND PLANNING DEPT. RECOMMENDATIONS**

Should the ARB decide to grant approval, Staff recommends the following conditions:

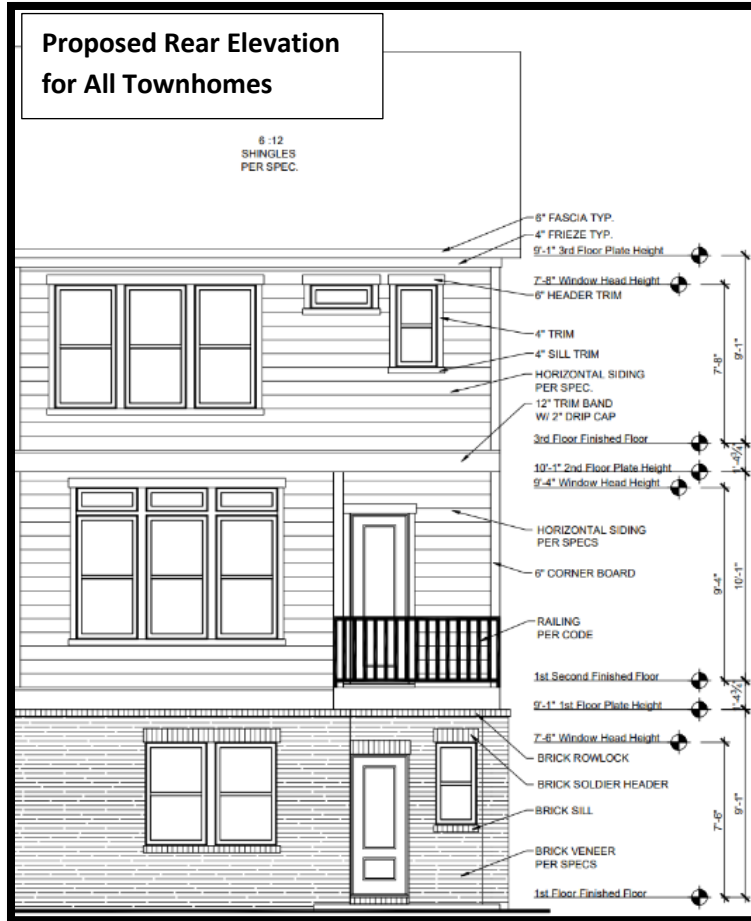
1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance, if applicable.
3. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
4. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

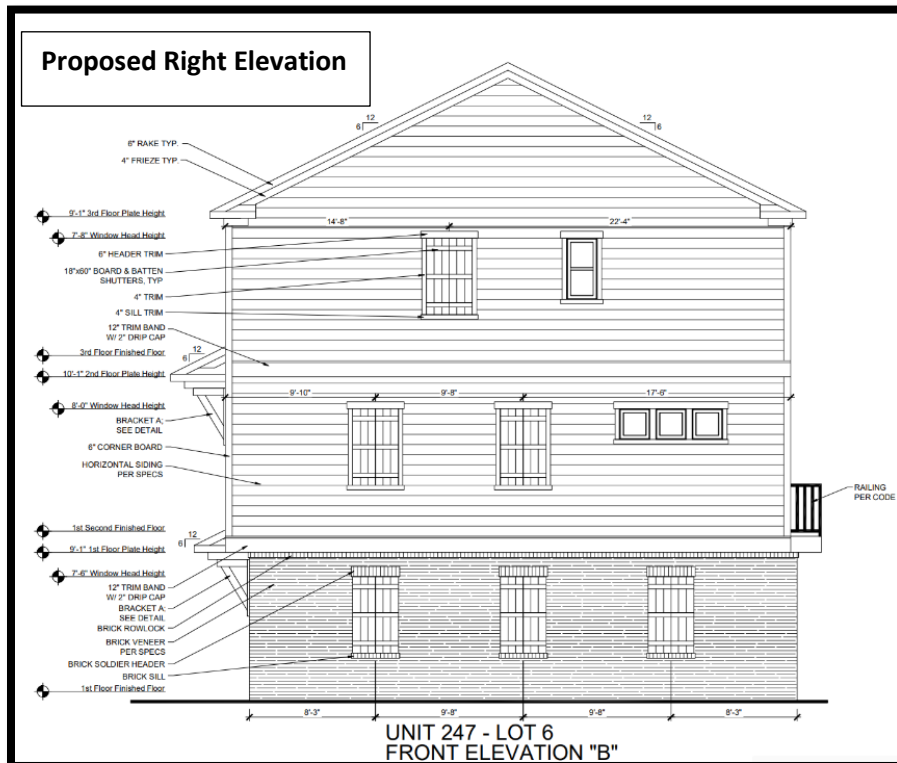
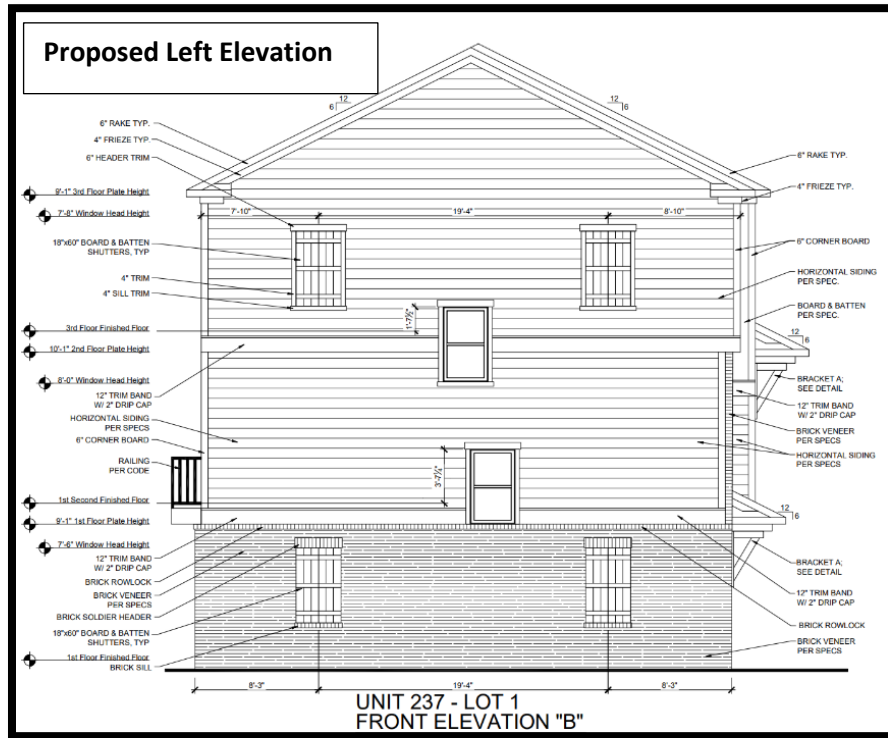








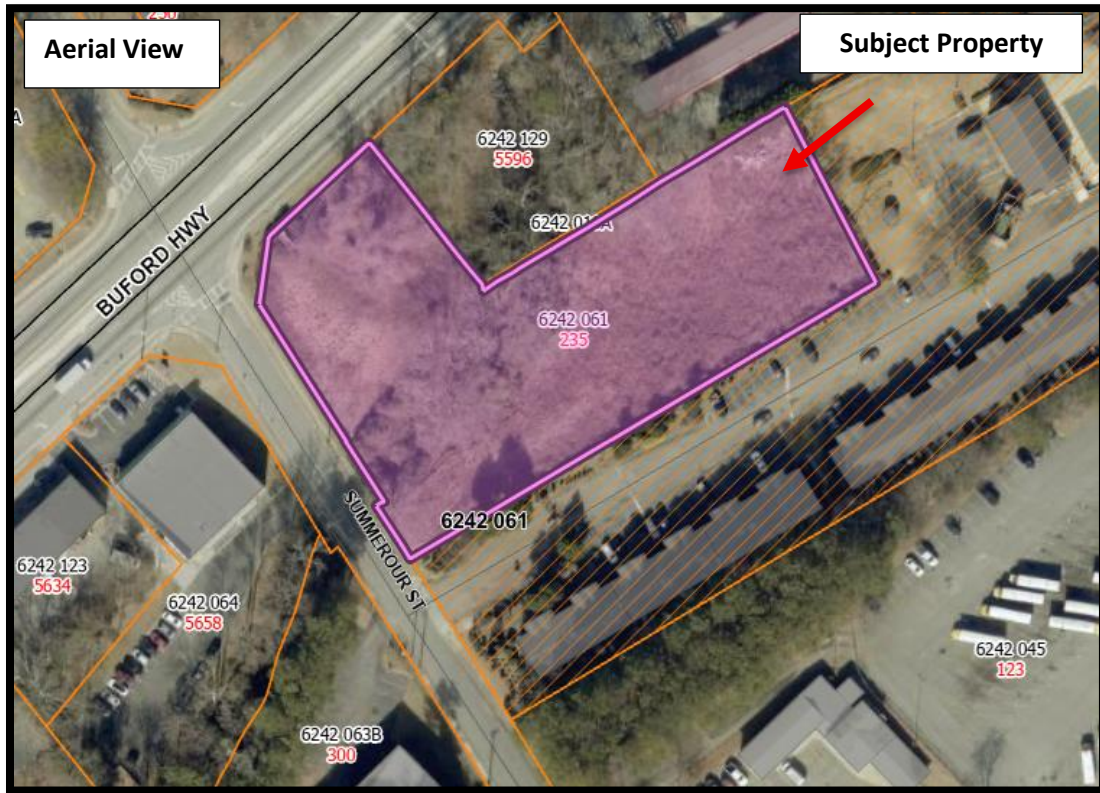
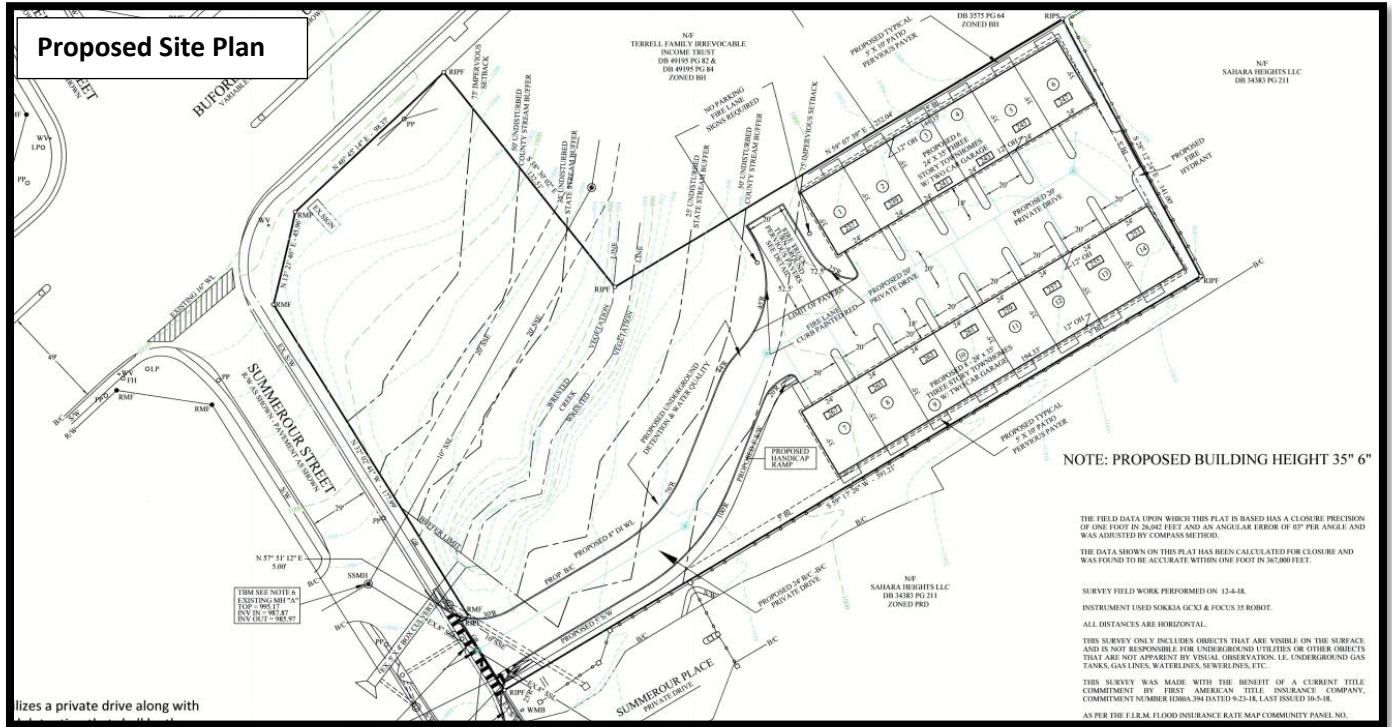




Townhomes 1 through 6 are Units 237 through 247;  
Townhomes 7 through 14 are Units 253 through 267, which have the same left and right elevation presented above.

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Agreeable Gray SW 7029	Hardie Siding
Primary Façade:	Functional Gray SW 7024	Shake
Primary Façade: Third	Alabaster SW 708	Trim
Left Side:	Agreeable Gray SW 7029	Siding
Left Side: Second	Dove White	Brick
Left Side: Third	Sealskin SW 7675	Window trim
Left Side:		
Right Side:	same as left	
Right Side: Second	same as left	
Right Side:	same as left	
Right Side:		
Rear: First	same as left	
Rear: Second	same as left	
Rear: Third	same as left	
Rear: Basemnt		

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	North GA, Dove White	<b>Brick</b>
Garage Doors	Alabaster SW 708	
Trim	Alabaster SW 708	
Mortar	<b>Gray</b>	
Gutters	Spectra Dark Bronze	
Corner Board	<b>hardie</b>	
Railings		wood
Windows	<b>std, sash</b>	
Window Sills		
Window Muntin/Mulli	<b>std, sash</b>	
Columns		
Other Architectural Features		
Other Architectural		



**Summary of the applicant's proposal**

The applicant seeks amendments to the architecture of 14 townhomes previously administratively approved under COA2020-0018 (attached to this agenda packet). The applicant is proposing three different elevations, described as "A", "B", and "C". The 35' 6" tall townhomes are three (3) stories, with two (2) car garages. Building 1 will have a row of 6 townhomes, and Building 2 will have a row of 8 townhomes.

**Proposed Site Plan**

The applicant's proposed site plan shows the footprint of the 14 townhomes. The applicant received two variances at the December 5, 2024 Zoning Board of Appeals' hearing to waive the landscape buffer requirements and the reduce the building setbacks to five (5') feet (ZBA2024-007).

**Architectural and Site Design Standards**

**3.5.2.9**

All construction shall include a combination of architectural treatment of brick or stone masonry, stucco, wood, or other durable materials. Any buildings that would like to use other materials shall submit design to the ARB for approval.

**Current zoning district for the property**

The Buford Highway district is intended to encourage the redevelopment of Buford Highway in conformance with the vision for the corridor in the city's comprehensive plan and the Buford Highway Master Plan as a mixed-use and multimodal corridor. The district utilizes design standards and land use controls that will provide the necessary transition from the industrial and commercial character into the historic areas of the city, while maintaining opportunity for growth and economic vibrancy. To this end, in order to promote the vision of the city, any multifamily project within the district shall present, for administrative approval by the Mayor and Council at a regularly scheduled meeting, a plan for the mix of uses proposed for any site before moving beyond preliminary design review and approval of staff and the Architectural Review Board.

# Canton Townhomes

## Exterior Color Collections

Canton, GA  
September 10, 2020

### Scheme #1

Dimensional Roofing CertainTeed <i>Moire Black</i>		Metal Roofing Spectra <i>Dark Bronze</i>
Gutters & Downspouts Spectra <i>Dark Bronze</i>		
Horizontal Siding <i>Functional Gray</i> SW 7024		B&B Siding <i>Agreeable Gray</i> SW 7029 Entry Door <i>Halcyon Green</i> SW 6213 Garage Door <i>Alabaster</i> SW 7008
Windows <i>Dark Bronze</i> Shutters <i>Sealskin</i> SW 7675		
Brick Veneer General Shale <i>Everest Gray</i>		Painted Trim <i>Alabaster</i> SW 7008



Please Note: Colors are reproduced using printing inks, not actual paint. Always select colors from the manufacturer's color card for best representation of actual color. Colors may vary slightly in actual use due to the area, sheen, surface, applications or lighting.

# Canton Townhomes

## Exterior Color Collections

Canton, GA  
September 10, 2020

### Scheme #2

Dimensional Roofing CertainTeed <i>Moire Black</i>		Metal Roofing Spectra <i>Dark Bronze</i>
Gutters & Downspouts Spectra <i>Dark Bronze</i>		
Horizontal Siding <i>Repose Gray</i> <i>SW 7015</i>		B&B Siding <i>Eider White</i> <i>SW 7014</i> Entry Door <i>Homburg Gray</i> <i>SW 7622</i> Garage Door <i>Eider White</i> <i>SW 7014</i>
Windows <i>Dark Bronze</i> Shutters <i>Homburg Gray</i> <i>SW 7622</i>		
Brick Veneer General Shale <i>Everest Gray</i>		Painted Trim <i>Eider White</i> <i>SW 7014</i>



Please Note: Colors are reproduced using printing inks, not actual paint. Always select colors from the manufacturer's color card for best representation of actual color. Colors may vary slightly in actual use due to the area, sheen, surface, applications or lighting.

# Canton Townhomes

## Exterior Color Collections

Canton, GA  
September 10, 2020

### Scheme #3

Dimensional Roofing CertainTeed <i>Moire Black</i>		Metal Roofing Spectra <i>Dark Bronze</i>
Gutters & Downspouts Spectra <i>Dark Bronze</i>		
Horizontal Siding <i>Uncertain Gray</i> <i>SW 6234</i>		B&B Siding <i>Passive</i> <i>SW 7064</i> Entry Door <i>Slate Tile</i> <i>SW 7624</i>
Windows <i>Dark Bronze</i> Shutters <i>Black Magic</i> <i>SW 6991</i>		Garage Door <i>Pure White</i> <i>SW 7005</i>
		Painted Trim <i>Pure White</i> <i>SW 7005</i>
Brick Veneer General Shale <i>Everest Gray</i>		



Please Note: Colors are reproduced using printing inks, not actual paint. Always select colors from the manufacturer's color card for best representation of actual color. Colors may vary slightly in actual use due to the area, sheen, surface, applications or lighting.

# Norcross Townhomes Exterior

## Color Collections

Scheme No.	Brick Veneer	Mortar	Horizontal Siding	B&B Siding	Painted Trim	Painted Shutters	Painted Entry Door	Garage Door	Windows	Gutters & Downspouts	Metal Roofing	Dimensional Roof Shingles
	General Shale		Sherwin Williams							Spectra		CertainTeed
<b>1</b>	Everest Gray	Southern Ivory	Functional Gray SW 7024	Agreeable Gray SW 7029	Alabaster SW 7008	Sealskin SW 7675	Halcyon Green SW 6213	Alabaster SW 7008	Dark Bronze	Dark Bronze	Dark Bronze	Moire Black
<b>2</b>	Everest Gray	Southern Ivory	Repose Gray SW 7015	Eider White SW 7014	Eider White SW 7014	Homburg Gray SW 7622	Homburg Gray SW 7622	Eider White SW 7014	Dark Bronze	Dark Bronze	Dark Bronze	Moire Black
<b>3</b>	Everest Gray	Southern Ivory	Uncertain Gray SW 6234	Passive SW 7064	Pure White SW 7005	Black Magic SW 6991	Slate Tile SW 7624	Pure White SW 7005	Dark Bronze	Dark Bronze	Dark Bronze	Moire Black

Color selections by:  
www.MainStreetDesignsLLC.com



**Revised Date: 9/10/2020**



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address: <b>275 Summerour st</b>	Lot #	Tax Parcel ID: <b>6242 061</b>	
LANDOWNER OF RECORD			
<b>If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.</b>			
Name: <b>Magnolia Drive LLC</b>	Phone: [REDACTED]		
Address: <b>5805 STATE BRIDGE RD # G263</b>	City: <b>Duluth</b>	State: <b>GA</b>	Zip Code: <b>30097</b>
APPLICANT			
Applicant Name: <b>Arthur Blumen</b>	Phone: [REDACTED]		
Company Name: <b>Magnolia drive llc</b>	Email: [REDACTED]		
Address: <b>5805 STATE BRIDGE RD # G263</b>	City: <b>Duluth</b>	State: <b>GA</b>	Zip Code: <b>30097</b>
DESCRIPTION OF PROJECT			
<b>Project Type</b> <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:			
<p style="font-size: 1.2em;">Elevations updated compared to the original submission, by the previous owner</p>			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months?			
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If yes, please list the board and reference number:			
<hr style="width: 80%; margin: 0 auto;"/>			
OWNER'S SIGNATURE			
Signature:	Date: <b>12/2/2025</b>		
<b>NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <a href="https://eplansolution.com/norcrossga">https://eplansolution.com/norcrossga</a> Hard copies of application materials will not be accepted.</b>			



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

<b>Foundation Type: (Circle One)</b>		
Slab	Crawl Space	Basement
<b>Building Dimensions:</b>		
Width: 24'	Length: 43'	Height:* 35'
<b>Area Dimensions:</b>		
First Floor: 360	Second Floor: 747	Third Floor: 818
Basement**:	Front Porch: 15	Rear Porch:
Patio: 91	Garage: 434	
<b>Primary Roof System: (Circle One)</b>		
Gable X	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
<b>Roof Pitches:</b>		
Primary Roof Pitch: 6:12		
Secondary Roof Pitch:		
Additional Roof Pitch:		
<b>Floor and Elevation Plan information to be included on each</b>		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
<b>Site Plan and Landscape Plan information to be included on each</b>		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Agreeable Gray SW 7029	Hardie Siding
Primary Façade:	Functional Gray SW 7024	Shake
Primary Façade: Third	Alabaster SW 708	Trim
Left Side:	Agreeable Gray SW 7029	Siding
Left Side: Second	Dove White	Brick
Left Side: Third	Sealskin SW 7675	Window trim
Left Side:		
Right Side:	same as left	
Right Side: Second	same as left	
Right Side:	same as left	
Right Side:		
Rear: First	same as left	
Rear: Second	same as left	
Rear: Third	same as left	
Rear: Basemnt		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	North GA, Dove White	Brick
Garage Doors	Alabaster SW 708	
Trim	Alabaster SW 708	
Mortar	Gray	
Gutters	Spectra Dark Bronze	
Corner Board	hardie	
Railings		wood
Windows	std, sash	
Window Sills		
Window Muntin/Mulli	std, sash	
Columns		
Other Architectural Features		
Other Architectural		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

ARCHITECTURAL REVIEW BOARD MEETING CALENDAR		
Pre-Application Submittal Deadline	Application Submittal Deadlines	ARB Meeting
11/28/2023	12/5/2023	1/16/2024
12/27/2023	1/2/2024	2/20/2024
1/16/2024	1/23/2024	3/19/2024
2/27/2024	3/5/2024	4/16/2024
4/2/2024	4/9/2024	5/21/2024
4/30/2024	5/7/2024	6/18/2024
5/28/2024	6/4/2024	7/16/2024
6/25/2024	7/2/2024	8/20/2024
7/23/2024	7/30/2024	9/17/2024
8/27/2024	9/3/2024	10/15/2023
9/24/2024	10/1/2024	11/19/2024
10/22/2023	10/29/2024	12/17/2024

HISTORIC PRESERVATION COMMISSION MEETING CALENDAR			
Pre-application Meeting Deadline	Application Submittal Deadline		Historic Preservation Commission Meeting
12/5/2023	12/12/2023		1/24/2024
1/9/2024	1/16/2024		2/28/2024
2/6/2024	2/13/2024		3/27/2024
3/5/2024	3/12/2024		4/24/2024
4/2/2024	4/9/2024		5/22/2024
5/7/2024	5/14/2024		6/26/2024
6/4/2024	6/11/2024		7/24/2024
7/2/2024	7/9/2024		8/28/2024
7/30/2024	8/6/2024		9/25/2024
9/3/2024	9/10/2024		10/23/2024
10/8/2024	10/15/2024		11/27/2024



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

<b>ARCHITECTURAL REVIEW BOARD/ HISTORIC PRESERVATIONS REVIEW FEES</b>		
Commercial/Industrial Major Reviews	Major Project Reviews	\$500
Commercial/Industrial Reviews	Minor improvements to façade	\$150
Residential Major Review	New Residential Construction in the City or Historic District	\$150
Residential Minor/Administrative Staff Review	Minor improvements or alterations in the City or Historic District/Administrative Staff Review	\$25
Historic Demolition	Historic Demolition Review	\$500

Architectural Elevations Only Approved. Building plan review still required for approval

*Mark Lee*

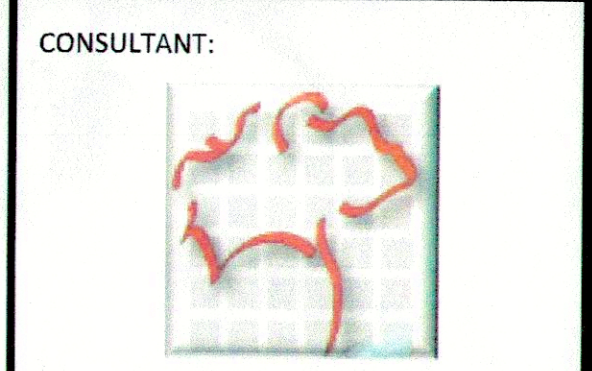


PROJECT:  
**SUMMEROUR ST. TOWNHOMES**

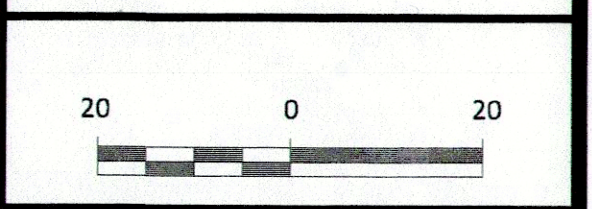
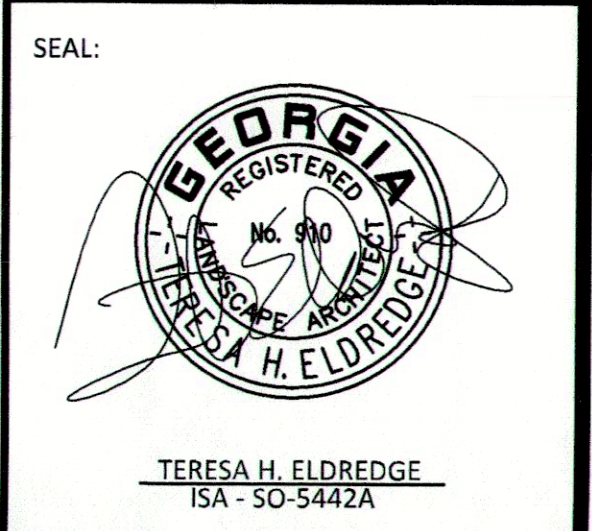
LOCATION:  
275 SUMMEROUR ST.  
LAND LOTS 242  
DISTRICT 6  
NORCROSS,  
GEORGIA

DEVELOPER/OWNER:  
**PETER BRIGHT  
CAPITAL CITY  
PROPERTIES, INC.**

PAUL LEE Engineering  
MARK LEE, PE  
770.435.2576  
mark.lee@plcea.com



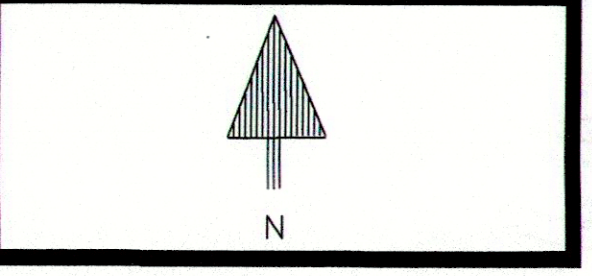
**TJ SCHELL, LLC**  
Landscape Architect • Consulting Arborist  
770.361.2319  
teresa@tjschell.com  
2985 Gordy Pkwy., Ste. 422, Marietta, GA 30066



REVISIONS	DATE

DRAWN BY:  
JURISDICTION: City of Norcross  
DATE:  
SHEET TITLE:  
**TREE REPLACEMENT AND  
PLANT SCHEDULE PLAN**

SHEET NUMBER: **T-2**  
JOB NUMBER:



- LANDSCAPE NOTES AND TREE PROTECTION NOTES**
- The site contractor shall contact the appropriate utility companies to have the locations of their underground utilities marked prior to beginning work. The contractor shall coordinate service routing of all gas, telephone, and electrical lines with the appropriate utility company. Caution shall be exercised to avoid interruption of services. The contractor is responsible for repair of all existing utilities damaged during construction. All construction must comply with each utility's standards and specifications and not interfere with tree planting sites or existing trees to be preserved.
  - Trees, shrubs, ground cover, sod, seed, ornamental grasses and any other planted materials: Maintenance shall begin immediately after each plant is planted and shall continue until all plants are accepted by the Owner. The quantities shown in the plant schedule are solely for information of the contractor. The contractor shall verify the quantities shown in the plant schedule with the quantities shown on the planting plan. All differences in the quantities shall be brought to the attention of the Landscape Architect for clarification.
  - Label at least one plant of each species with a securely attached water-proof tag bearing legible designation of Botanical and Common name for inspection.
  - All planting pits shall be free of rocks, gravel and other debris. All planting pits shall be prepared in accordance with the planting details.
  - Final acceptance shall be granted by the Owner's representative upon completion of the entire project. The Contractor shall promptly make all replacements before, during and at the end of the guarantee period as directed by the Owner's representative.
  - All plant material which dies, turns brown, or defoliates both prior to the final acceptance of the work and during the guarantee period shall be promptly removed from the site and replaced with material of the same species, variety, quantity, size and meeting all plant schedule specifications.
  - Burlap material on balled and burlapped plants shall be the type which will decay within two years (no synthetics, plastic, nylon, treated or other non-natural types will be allowed). After setting balled and burlapped plants in the planting pit, all binder twine shall be cut and the burlap removed from the top 1/3 (one-third) of the rootball.
  - All shrub, groundcover, tree ring and perennial bed areas shall be top dressed with a minimum depth of 2-3" of compacted mulch. The mulch shall be free from mold, sticks, cones, weeds and other debris. Compaction of the mulch shall occur naturally over a two week period during which at least one significant rainfall has occurred. Additional mulch shall be placed in order to maintain the minimum depth until date of final acceptance.
  - All plant materials shall be Grade A or better and planted as per the plant list, details and comments/notes.
  - All plant materials (including sod) shall be properly watered immediately after installation. Water shall be applied at a rate that will completely saturate the rootball/roots regardless of weather conditions. If the height of the rootball is 24", then the plant shall be watered to a depth of 24".
  - Contractor SHALL install irrigation plan as required by the jurisdiction and agreement with the Owner.

**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS	Units
	ACE SU2	Acer rubrum 'Summer Red' / Summer Red Red Maple	B & B	3"cal.	10-12' Ht.	1	Single Straigh Leader, Good Form, Healthy	.4
	CER FOR	Cercis canadensis 'Forest Pansy' / Forest Pansy Redbud	B & B	2.5"cal.	8-10'	2	Single Straight Leader, Good Form, Healthy	.6
	CHI VIR	Chionanthus virginicus / White Fringetree	B & B	2.5"cal.	7-8'	4	Single, Straight Leader, Good Form, Healthy	1.2
	MAG UMS	Magnolia grandiflora 'TMGH' TM / Alta Southern Magnolia	B & B	2.5"cal.	6'	5	Full to Ground, Good Form, Healthy	1.5
	NYS WIL	Nyssa sylvatica 'Wildfire' / Black Gum	B & B	3"cal.	12-14' Ht.	3	Single Straight Leader, Good Form, Healthy	1.2
	QUE BIC	Quercus bicolor / Swamp White Oak	B & B	2.5"cal.	10-12' Ht.	1	Single Straight Leader, Good Form, Healthy	.3
	THU GR2	Thuja standishii x plicata 'Green Giant' / Green Giant Arborvitae	B & B	2.5"cal.	8-10'	5	Full to Ground, Good Form, Healthy	1.5
	ULM PRI	Ulmus americana 'Princeton' / American Elm	B & B	2.5"cal.	10-12' Ht.	2	Single Straigh Leader, Good Form, Healthy	.6
<b>SHRUBS</b>						23 Trees		7.3 Units
	DIS V76	Distylium PP23, 12B 'Vintage Jade'	3 gallon		48" o.c.	49	Full in Pot, Good Form, Healthy	
	ILE BOU	Ilex vomitoria 'Bordeaux' / Bordeaux Holly	1 GALLON		36" o.c.	16	Full in Pot, Good Form, Healthy	
	LOR PUR	Loropetalum chinense 'Purple Diamond' / Fringe Flower	3 gallon		48" o.c.	11	Full in Pot, Good Form, Healthy	
	MUH CAP	Muhlenbergia capillaris / Pink Muhly Grass	1 GALLON		48" o.c.	29	Full in Pot, Good Form, Healthy	
	VIB DAV	Viburnum davidii / David Viburnum	3 gallon		42" o.c.	26	Full in Pot, Good Form, Healthy	



275 SUMMEROUR - BUILDING 1 - FRONT ELEVATION



275 SUMMEROUR - BUILDING 2 - FRONT ELEVATION

  
 A. WOODWARD  
 ARCHITECTURE, INC.  
 2055 HENDON ROAD  
 WOODSTOCK, GA 30188  
 O. 770.517.8686  
 F. 770.517.0983

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

11-12-20 TITLE  


---

 A CONCEPTUAL DESIGN  
 FOR  
 275 SUMMEROUR - TOWNHOMES  
 NORCROSS, GA



6 ELEVATION A  
BLD 1 1" = 20'-0"
5 ELEVATION B  
BLD 1 1" = 20'-0"
4 ELEVATION C  
BLD 1 1" = 20'-0"
3 ELEVATION C  
BLD 1 1" = 20'-0"
2 ELEVATION A  
BLD 1 1" = 20'-0"
1 ELEVATION B  
BLD 1 1" = 20'-0"

275 SUMMEROUR - BUILDING 1 - REAR ELEVATION



8 ELEVATION C  
BLD 2 1" = 20'-0"
7 ELEVATION A  
BLD 2 1" = 20'-0"
6 ELEVATION B  
BLD 2 1" = 20'-0"
5 ELEVATION C  
BLD 2 1" = 20'-0"
4 ELEVATION A  
BLD 2 1" = 20'-0"
3 ELEVATION C  
BLD 2 1" = 20'-0"
2 ELEVATION A  
BLD 2 1" = 20'-0"
1 ELEVATION B  
BLD 2 1" = 20'-0"

275 SUMMEROUR - BUILDING 2 - REAR ELEVATION

  
 A. WOODWARD  
 ARCHITECTURE, INC.  
 2055 HENDON ROAD  
 WOODSTOCK, GA 30188  
 O. 770.517.8686  
 F. 770.517.0983

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

11-12-20 TITLE  


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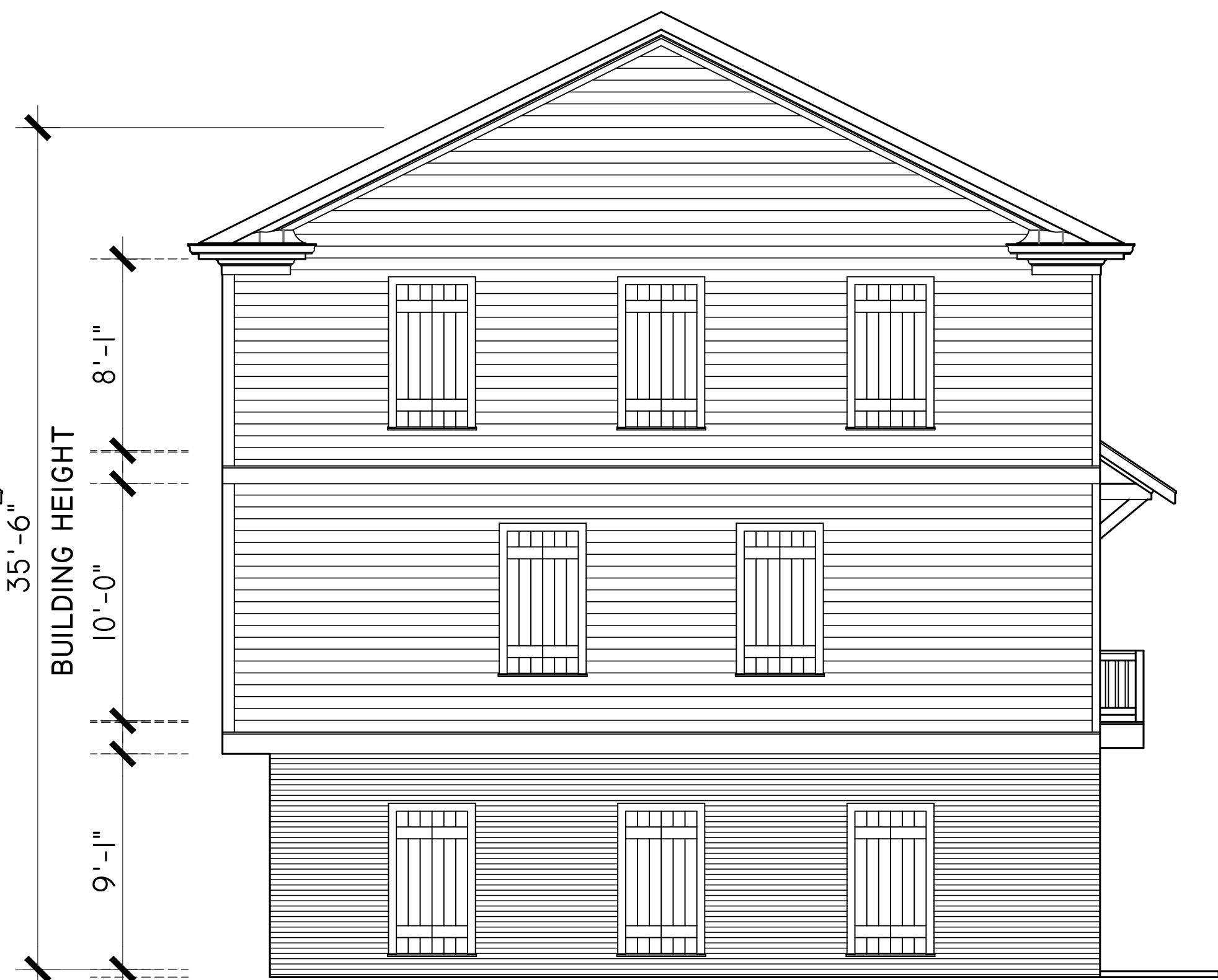
 A CONCEPTUAL DESIGN  
 FOR  
 275 SUMMEROUR - TOWNHOMES  
 NORCROSS, GA



1 ELEVATION B  
BLD 1 1/6" = 1'-0"

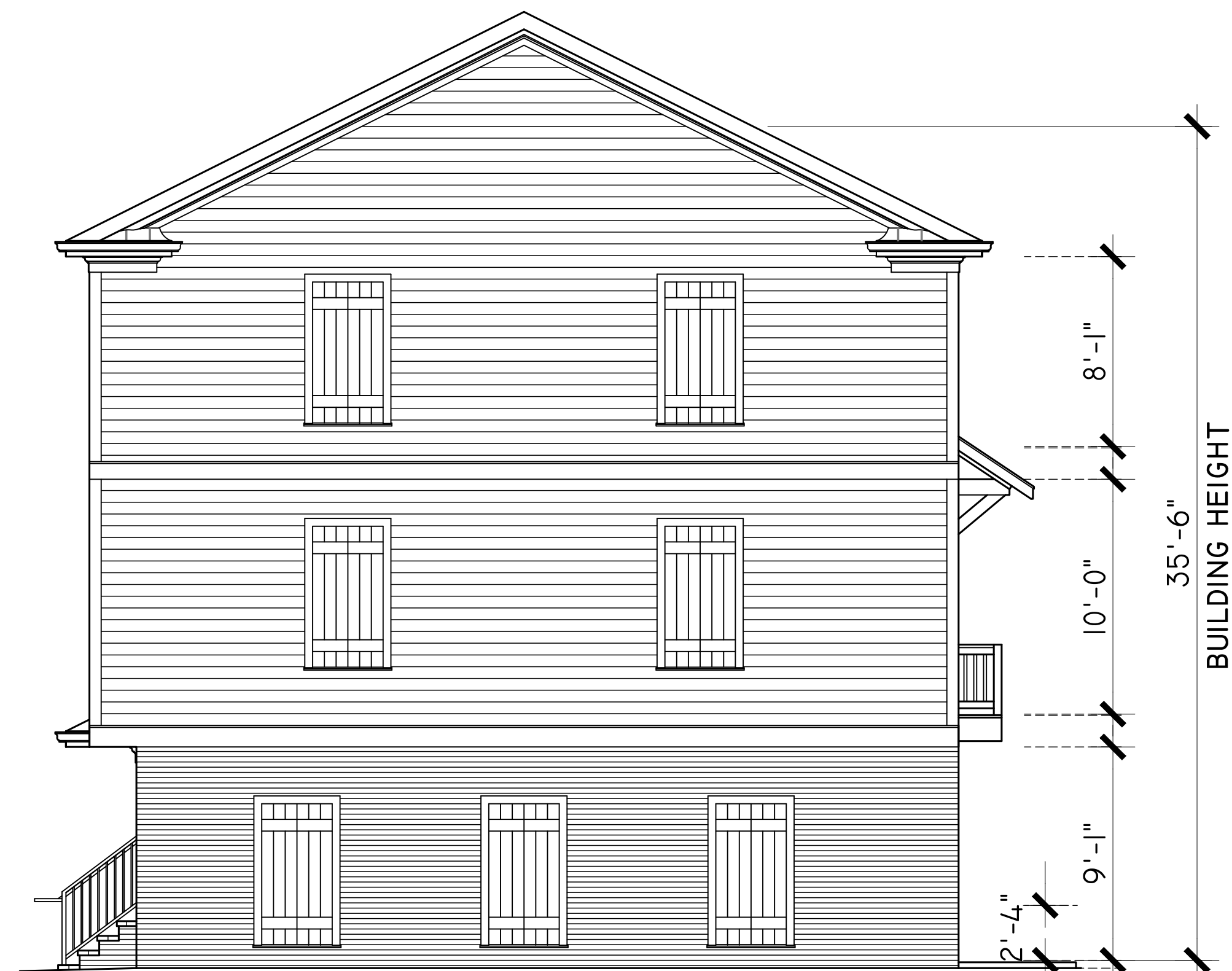
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BLD 2 1/6" = 1'-0"

BUILDING 1&2 - LEFT ELEVATION  
275 SUMMEROUR



6 ELEVATION A  
BLD 1 1/6" = 1'-0"

BUILDING 1 - RIGHT ELEVATION  
275 SUMMEROUR



8 ELEVATION C  
BLD 2 1/6" = 1'-0"

BUILDING 2 - RIGHT ELEVATION  
275 SUMMEROUR



TITLE  
SUMMEROUR 275  
A  
TOWNHOME  
COMMUNITY  
NORCROSS, GA

CAPITAL CITY  
PROPERTIES  
MARIETTA, GA

PRELIMINARY  
NOT FOR CONSTRUCTION

REVISIONS

DESCRIPTION	DATE

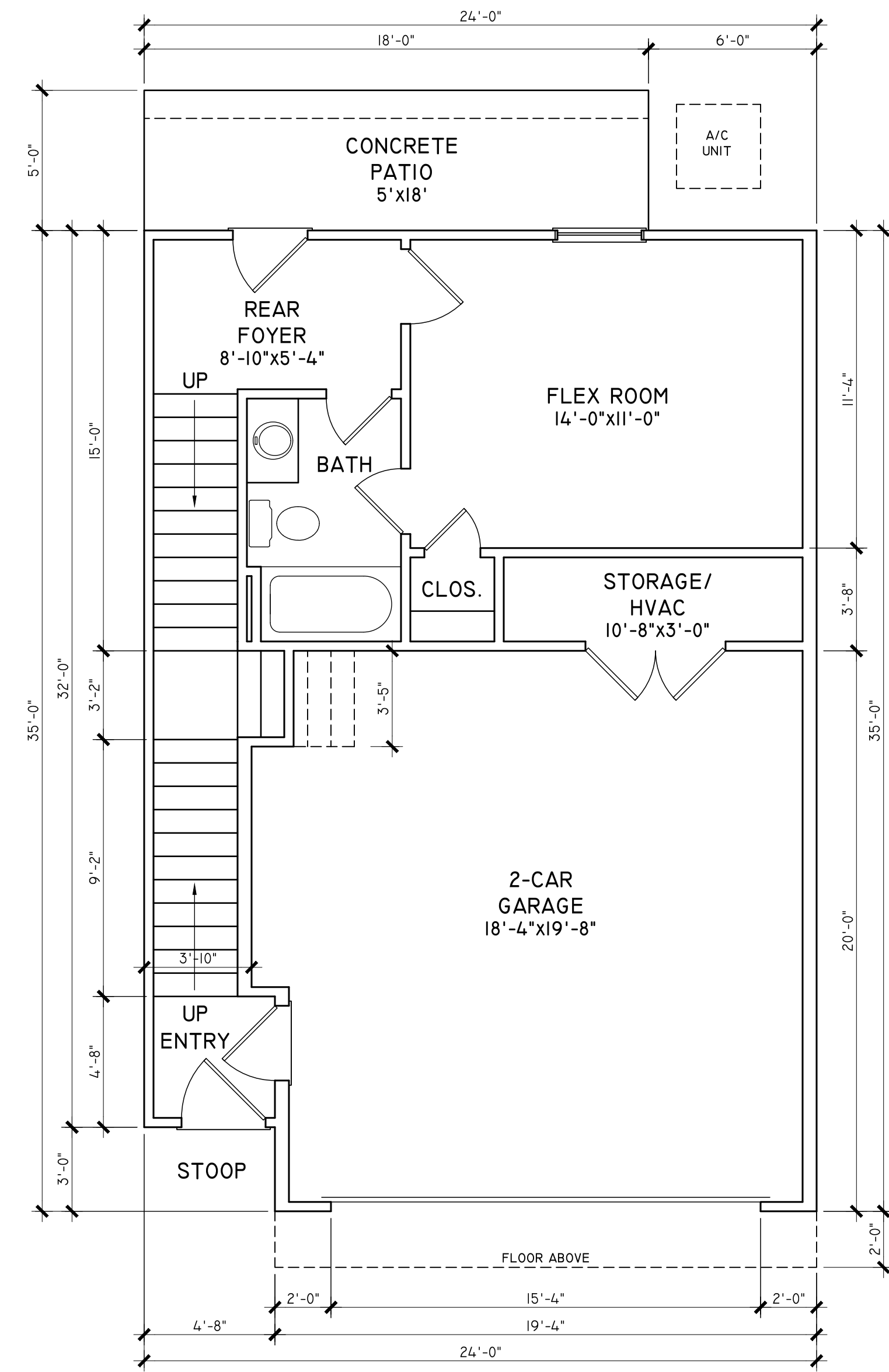
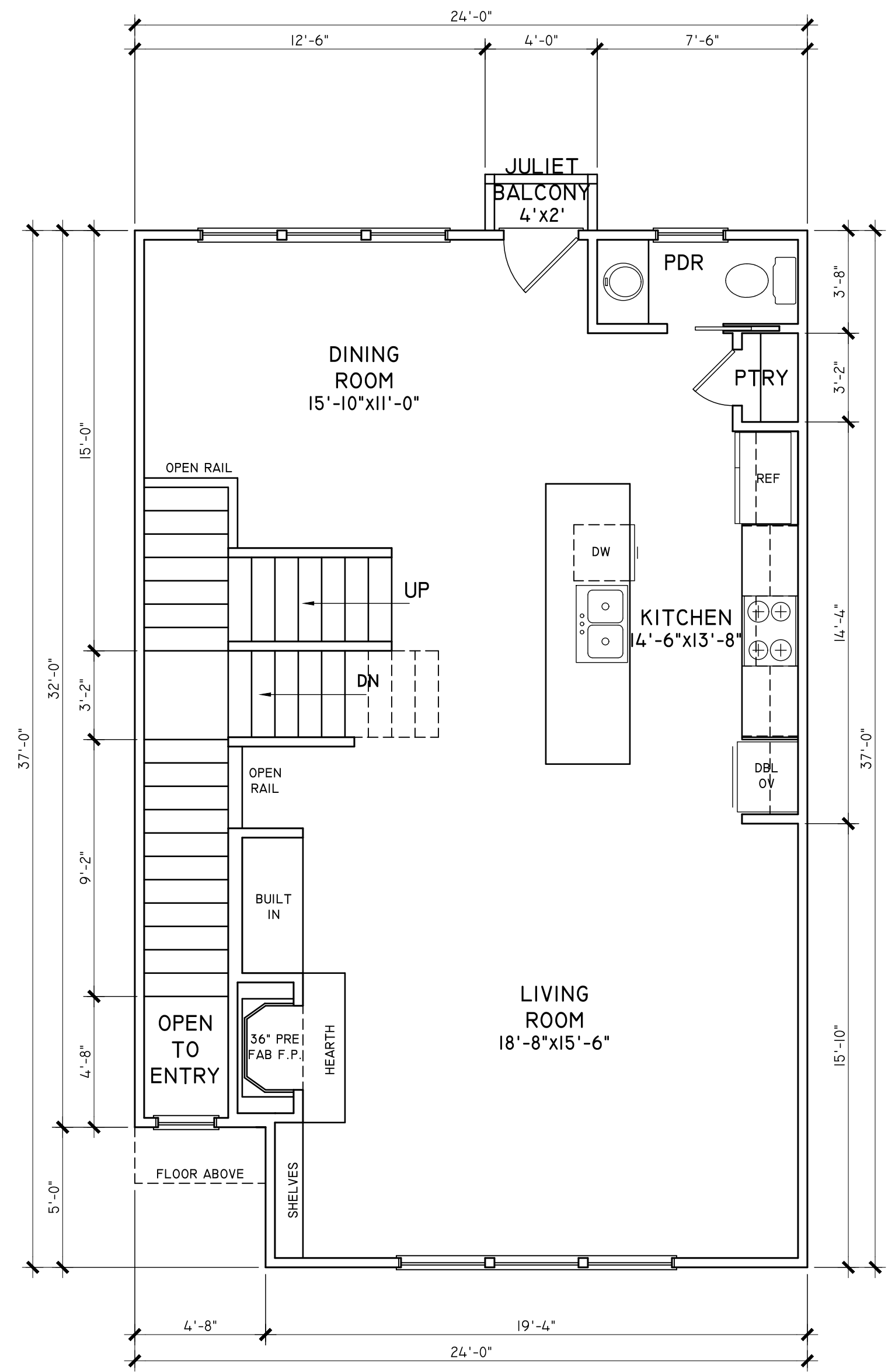
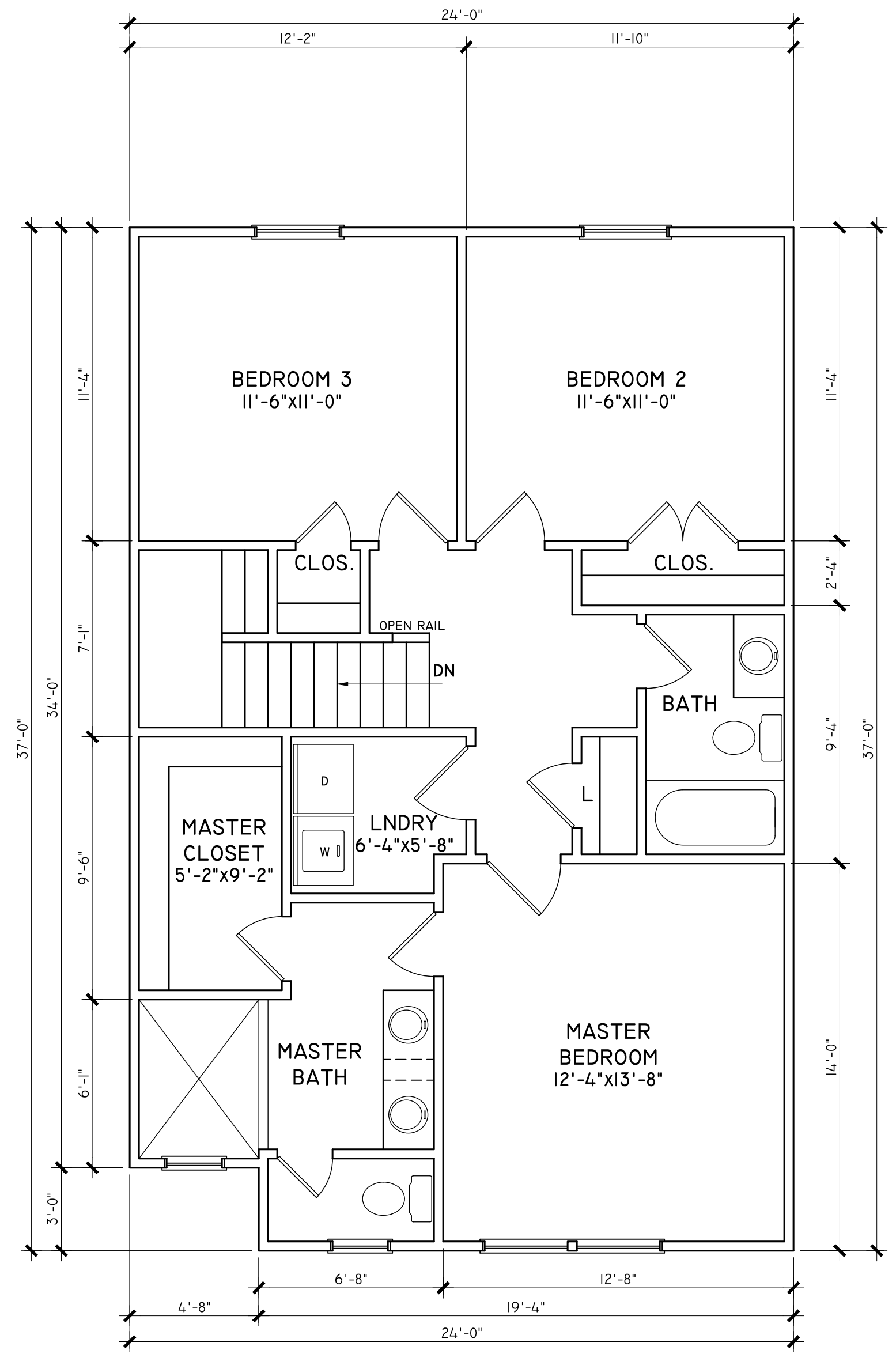
SCALE : 1/4" = 1'-0"  
DRAWN : ADW  
CHECK : ADW  
DATE : 11-12-20  
PROJECT NO. 2031

**BUILDING AREA  
CALCULATIONS**

SQUARE FOOTAGE	
FIRST FLOOR	400 S.F.
SECOND FLOOR	789 S.F.
THIRD FLOOR	374 S.F.
TOTAL HEATED	2,063 S.F.
GARAGE	389 S.F.
MECH/STORAGE	37 S.F.
TOTAL UNDER ROOF	2,489 S.F.

SHEET NO.

AIB



275 SUMMEROUR - PLAN B

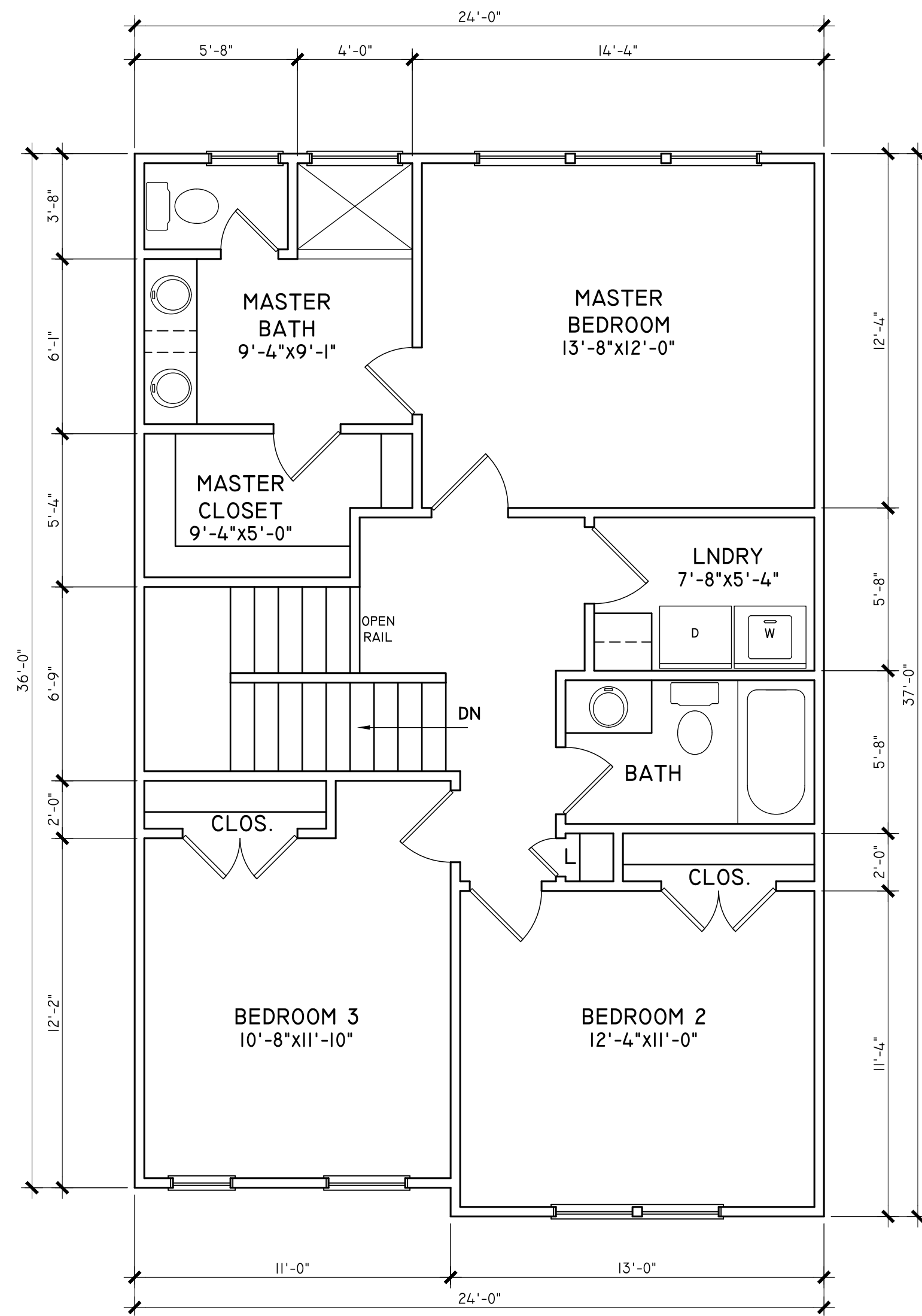


A. WOODWARD  
ARCHITECTURE, INC.  
2055 HENDON ROAD  
WOODSTOCK, GA 30188  
O. 770.517.8686  
F. 770.517.0983

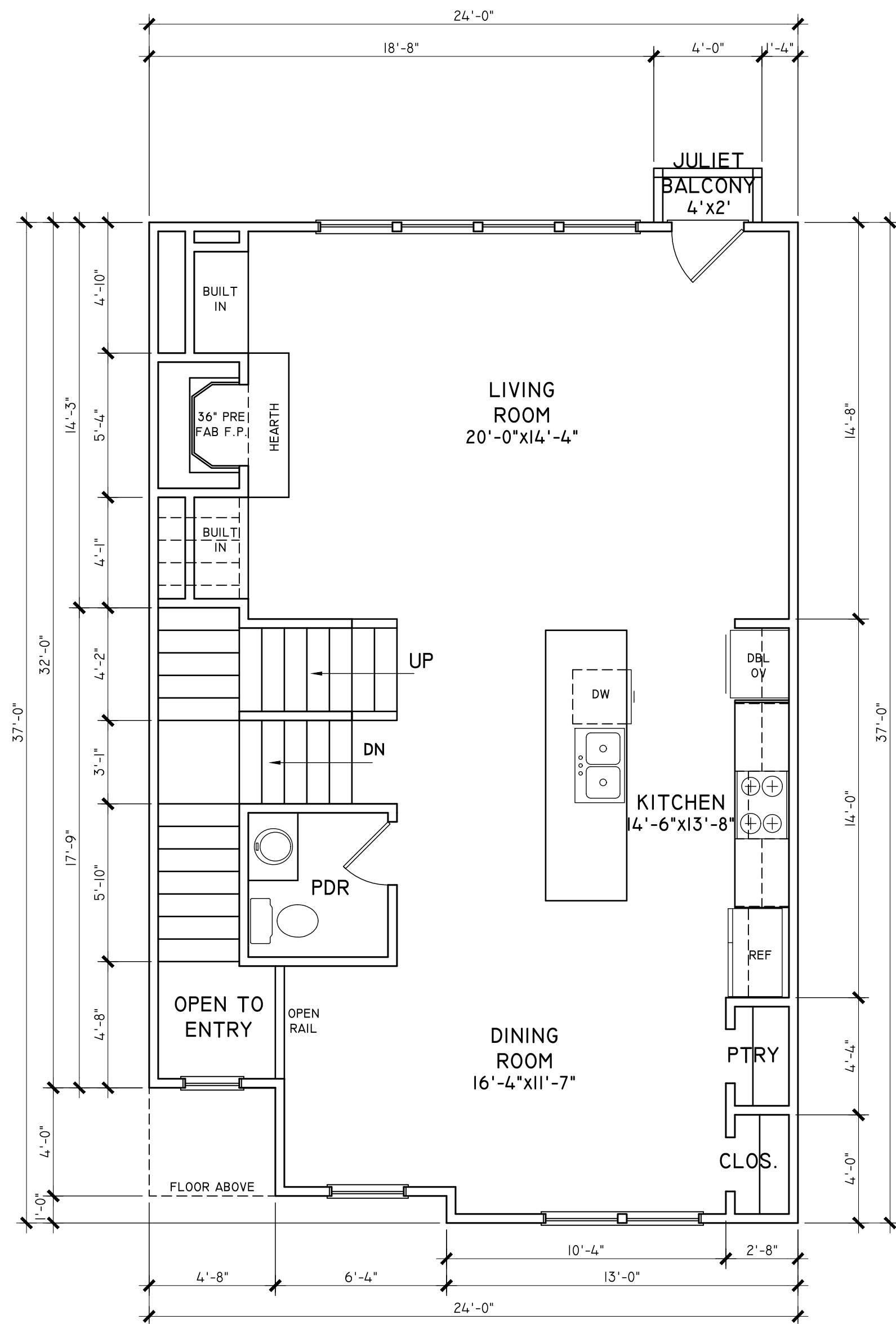
TITLE  
SUMMEROUR 275  
A  
TOWNHOME  
COMMUNITY  
NORCROSS, GA

CAPITAL CITY  
PROPERTIES  
MARIETTA, GA

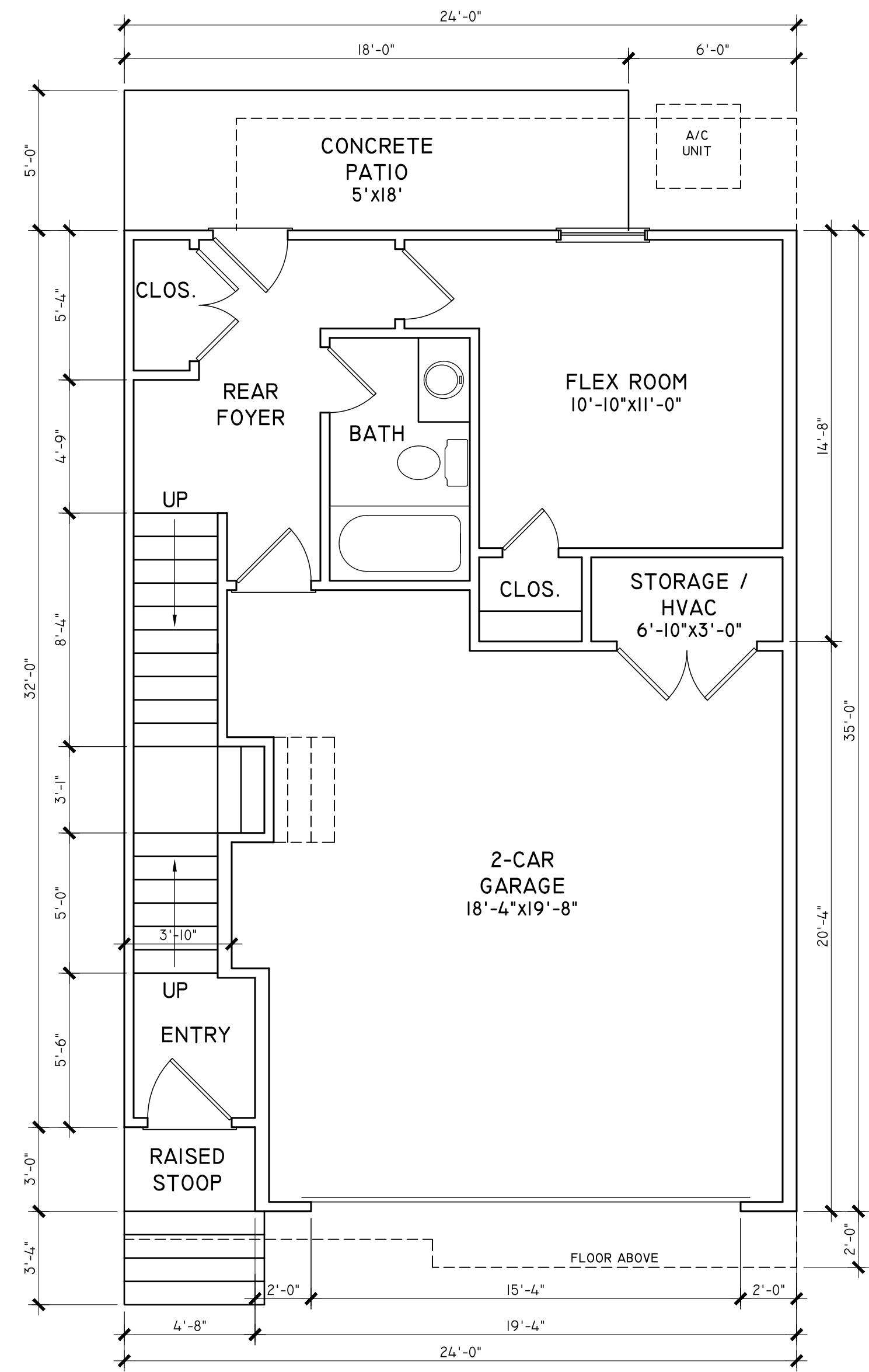
PRELIMINARY  
NOT FOR CONSTRUCTION



3 THIRD FLOOR PLAN  
A/C 1/4" = 1'-0"



2 SECOND FLOOR PLAN  
A/C 1/4" = 1'-0"



1 FIRST FLOOR PLAN  
A/C 1/4" = 1'-0"

275 SUMMEROUR - PLAN C

REVISIONS

DESCRIPTION	DATE

SCALE : 1/4" = 1'-0"  
DRAWN : ADW  
CHECK : ADW  
DATE : 11-12-20  
PROJECT NO. 2031

BUILDING AREA CALCULATIONS

SQUARE FOOTAGE	
FIRST FLOOR	394 S.F.
SECOND FLOOR	788 S.F.
THIRD FLOOR	877 S.F.
TOTAL HEATED	2,059 S.F.
GARAGE	409 S.F.
MECH/STORAGE	24 S.F.
TOTAL UNDER ROOF	2,492 S.F.

SHEET NO.  
A/c

TITLE
   
**SUMMEROUR 275**
  
**A**
  
**TOWNHOME**
  
**COMMUNITY**
  
**NORCROSS, GA**

**CAPITAL CITY**
  
**PROPERTIES**
  
**MARIETTA, GA**

**PRELIMINARY**
  
**NOT FOR CONSTRUCTION**

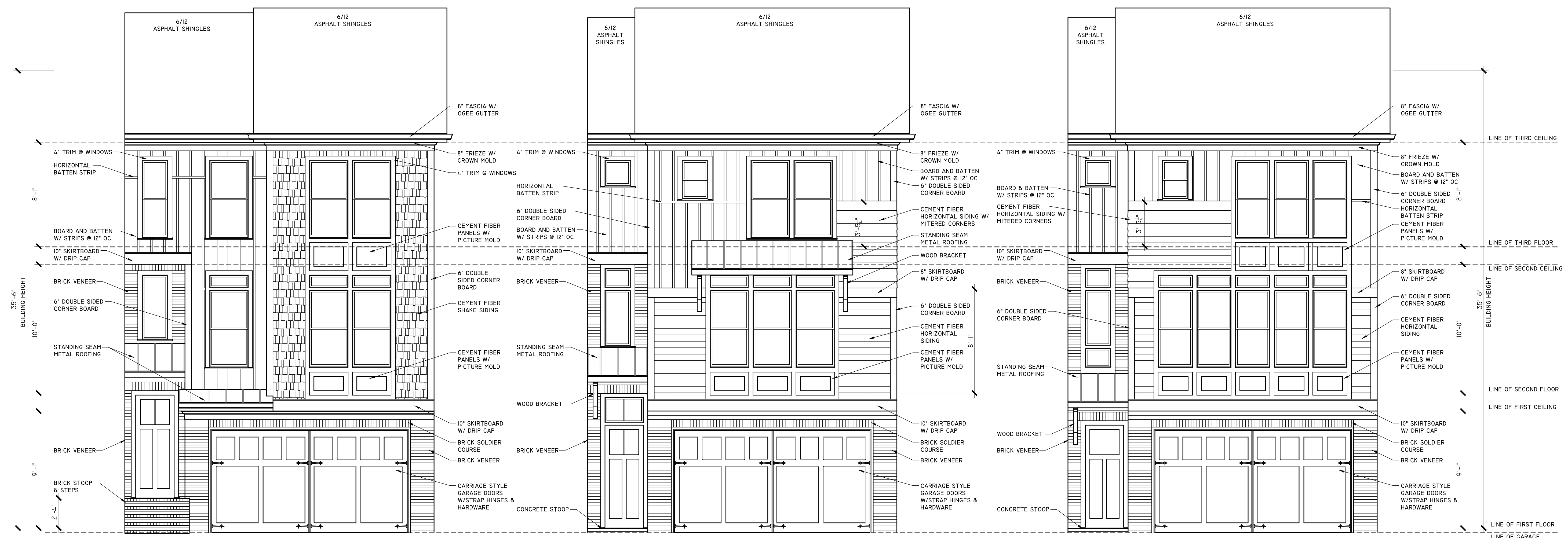
REVISIONS

DESCRIPTION	DATE

SCALE : 1/4" = 1'-0"  
 DRAWN : ADW  
 CHECK : ADW  
 DATE : 11-12-20  
 PROJECT NO. 2031

SHEET NO.

**A2**



**3** ELEVATION - PLAN C
   
 A2 1/4" = 1'-0"

**2** ELEVATION - PLAN B
   
 A2 1/4" = 1'-0"

**1** ELEVATION - PLAN A
   
 A2 1/4" = 1'-0"

TITLE
   
**SUMMEROUR 275**
  
**A**
  
**TOWNHOME**
  
**COMMUNITY**
  
**NORCROSS, GA**

**CAPITAL CITY**
  
**PROPERTIES**
  
**MARIETTA, GA**

**PRELIMINARY**
  
**NOT FOR CONSTRUCTION**

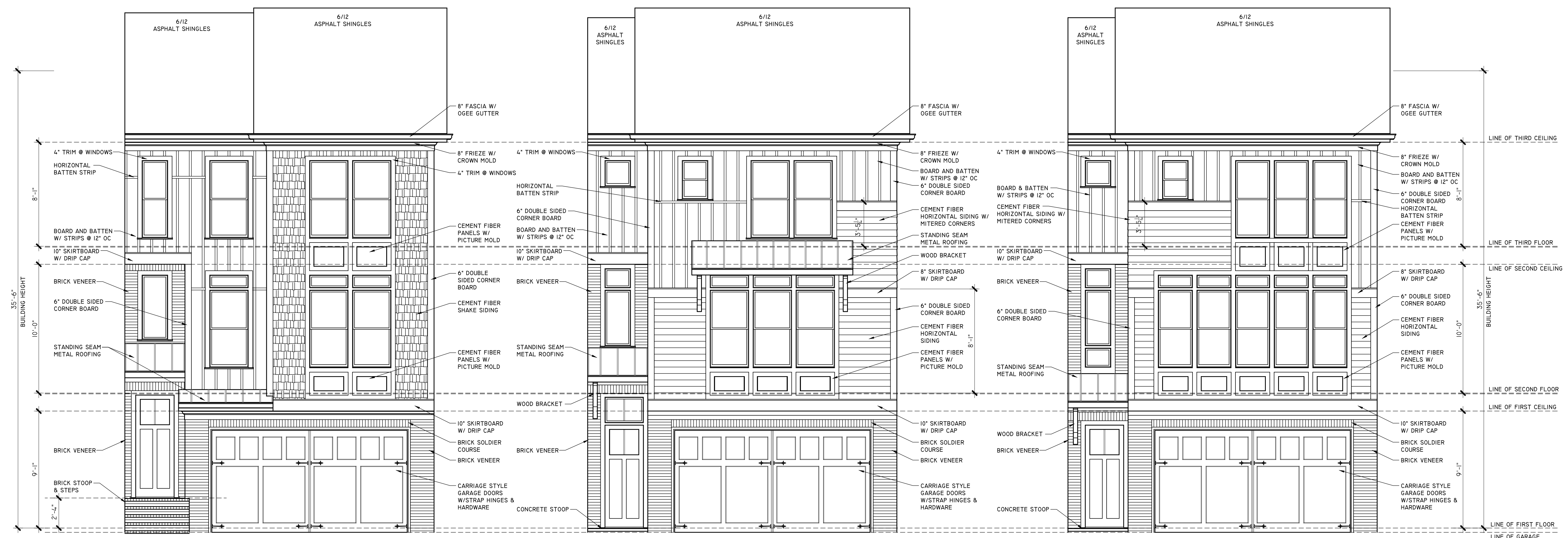
REVISIONS

DESCRIPTION	DATE

SCALE : 1/4" = 1'-0"  
 DRAWN : ADW  
 CHECK : ADW  
 DATE : 11-12-20  
 PROJECT NO. 2031

SHEET NO.

**A2**



**3**
  
**ELEVATION - PLAN C**
  
 1/4" = 1'-0"

**2**
  
**ELEVATION - PLAN B**
  
 1/4" = 1'-0"

**1**
  
**ELEVATION - PLAN A**
  
 1/4" = 1'-0"



MAYOR **Craig Newton** · MAYOR PRO TEM **Bruce Gaynor** · COUNCILMEMBER **ANDREW HIXSON** · COUNCILMEMBER **JOSH BARE**  
COUNCILMEMBER **Matt Myers** · COUNCILMEMBER **Marshall Cheek** · CITY MANAGER **ERIC JOHNSON** · CITY CLERK **Monique**

---

December 5, 2024

Arthur Blumen  
Magnolia Drive LLC  
5805 State Bridge Road  
Duluth, Georgia 30097

Dear Arthur,

Your application, ZBA2024-007, request for variances to eliminate the zoning buffer on the southern and eastern property lines, and to reduce the setbacks on the southern and eastern property lines to 5', were heard on December 5<sup>th</sup>, 2024 by the Norcross Zoning Board of Appeals (ZBA). After careful review and consideration, your variance requests were approved subject to the following condition:

1. Parcel shall only be developed with townhomes.

Should you apply for a permit for development on this property, this letter shall be submitted along with your application. If you have any questions, please contact our office at 678-421-2027.

Sincerely,

Community Development Department, City of Norcross



## Certificate of Appropriateness

<b>Case Number</b>	<b>COA2025-056</b> (Revisions to COA2025-034)
<b>Hearing Date</b>	January 27, 2026
<b>Petitioner</b>	Tsigereda Tekle
<b>Property Location</b>	6028 Lanier Boulevard
<b>Current Zoning</b>	R75
<b>Proposed Zoning</b>	N/A
<b>Proposed Structure</b>	A gable styled front porch
<b>Character Area</b>	Character Area 11: South Norcross Neighborhoods
<b>Site Acreage</b>	.35 Acres
<b>District</b>	6
<b>Land Lot</b>	215
<b>Parcel #</b>	6215 135
<b>Taxes Paid</b>	N/A
<b>Historic District</b>	N/A

### **COMMUNITY DEVELOPMENT AND PLANNING DEPT. RECOMMENDATIONS**

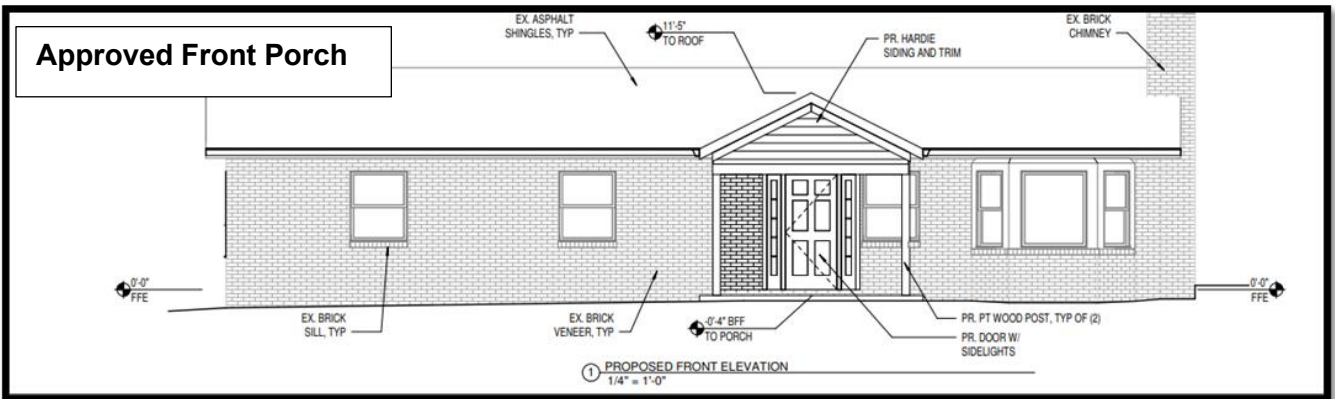
Should the ARB decide to grant approval, Staff recommends the following conditions:

1. All conditions, not otherwise in conflict, to remain in effect.
2. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
3. The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance, if applicable.
4. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
5. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

Revised Front Porch



Approved Front Porch



The content of this report is from the August 19, 2025 Architectural Review Board Meeting Packet

City of Norcross Architectural Review Board Meeting for January 27, 2026, at 6:00 PM

## COA2025-034's Conditions



Mayor: Craig Newton • Mayor Pro Tem: Marshall Cheek • Councilmember: Andrew Hixson • Councilmember: Josh Bare  
Councilmember: Matt Myers • Councilmember: Bruce Gaynor • City Manager: Eric Johnson • City Clerk: Monique Philip

August 19, 2025

Nichelle Bell  
P.O. Box 115404  
Atlanta, GA 30310

RE: COA2025-034: 6028 Lanier Boulevard

Dear Nichelle,

Your application, COA2025-034, a consideration rear additions and a front porch has been reviewed by the City of Norcross Planning Staff and heard by the Architectural Review Board on August 19, 2025. After careful review and consideration, your application was **approved**, with the following conditions:

1. Paint and stain color to be submitted for administrative approval.
2. Front elevation:
  - Columns to be 8x8
  - Siding between the two windows to the left of the front door to be stained to match columns
  - Front door to be double doors and situated approximately 20 inches from window to the right of the front door. Gap between this window and front door to be brick
3. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified



Mayor: Craig Newton • Mayor Pro Tem: Marshall Cheek • Councilmember: Andrew Hixson • Councilmember: Josh Bare  
Councilmember: Matt Myers • Councilmember: Bruce Gaynor • City Manager: Eric Johnson • City Clerk: Monique Philip

Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.

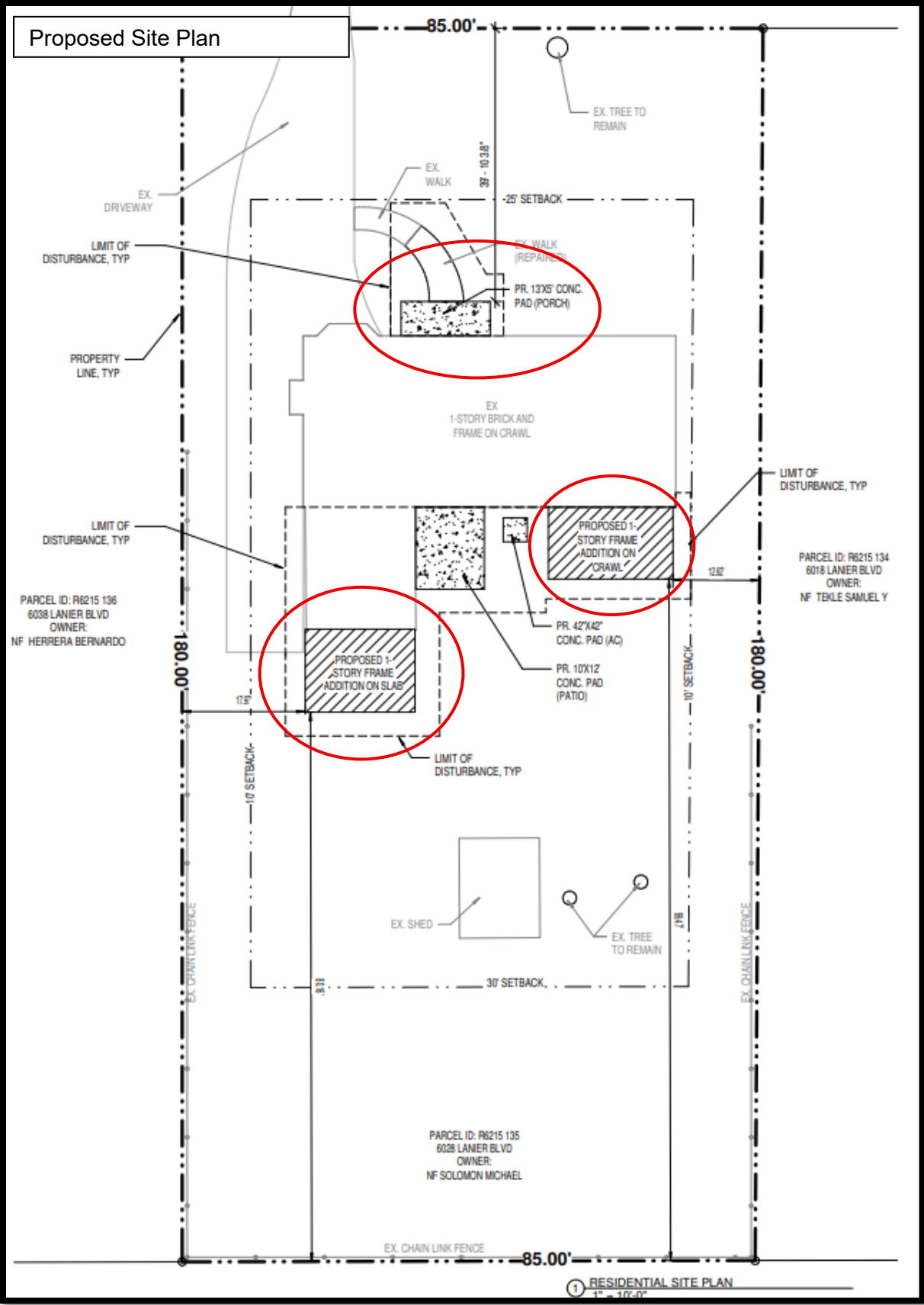
4. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
5. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

Compliance with the UDO shall be shown when submitting construction documents as part of the building permit process. If you have any questions, contact our office at 678-421-2027.

Sincerely,

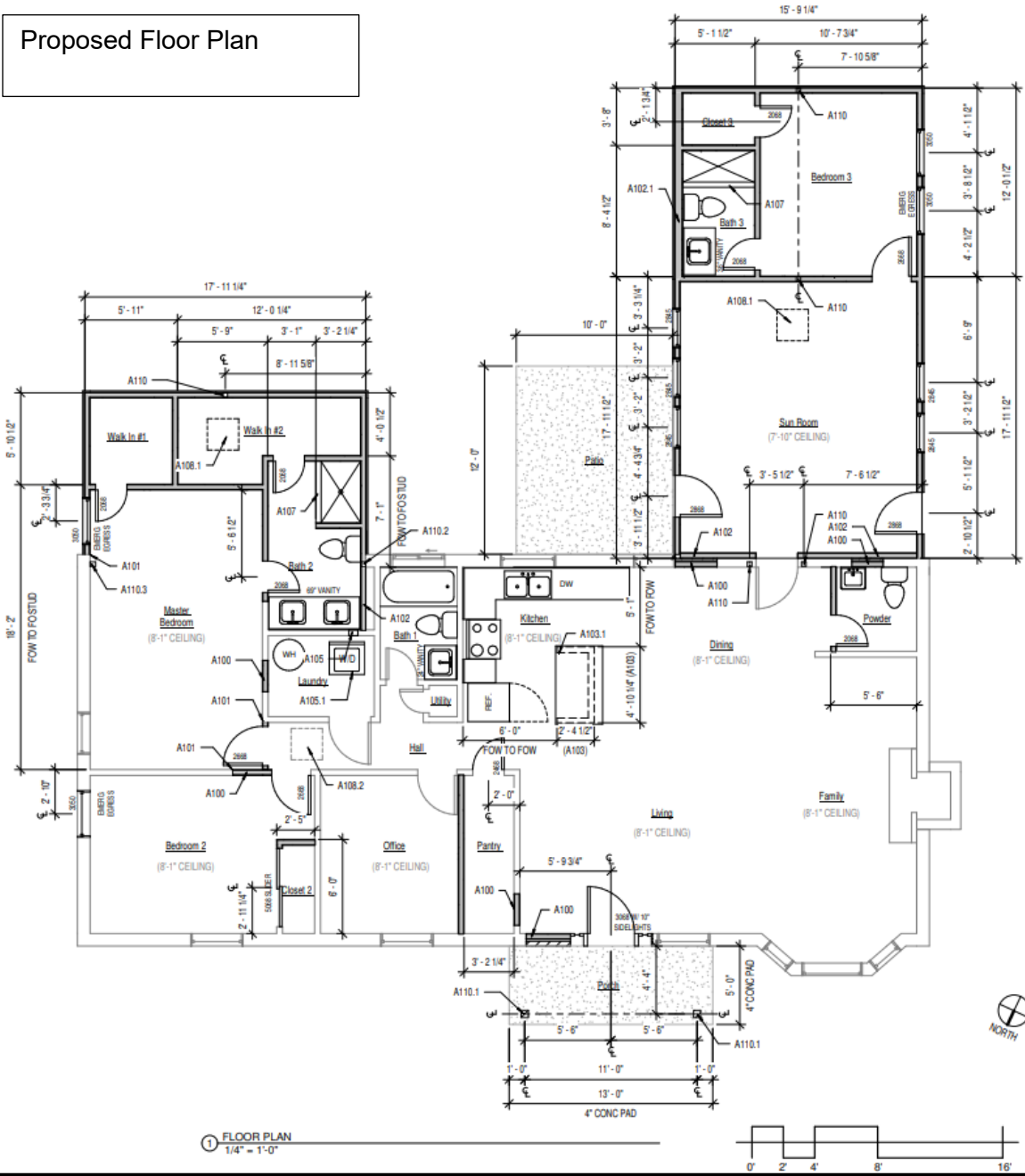
*LeDarius Scott*

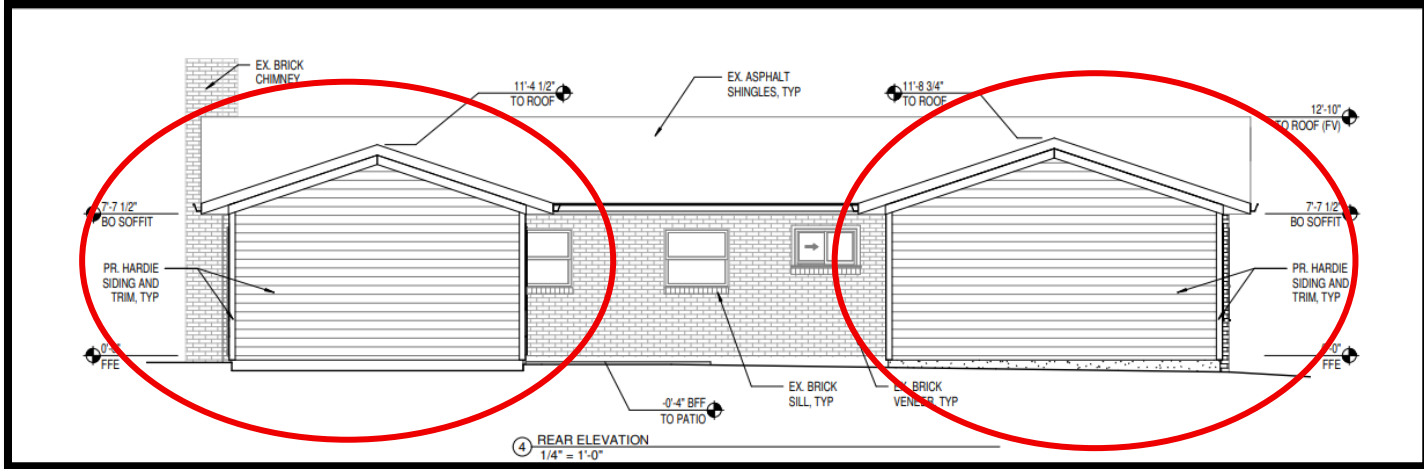
LeDarius Scott, Senior Planner  
City of Norcross



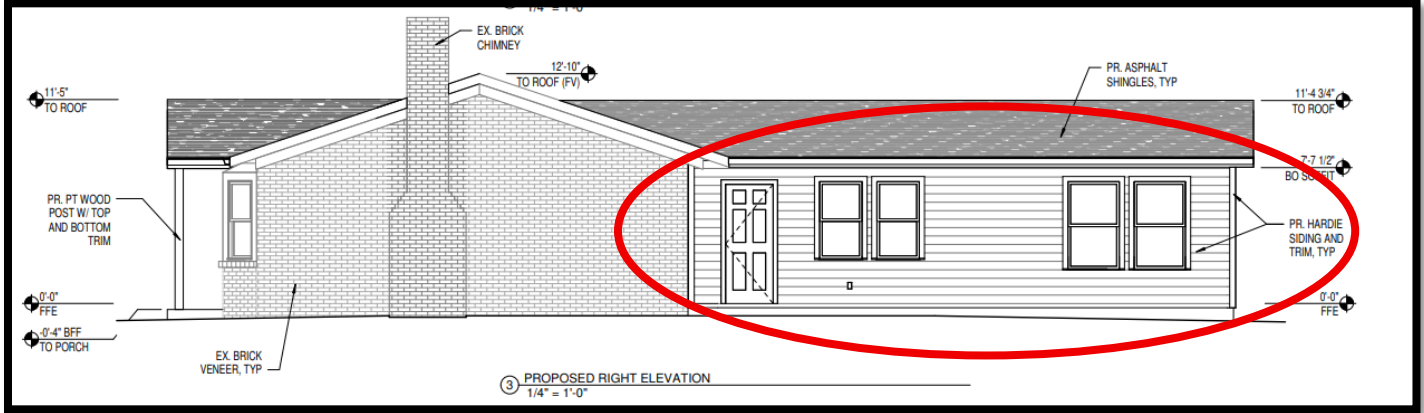
City of Norcross Architectural Review Board Meeting for January 27, 2026, at 6:00 PM

Proposed Floor Plan

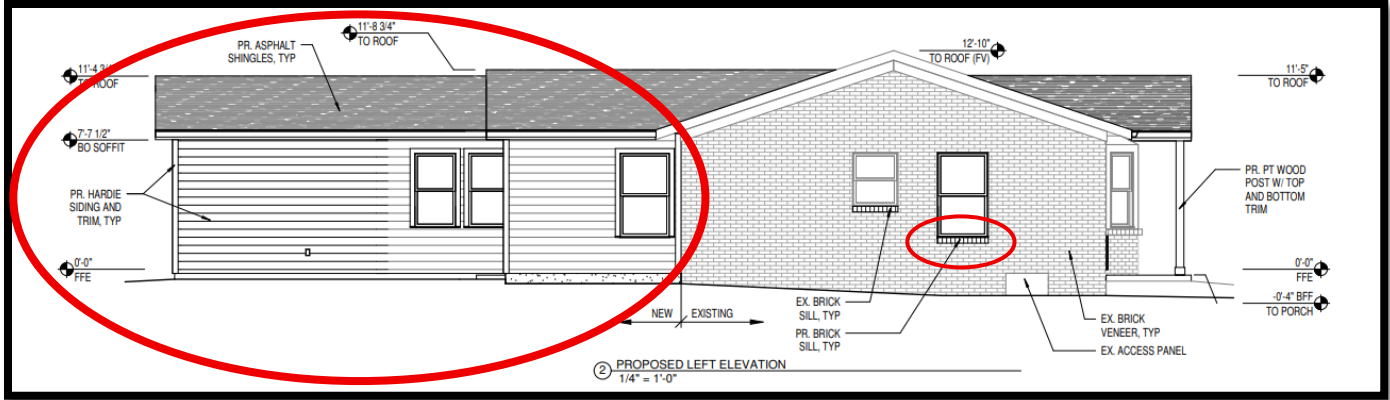




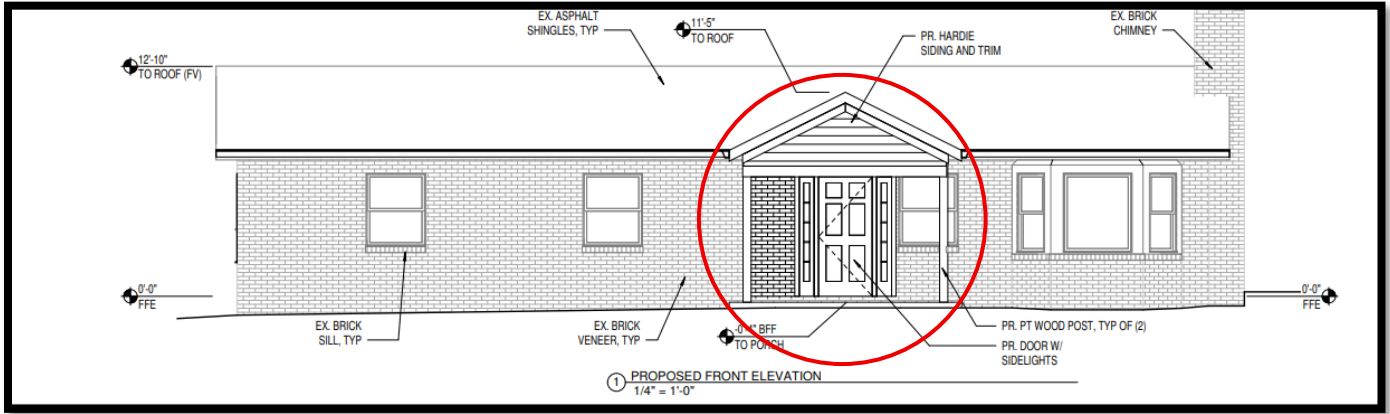
**Description of Proposed Rear Elevation:** The proposed rear elevation shows both the left and right additions with proposed hardie siding material.



**Description of Proposed Right Elevation:** The proposed right-side elevation shows a fenestration of single-hung windows, a door that leads to the sunroom, and an addition made of hardie siding.



**Description of Proposed Left Elevation:** The proposed left addition shows where the additions begin, which shows a fenestration of single-hung windows and hardie siding material for the addition. Although not a part of the Certificate of Appropriateness requests, the proposed left elevation shows the addition of a rowlock brick sill under an existing single-hung window.



**Description of Proposed Front Elevation:** The proposed front elevation shows the existing front façade and the proposed front porch, which consists of a truss made of hardie plank and is supported by two (2) wood posts. There is also a proposed door with sidelights.

**Discussion Items:** What are the proposed color(s) for the wood posts, door, and siding?



## Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Existing brick	Brick veneer
Primary Façade:	Behr Premium TIS-352 Pecan Satin	Hardie siding
Primary Façade: Third		
Left Side:	Behr Premium TIS-352 Pecan Satin	Hardie siding
Left Side: Second		
Left Side: Third		
Left Side:		
Right Side:	Behr Premium TIS-352 Pecan Satin	Hardie siding
Right Side: Second		
Right Side:		
Right Side:	Behr Premium TIS-352 Pecan Satin	Hardie siding
Rear: First		
Rear: Second		
Rear: Third		
Rear: Basemnt		



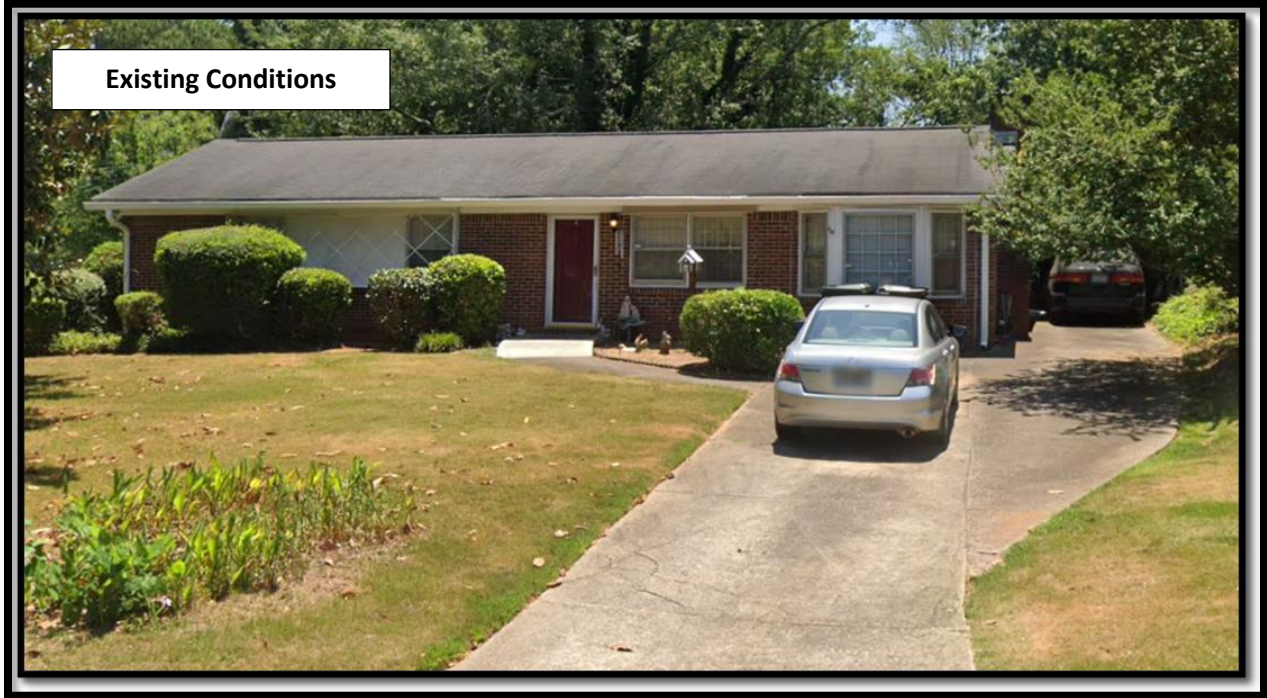
## Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Existing	Brick veneer
Garage Doors		
Trim	Behr Ultra, BWC-21 Poetic light satin enamel	Painted wood
Mortar	Existing	Standard mortar
Gutters	Standard white or match trim	Metal
Corner Board	Behr Ultra, BWC-21 Poetic light satin enamel	Painted wood
Railings		
Windows	White	Insulated vinyl
Window Sills	White or match window	Vinyl or wood
Window Muntin/Mulli	Daynasty, Espresso Beans PPU5-01D	Vinyl
Columns	Behr Ultra, BWC-21 Poetic light satin enamel	Painted wood
Other Architectural Features		
Other Architectural	SIDING Behr Premium TIS - 352 Pecan Satin	PAINT

REVISED JAN 2025

4



### **Summary of applicant's proposal**

The applicant is seeking to revise the front porch to a gable style porch. Below is the original proposal:

The applicant seeks to add two (2) additions to the existing residence: one adjacent to the eastern property line; and one adjacent to the western property line. The proposed rear additions will extend the master suite and add a separate family room and bedroom. According to the application, the proposed color of the additions will be Behr Premium TIS-352 or Pecan Satin with a Hardie Siding Material finish. Although not a part of the Certificate of Appropriateness scope of work, the applicant is also proposing a front porch for the existing home, and a rowlock brick sill for an existing window on the left elevation to match the existing windows that are attached to the existing brick façade on the residence.

### **Proposed Site Plan**

The applicant's site plan shows the footprint of the existing one (1) story residence, a 65 square-foot pad for the proposed front porch, and the two (2) one story additions to the rear of the existing home. As it pertains to the additions' adherence to the R75 lot development standards, the front porch and additions meet the prescribed front setback, side setbacks, rear setback, and impervious coverage.

### **Current zoning district for the property**

The R75 single-family residence zoning district is intended primarily for single-family residences and related uses on medium sized lots in the city.



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address:	6028 Lanier Blvd	Lot #	Tax Parcel ID: R6215 135
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name:	Michael Solomon	Phone:	[REDACTED]
Address:	6028 Lanier Blvd	City:	Norcross
		State:	GA
		Zip Code:	30071
APPLICANT			
Applicant Name:	Nichelle Bell	Phone:	[REDACTED]
Company Name:	Busy Bee Works LLC	Email:	[REDACTED]
Address:	P.O. Box 115404	City:	Atlanta
		State:	GA
		Zip Code:	30310
DESCRIPTION OF PROJECT			
Project Type <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:			
<p><b>INTERIOR RENOVATION OF EXISTING RESIDENCE AND TWO PROPOSED ADDITIONS AT REAR. PROPOSED REAR ADDITIONS SHALL EXTEND MASTER SUITE AND ADD A SEPARATE FAMILY ROOM AND BEDROOM SUITE. WORK INCLUDES ASSOCIATED FRAMING, ELECTRICAL, PLUMBING, AND MECHANICAL.</b></p>			
STATEMENT			
<p>Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months?</p> <p style="text-align: center;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="text-align: center;">If yes, please list the board and reference number:</p> <p style="text-align: center;">_____</p>			
OWNER'S SIGNATURE			
Signature:		Date:	07/01/2025
<p><b>NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <a href="https://eplansolution.com/norcrossga">https://eplansolution.com/norcrossga</a> Hard copies of application materials will not be accepted.</b></p>			



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

## ARCHITECTURAL REVIEW BOARD MEETING CALENDAR

Pre-Application Submittal Deadline	Application Submittal Deadlines	ARB Meeting
12/01/2024	12/08/2024	01/21/2025
12/30/2024	01/06/2025	02/18/2025
01/27/2025	02/03/2025	03/18/2025
02/24/2025	03/03/2025	04/15/2025
03/31/2025	04/07/2025	05/20/2025
04/28/2025	05/05/2025	06/17/2025
05/26/2025	06/02/2025	07/15/2025
06/30/2025	07/07/2025	08/19/2025
07/28/2025	08/04/2025	09/16/2025
09/01/2025	09/08/2025	10/21/2025
09/29/2025	10/06/2025	11/18/2025
10/27/2025	11/03/2025	12/16/2025

## HISTORIC PRESERVATION COMMISSION MEETING CALENDAR

Pre-application Meeting Deadline	Application Submittal Deadline	Historic Preservation Commission Meeting
12/01/2024	12/08/2024	01/22/2025
01/06/2025	01/13/2025	02/26/2025
02/03/2025	02/10/2025	03/26/2025
03/03/2025	03/10/2025	04/23/2025
04/07/2025	04/14/2025	05/28/2025
05/05/2025	05/12/2025	06/25/2025
06/02/2025	06/09/2025	07/23/2025
07/07/2025	07/14/2025	08/27/2025
08/04/2025	08/11/2025	09/24/2025
09/01/2025	09/08/2025	10/22/2025
10/06/2025	10/13/2025	11/26/2025
11/03/2025	11/10/2025	12/24/2025

ARCHITECTURAL REVIEW BOARD/ HISTORIC PRESERVATIONS REVIEW FEES		
Commercial/Industrial Major Reviews	Major Project Reviews	\$500
Commercial/Industrial Reviews	Minor improvements to façade	\$150
Residential Major Review	New Residential Construction in the City or Historic District	\$150
Residential Minor/Administrative Staff Review	Minor improvements or alterations in the City or Historic District/Administrative Staff Review	\$25
Historic Demolition	Historic Demolition Review	\$500



# Certificate of Appropriateness Application

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<b>Foundation Type: (Circle One)</b>		
Slab	<u>Crawl Space</u>	Basement
<b>Building Dimensions:</b>		
Width: 39'-10"	Length: 52'	Height:* 12'-10"
<b>Area Dimensions:</b>		
First Floor: 2,058	Second Floor:	Third Floor:
Basement**:	Front Porch: 65	Rear Porch:
Patio: 120	Garage:	
<b>Primary Roof System: (Circle One)</b>		
<u>Gable</u>	Hip	Gambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
<b>Roof Pitches:</b>		
Primary Roof Pitch:	6:12	
Secondary Roof Pitch:		
Additional Roof Pitch:		
<b>Floor and Elevation Plan information to be included on each</b>		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
<b>Site Plan and Landscape Plan information to be included on each</b>		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
<p>*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.</p> <p>**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.</p>		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
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ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Existing brick	Brick veneer
Primary Façade:	Behr Premium TIS-352 Pecan Satin	Hardie siding
Primary Façade: Third		
Left Side:	Behr Premium TIS-352 Pecan Satin	Hardie siding
Left Side: Second		
Left Side: Third		
Left Side:		
Right Side:	Behr Premium TIS-352 Pecan Satin	Hardie siding
Right Side: Second		
Right Side:		
Right Side:	Behr Premium TIS-352 Pecan Satin	Hardie siding
Rear: First		
Rear: Second		
Rear: Third		
Rear: Basemnt		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027

65 Lawrenceville Street Norcross, GA 30071

<b>COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)</b>		
<b>Component</b>	<b>Color (Include manufacturer's ID)</b>	<b>Material</b>
<b>Masonry</b>	<b>Existing</b>	<b>Brick veneer</b>
<b>Garage Doors</b>		
<b>Trim</b>	<b>Behr Ultra, BWC-21 Poetic light satin enamel</b>	<b>Painted wood</b>
<b>Mortar</b>	<b>Existing</b>	<b>Standard mortar</b>
<b>Gutters</b>	<b>Standard white or match trim</b>	<b>Metal</b>
<b>Corner Board</b>	<b>Behr Ultra, BWC-21 Poetic light satin enamel</b>	<b>Painted wood</b>
<b>Railings</b>		
<b>Windows</b>	<b>White</b>	<b>Insulated vinyl</b>
<b>Window Sills</b>	<b>White or match window</b>	<b>Vinyl or wood</b>
<b>Window Muntin/Mulli</b>	<b>Daynasty, Espresso Beans PPU5-01D</b>	<b>Vinyl</b>
<b>Columns</b>	<b>Behr Ultra, BWC-21 Poetic light satin enamel</b>	<b>Painted wood</b>
<b>Other Architectural Features</b>		
<b>Other Architectural</b>	<b>SIDING Behr Premium TIS - 352 Pecan Satin</b>	<b>PAINT</b>



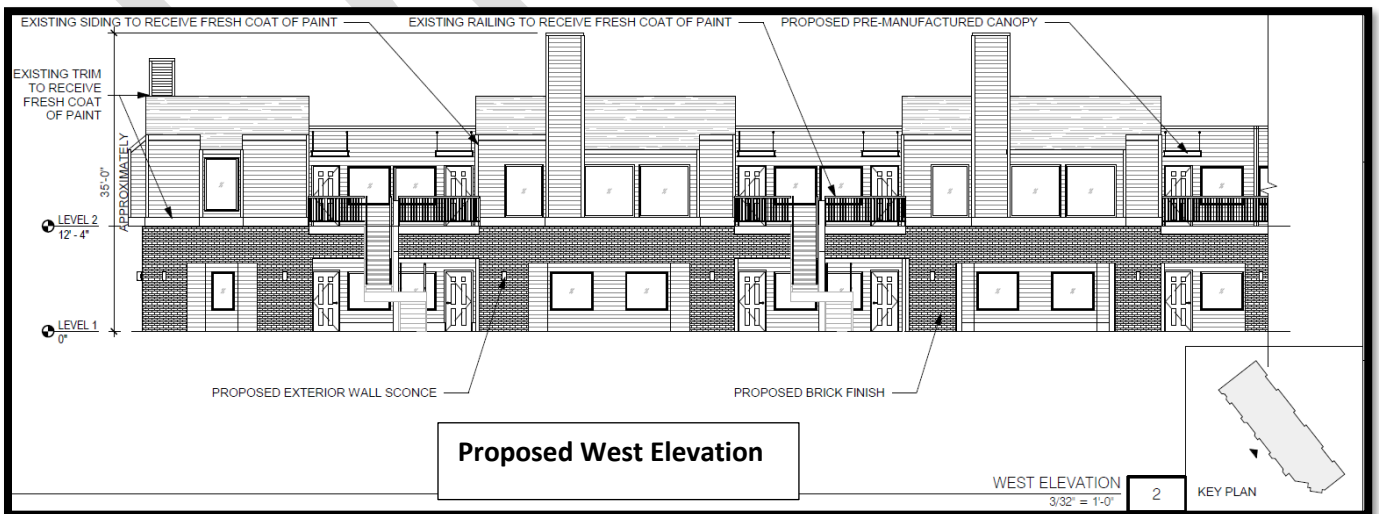
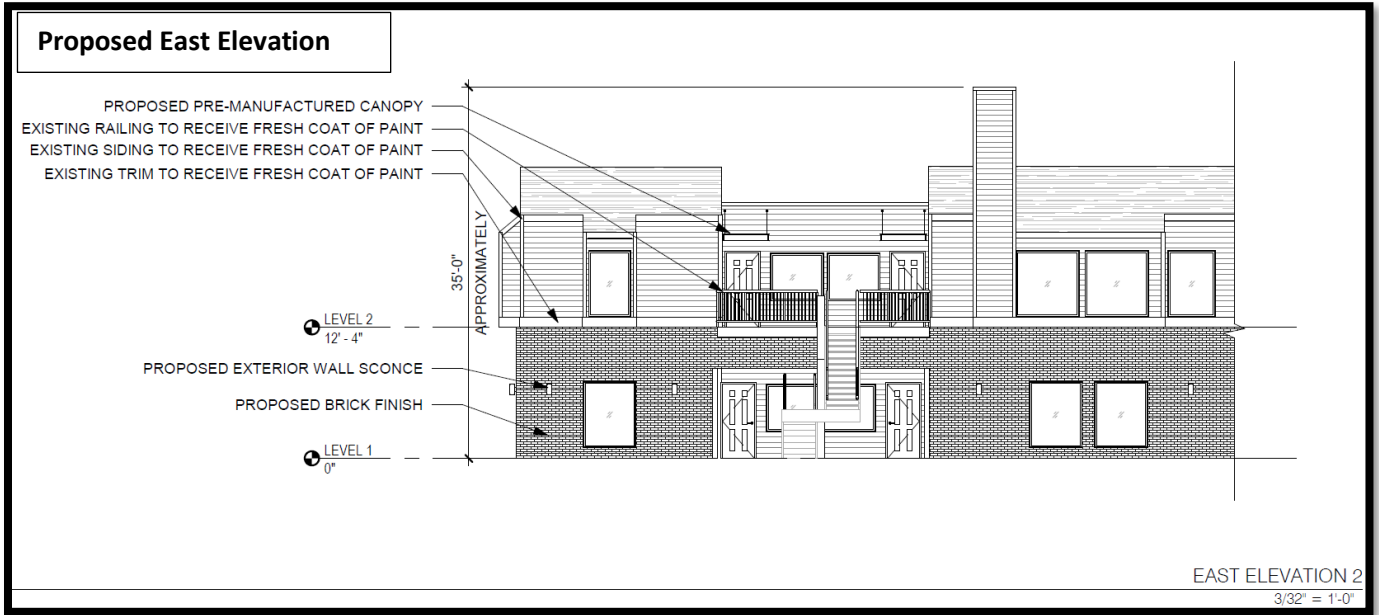
## Certificate of Appropriateness

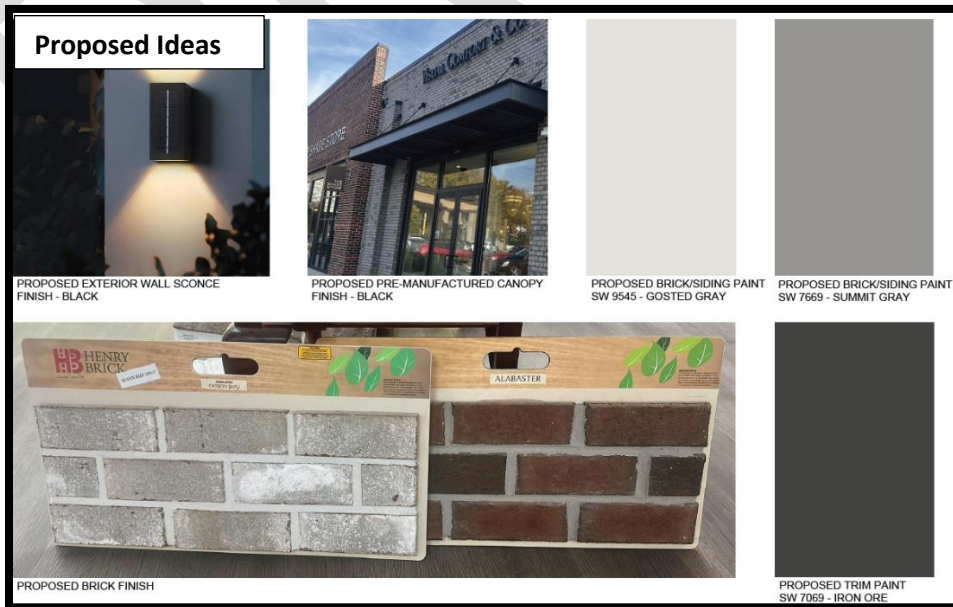
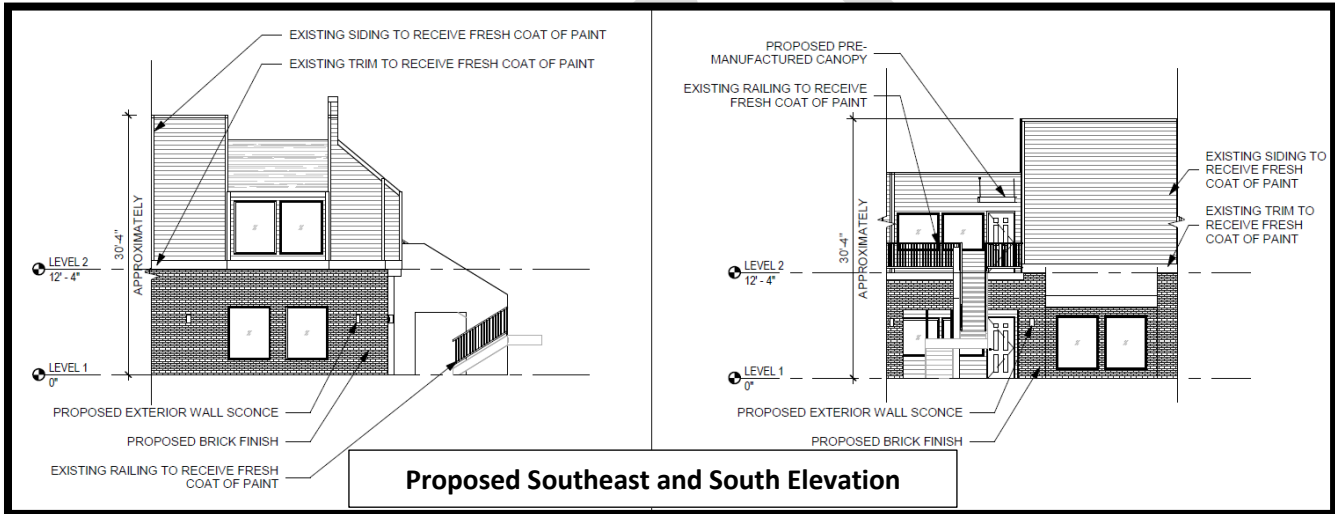
<b>Case Number</b>	<b>COA2025-057</b>
<b>Hearing Date</b>	January 27, 2026
<b>Petitioner</b>	Harish Reddy
<b>Property Location</b>	3040 Holcomb Bridge Road
<b>Current Zoning</b>	C2 (General Business)
<b>Proposed Zoning</b>	N/A
<b>Proposal</b>	Façade and Paint to an Existing Office Building
<b>Character Area</b>	Character Area 2: Medlock/Peachtree Industrial Boulevard
<b>Site Acreage</b>	0.73 Acres
<b>District</b>	6
<b>Land Lot</b>	274
<b>Parcel #</b>	6274 040
<b>Taxes Paid</b>	N/A
<b>Historic District</b>	N/A

### **COMMUNITY DEVELOPMENT AND PLANNING DEPT. RECOMMENDATIONS**

Should the ARB decide to grant approval, Staff recommends the following conditions:

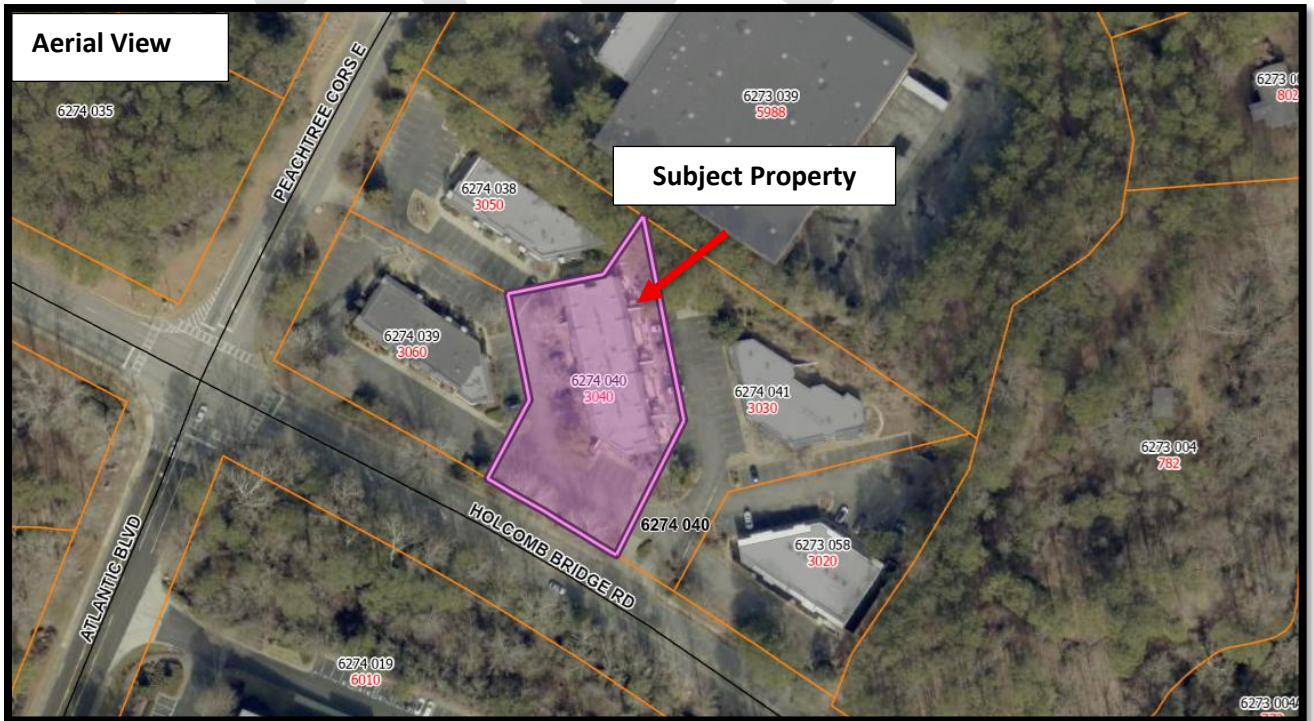
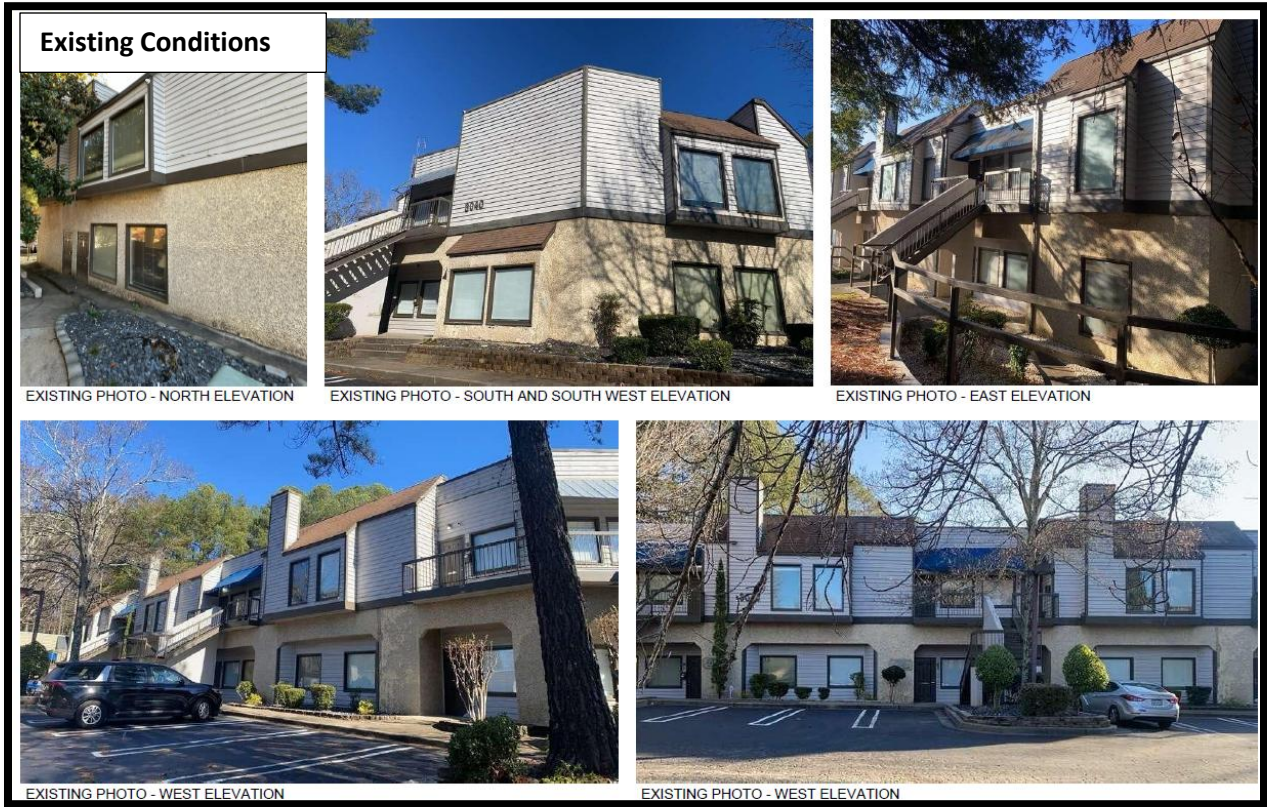
1. This approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance, if applicable.
3. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
4. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.





COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Brick Red & gray Queen Site	
Garage Doors	N/A	
Trim	iron ore Sherwin Williams #7069	
Mortar	white or light gray	
Gutters	iron ore Sherwin #7069	
Corner Board		
Railings	iron ore Sherwin #7069	
Windows	Trim color	
Window Sills	N/A	
Window Muntin/Mulli	N/A	
Columns	N/A	
Other Architectural Features	N/A	
Other Architectural	N/A	

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Sherwin Williams 9545 & 7669	exterior paint BRICK color Red & grey
Primary Façade:	//	
Primary Façade: Third	//	
Left Side:	//	
Left Side: Second	//	
Left Side: Third	//	
Left Side:	//	
Right Side:	//	
Right Side: Second	//	
Right Side:	//	
Right Side:	//	
Rear: First	//	
Rear: Second	//	
Rear: Third	//	
Rear: Basemnt	//	



**Summary of the applicant's proposal**

The applicant seeks to upgrade the façade of an existing office building. The applicant is proposing an exterior brick finish on the first level with a paint refresh, canopies, and sconces.

**Architectural and Site Design Standards**

**3.5.1.9**

Approved building materials include brick, stone, wood, and wood shakes/shingles.

**3.5.2.9**

All construction shall include a combination of architectural treatment of brick or stone masonry, stucco, wood, or other durable materials. Any buildings that would like to use other materials shall submit design to the ARB for approval.

**Current zoning district for the property**

The C2 general business district is established to provide adequate space in appropriate locations along major streets, thoroughfares and at intersections for various types of business and service uses. These uses should include the retailing of major goods and services, general office facilities, and public functions that would serve a community area of several neighborhoods. Development of uses in the district characteristically occupies a larger area than in the C1 neighborhood business district because it is intended to serve a greater population and to offer a wider range of goods and services. Orientation and expansion of this district should occur as an increase in depth at major intersections rather than as a strip-like extension along the street or thoroughfare.



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address: 3040 Holcomb bridge Rd	Lot #	Tax Parcel ID:	
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name: Crossing Center investment		Phone: [REDACTED]	
Address: 8840 Old Southwick Pass	City: Alpharetta	State: GA	Zip Code: 30022
APPLICANT			
Applicant Name: Harish Reddy		Phone: [REDACTED]	
Company Name: Crossing Center investment LLC		Email: [REDACTED]	
Address: 8840 Old Southwick Pass Alpharetta, GA 30022	City: Alpharetta	State: GA	Zip Code: 30022
DESCRIPTION OF PROJECT			
Project Type: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Administrative			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:			
Add brick to first floor, Repaint Second floor and Replace any Rotten wood. Add some exterior wall sconce lights. Brick will be Queensize with Red and gray combinations Exterior paint is gray and trim color is Charcoal			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months?			
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If yes, please list the board and reference number:			
_____			
OWNER'S SIGNATURE			
Signature:		Date: 12/2/2025	
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <a href="https://eplansolution.com/norcrossga">https://eplansolution.com/norcrossga</a> Hard copies of application materials will not be accepted.			



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width:	Length:	Height:* 30 ft
Area Dimensions:		
First Floor:	Second Floor:	Third Floor:
Basement**:	Front Porch:	Rear Porch:
Patio:	Garage:	
Primary Roof System: (Circle One)		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat ✓
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch: flat roof we are not making any changes		
Secondary Roof Pitch:		
Additional Roof Pitch:		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Brick Redgray Queen size	
Garage Doors	N/A	
Trim	iron ore Sherwin williams #7069	
Mortar	white or light gray	
Gutters	iron ore Sherwin # 7069	
Corner Board		
Railings	iron ore Sherwin # 7069	
Windows	Trim color	
Window Sills	N/A	
Window Muntin/Mulli	N/A	
Columns	N/A	
Other Architectural Features	N/A	
Other Architectural	N/A	



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
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ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Sherwin Williams 9545 & 7669	exterior paint BRICK color Red & gray
Primary Façade:		
Primary Façade: Third		
Left Side:		
Left Side: Second		
Left Side: Third		
Left Side:		
Right Side:		
Right Side: Second		
Right Side:		
Right Side:		
Rear: First		
Rear: Second		
Rear: Third		
Rear: Basemnt		



# Owner's Affidavit

Community Development Department Phone: 678-421-2027 65  
Lawrenceville Street Norcross, GA 30071

<b>Section I. Land Ownership</b>	
I, <u>Harish Reddy</u> , hereby attest to ownership of the property located at <u>3040 Holcombbridge Rd</u> Parcel ID# _____ for which this Application is submitted. The Ownership, as recorded on the deed, is in the name of <u>Crossing Center investment LLC</u>	
<b>Section II. Type of Ownership</b>	
<input type="checkbox"/> Individual <input type="checkbox"/> Corporation/LLC <input checked="" type="checkbox"/> Partnership <input type="checkbox"/> Government <input type="checkbox"/> Homeowner	
Corporation/LLC/Partnership Name: <u>Crossing Center investment LLC</u>	Secretary of State Registration Number:
	Registered Agent Name:
Provide Names of all Officers/Members/General Partners (If applicable): <u>Harish Reddy, Preet Singh</u>	
Registered Agent Address:	Registered Agent Phone #:
<b>COMPLETE BY OWNER</b>	
As the owner of the above designated property for which this affidavit is submitted, I wish to allow <u>HARISH REDDY</u> (applicant's name) to apply for a <u>permit</u> for the address mentioned in Section I of this form. I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief.	
<b>NOTARY</b>	
Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.	Sworn and subscribed before me this <u>3rd</u> day of <u>DECEMBER</u> , 20 <u>25</u> .
Name: <u>HARISH REDDY</u>	Notary Public:
Address: <u>8800 Old Southwick Pass</u>	Seal:
City, State, Zip Code: <u>Alpharetta, GA 30022</u>	
Email address: _____	
Phoner Number: _____	
Owner's signature: 	



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address: 3040 Holcomb bridge Rd	Lot #	Tax Parcel ID:	
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name: CROSSING Center investment	Phone: [REDACTED]		
Address: 8840 Old Southwick Pass	City: Alpharetta	State: GA	Zip Code: 30022
APPLICANT			
Applicant Name: HARISH Reddy	Phone: [REDACTED]		
Company Name: CROSSING Center investment	Email: [REDACTED]		
Address: 8840 Old Southwick Pass Alpharetta, GA 30022	City: Alpharetta	State: GA	Zip Code: 30022
DESCRIPTION OF PROJECT			
Project Type: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Administrative			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed: Add brick to first floor, Repaint Second floor and Replace any Rotten wood. Add some exterior wall sconce lights. Brick will be Queensize with Red and gray combinations Exterior paint is gray and trim color is Charcoal			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please list the board and reference number: _____			
OWNER'S SIGNATURE			
Signature: [Signature]	Date: 12/2/2025		
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <a href="https://eplansolution.com/norcrossga">https://eplansolution.com/norcrossga</a> Hard copies of application materials will not be accepted.			



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

<b>Foundation Type: (Circle One)</b>		
Slab	Crawl Space	Basement
<b>Building Dimensions:</b>		
Width:	Length:	Height:* 30 FT
<b>Area Dimensions:</b>		
First Floor:	Second Floor:	Third Floor:
Basement**:	Front Porch:	Rear Porch:
Patio:	Garage:	
<b>Primary Roof System: (Circle One)</b>		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat ✓
Saltbox	Shed	Other:
<b>Roof Pitches:</b>		
Primary Roof Pitch: flat roof we are not making any changes		
Secondary Roof Pitch:		
Additional Roof Pitch:		
<b>Floor and Elevation Plan information to be included on each</b>		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
<b>Site Plan and Landscape Plan information to be included on each</b>		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Brick Red gray Queen site	
Garage Doors	N/A	
Trim	iron ore Sherwin williams #7069	
Mortar	white or light gray	
Gutters	iron ore Sherwin # 7069	
Corner Board		
Railings	iron ore Sherwin # 7069	
Windows	Trim color	
Window Sills	N/A	
Window Muntin/Mulli	N/A	
Columns	N/A	
Other Architectural Features	N/A	
Other Architectural	N/A	



# Certificate of Appropriateness Application

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ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Sherwin Williams 9545 & 7669	exterior paint BRICK color Red & gray
Primary Façade:	//	
Primary Façade: Third	//	
Left Side:	//	
Left Side: Second	//	
Left Side: Third	//	
Left Side:	//	
Right Side:	//	
Right Side: Second	//	
Right Side:	//	
Right Side:	//	
Rear: First	//	
Rear: Second	//	
Rear: Third	//	
Rear: Basemnt	//	



# Owner's Affidavit

Community Development Department Phone: 678-421-2027 65  
Lawrenceville Street Norcross, GA 30071

**Section I. Land Ownership**  
 I, Harish Reddy, hereby attest to ownership of the property located at  
3040 Holcomb bridge Rd Parcel ID# \_\_\_\_\_ for which this Application is submitted.  
 The Ownership, as recorded on the deed, is in the name of Crossing Center investment LLC

**Section II. Type of Ownership**  
 Individual     Corporation/LLC     Partnership     Government     Homeowner

Corporation/LLC/Partnership Name: Crossing Center investment LLC    Secretary of State Registration Number: \_\_\_\_\_  
 Registered Agent Name: \_\_\_\_\_

Provide Names of all Officers/Members/General Partners (If applicable):  
Harish Reddy, Preet Singh

Registered Agent Address: \_\_\_\_\_    Registered Agent Phone #: \_\_\_\_\_

**COMPLETE BY OWNER**

As the owner of the above designated property for which this affidavit is submitted, I wish to allow HARISH REDDY (applicant's name) to apply for a permit for the address mentioned in Section I of this form. I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief.

**NOTARY**

Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.	Sworn and subscribed before me this <u>3rd</u> day of <u>December</u> , 20 <u>25</u> .
Name: <u>HARISH REDDY</u>	Notary Public:
Address: <u>6540 Old Southwick Pass</u>	Seal:
City, State, Zip Code: <u>Alpharetta, GA 30022</u>	
Email address: _____	
Phoner Number: _____	
Owner's signature: 	
	Commission expires: <u>07/25/27</u> 