

City of Norcross

65 Lawrenceville Street

Norcross, GA 30071



Meeting Agenda

Monday, February 16, 2026

6:30 PM

2nd Floor Conference Room

Policy Work Session

Mayor Craig Newton
Mayor ProTem Bruce Gaynor
Councilmember Andrew Hixson
Councilmember Josh Bare
Councilmember Matt Myers
Councilmember Marshall Cheek

Livestream Here:

<https://norcrossga.portal.civicclerk.com/event/182/media>

<https://www.youtube.com/@cityofnorcross4434>

- A. Roll Call (recorded)**
- B. Citizen Input**
- C. Board Updates**
- D. General Updates**
- E. Council- General Discussions**
- F. City Manager's Report**

G. Board Appointments

The Mayor and Council will consider appointments and reappointments to the following Boards, Commissions, or Authorities:

H. Items for Discussion

- 1. 2026-59: Expanded Downtown Parking Planning and Design**
Approve 60% P&E design and additional funding for 100% design and construction plans.

Attachments:

1. Agenda Report - Expanded Downtown Parking
2. Expanded Downtown Parking Site Plan- Rendering
3. DowntownNorcrossParking-CivilSet-60percent
4. DowntownNorcrossParking-SpecList-60PERCENT
5. Costs for 100% Design-Expanded Downtown Parking
6. Budget Amendment Item 26-021626-3

- 2. 2026-60: Thrasher Park Lighting Enhancements Update**
Authorize staff to proceed with proposal for Thrasher Park lighting enhancements provided by TheOutdoorLights, Inc.

Attachments:

1. Agenda Report - Thrasher Park Lighting Enhancements Update - 2.12.26
2. Lighting Concept Layout - TheOutdoorLights, Inc.
3. Cost Proposal -TheOutdoorLights, Inc.
4. Cost Proposal and Lighting Concept Layout - FireFly

- 3. 2026-61: Pay Increase for Judge and Solicitor**
Approve pay increases for Judge and Solicitor to remain competitive in the current job market.

Attachments:

1. Agenda Report - Pay Increase for Judge and Solicitor
2. 2025 Municipal Pay Rates

3. Budget Amendment Item 26-021626

4. 2026-65: Amendment to the 2045 Comprehensive Plan

Approval of the proposed amendment to the Comprehensive Plan to present a refined vision for growth and development in Norcross that will provide guidance to Mayor & Council when considering future development proposals.

Attachments:

1. Agenda Report Comp Plan Amendment_PWS_02.16.26
2. Full Comprehensive Plan Document- Tracked Changes from Adopted 2024 Plan
3. Full Comprehensive Plan Document with Amendments Incorporated is not attached, but can be accessed here:
https://www.norcrossga.net/DocumentCenter/View/8822/20251210_Norcross-2045-CP-2---Vision---Changes-Incorporated_DRAFT_Spread-FULLY-INTEGRATED
4. ARC Plan Review Letter 02-03-26
5. Metro Atlanta Housing Strategy Toolkit Comments
6. Doraville Comments on Norcross Plan

5. 2026-45: RZ2025-008; PKST Lively LLC, c/o Troutman Pepper Locke LLP; 705 Lively Avenue

Approval of rezoning to M1, Light Industry, Zoning District

Attachments:

1. Agenda Report - RZ2025-008
2. STAFF REPORT
3. Rezoning Application Redacted
4. Letter of Intent
5. Proposed Site Plan
6. Applicant for RZ2025-008 Presentation for 02.16.2026 PWS

6. 2026-67: TEXT2026-002; Amendment to the Unified Development Ordinance

Approval of amendments to the Unified Development Ordinance

Attachments:

1. Agenda Report - TEXT2026-002
2. TEXT2026-002_UDO Amendment Section 104-3

7. 2026-64: Downtown Parking Policies and Related Amendments to the Unified Development Ordinance

Approve recommended policies and direct the Community Development staff to prepare for consideration of amendments to the Unified Development Ordinance (UDO) to better facilitate economic and business development by eliminating minimum parking requirements for commercial uses in Historic Downtown Norcross.

Attachments:

1. Agenda Report - Downtown Parking Policies

8. 2026-34: Appropriate \$5 Million for the Construction of the Public Safety Administration Building

Approval to appropriate \$5,000,000.00 in available funds in the General Fund to be used as a funding source for the construction of the Public Safety Administration building.

Attachments:

- 1. Agenda Report - Appropriate Funding for the Public Safety Admin Building - Construction Cost
- 2. May 5, 2025 Agenda item
- 3. Budget Amendment Item 26-021626-2

9. 2026-72: Phase II Property Corrective Deed and Parking Easement between City and DDA

Authorize the City to execute the Parking Easement and Corrective Deed between the City and the Downtown Development Authority as presented.

Attachments:

- 1. 2026 Agenda Report
- 2. Corrective Deed (Mitchell Road)
- 3. Prior Deed
- 4. Parking Easement

10. 2026-68: Re-establishment of Norcross 101

Approve the re-establishment of the Norcross 101 or similarly named Resident Class.

Attachments:

- 1. Agenda Report - Norcross 101

11. 2026-71: Ethics Ordinance Revision

Adopt the attached model ethics ordinance and resolution to update the existing ordinance to the model ordinance published by the Georgia Municipal Association.

Attachments:

- 1. Agenda Report - Ethics Ordinance
- 2. Compare Redlines Ordinances
- 3. Ethics Ordinance
- 4. Ethics Resolution

12. 2026-73: Request for Proposals for City Manager Recruitment

Attachments:

- 1. Agenda Report - City Manager Recruitment Services RFP

I. Adjourn to Executive Session for Legal, Personnel, and Real Estate

J. Signed by _____ Mayor Craig Newton

K. Attest _____ Monique Philip, City Clerk



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

AGENDA REPORT

To: Mayor and Council

From: Len Housley, Public Works Director

Meeting Date: February 16, 2026 – Policy Work Session

Item No.: 2026-59

Title: Expanded Downtown Parking Planning and Design

CC: Eric Johnson, City Manager

Recommendation

Approve 60% P&E design and additional funding for 100% design and construction plans.

Background

Columbia Engineering is under contract to create concepts, surveys, 60% planning and design, and cost estimates for a future expanded downtown parking project. Approved budget for 60% design was \$91,000.

The following is a list of notable actions taken to date:

- Brief to Council on April 21, 2025-concept rendering
- Brief to Council on May 19, 2025-updated rendering
- Brief to Council on June 16, 2025-refined and updated rendering
- Brief to PG&T Board on June 25, 2025-gathered concerns and input
- Brief to Tree Board on July 9, 2025-gathered concerns and input
- Brief to Council on August 4, 2025-provided feedback from boards and rendering revision 6. Council approved revision 6 for civil design planning.
- Brief to Council on October 20, 2025-update on civil P&E
- Site and terrain walk on November 7, 2025, with PG&T and Tree Boards
- Brief to Council on December 15, 2025. Council approved rendering and draft plans for 60% design completion.

The concept rendering version 6, approved by Council, showed 70 gained parking spaces. After the survey and adherence to the Norcross landscape code, we are now at 63 gained parking spaces.

Columbia Engineering has completed Concept Development, Surveys and SUE, and 60% design. To complete final plans for construction, a budget amendment and appropriation of \$98,000 is required.

Timeline for completion of final construction plans is April 10, 2026. Once completed, an RFP for construction can be advertised for proposals.

Financial Impact

- \$98,000 For final construction plans and bidding process
- Estimate for construction cost is \$2.5 million (Detailed construction costs will be provided in March 2026).

Consistent with Comprehensive Plan? (If applicable, please select which goal applies)

Goal 2, Policy 2-5: Provide pleasant, accessible public gathering places.

Goal 3, Policy 3-5: Encourage parking to be located behind and to the side of buildings.

Goal 6, Policy 6-2: Maximize the use of existing facilities and services.

Attachments

- Expanded Downtown Parking Site Plan- Rendering
- Expanded Downtown Parking Civil Plan Set %60
- Expanded Downtown Parking Specification %60
- Costs for 100% Design-Expanded Downtown Parking

Update

SITE DATA: CITY HALL LOT

EXISTING PARKING AREAS	
CITY HALL FRONT	5 (3 HC)
CITY HALL SIDE (DRIVE THRU)	8 (2 HC)
CITY HALL REAR (CONCRETE AREA)	6
JONES STREET PUBLIC PARKING	17
JONES STREET ON STREET PARKING	1
IRON HORSE SIDE PARKING	10
WINGO STREET PUBLIC PARKING	19 (2 HC)
EXISTING PARKING OVERALL	66 (7 HC)

PROPOSED PARKING AREAS	
CITY HALL FRONT	4 (4 HC)
CITY HALL REAR	53 (2 HC)
JONES STREET PUBLIC PARKING	15
JONES STREET ON STREET PARKING	0
IRON HORSE SIDE PARKING	9
WINGO STREET PUBLIC PARKING	40
SKIN ALLEY PLAZA PARKING (SPECIAL USE)	8
PROPOSED PARKING OVERALL	129 (6 HC)
CITY HALL NET INCREASE IN PARKING SPACES	63

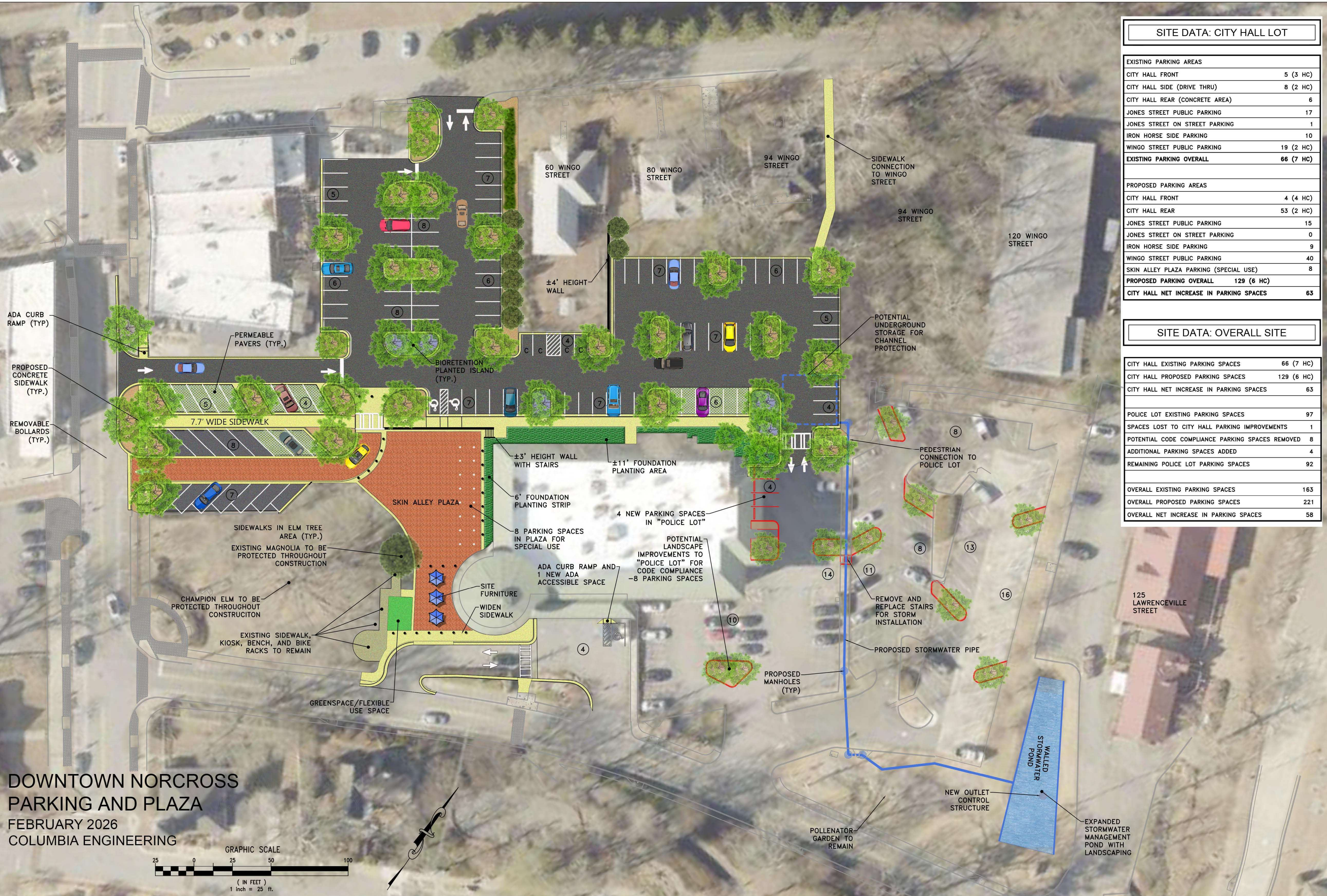
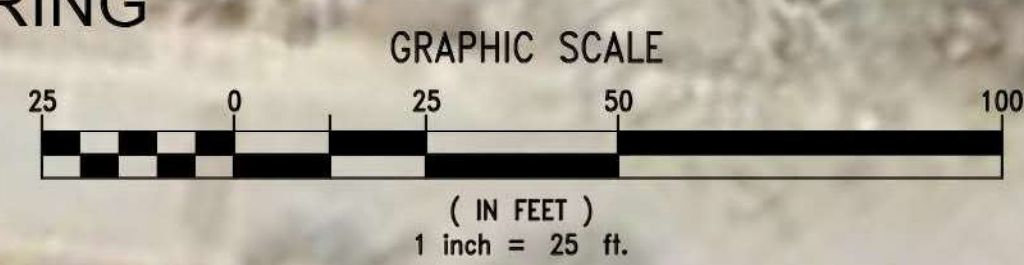
SITE DATA: OVERALL SITE

CITY HALL EXISTING PARKING SPACES	66 (7 HC)
CITY HALL PROPOSED PARKING SPACES	129 (6 HC)
CITY HALL NET INCREASE IN PARKING SPACES	63

POLICE LOT EXISTING PARKING SPACES	97
SPACES LOST TO CITY HALL PARKING IMPROVEMENTS	1
POTENTIAL CODE COMPLIANCE PARKING SPACES REMOVED	8
ADDITIONAL PARKING SPACES ADDED	4
REMAINING POLICE LOT PARKING SPACES	92

OVERALL EXISTING PARKING SPACES	163
OVERALL PROPOSED PARKING SPACES	221
OVERALL NET INCREASE IN PARKING SPACES	58

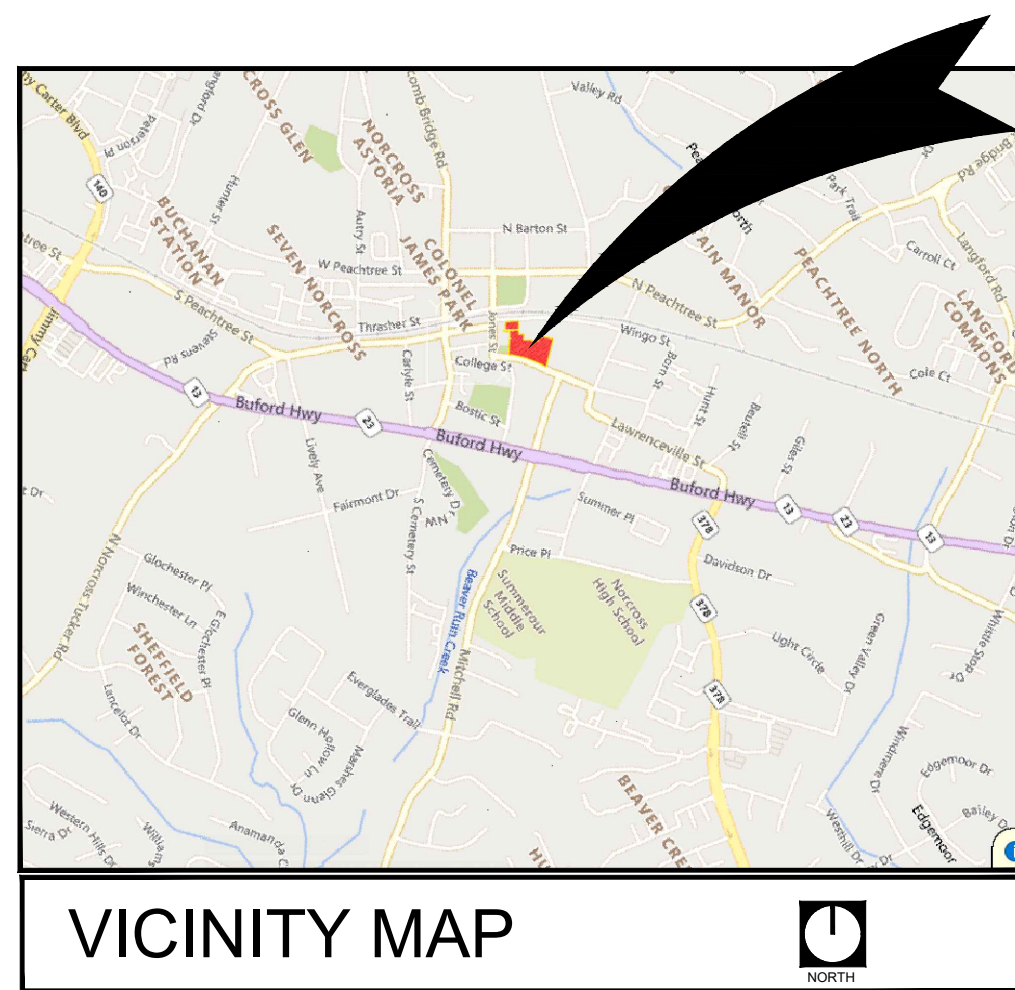
**DOWNTOWN NORCROSS
PARKING AND PLAZA**
FEBRUARY 2026
COLUMBIA ENGINEERING



60% PRELIMINARY CONSTRUCTION PLANS FOR DOWNTOWN NORCROSS PARKING IMPROVEMENTS

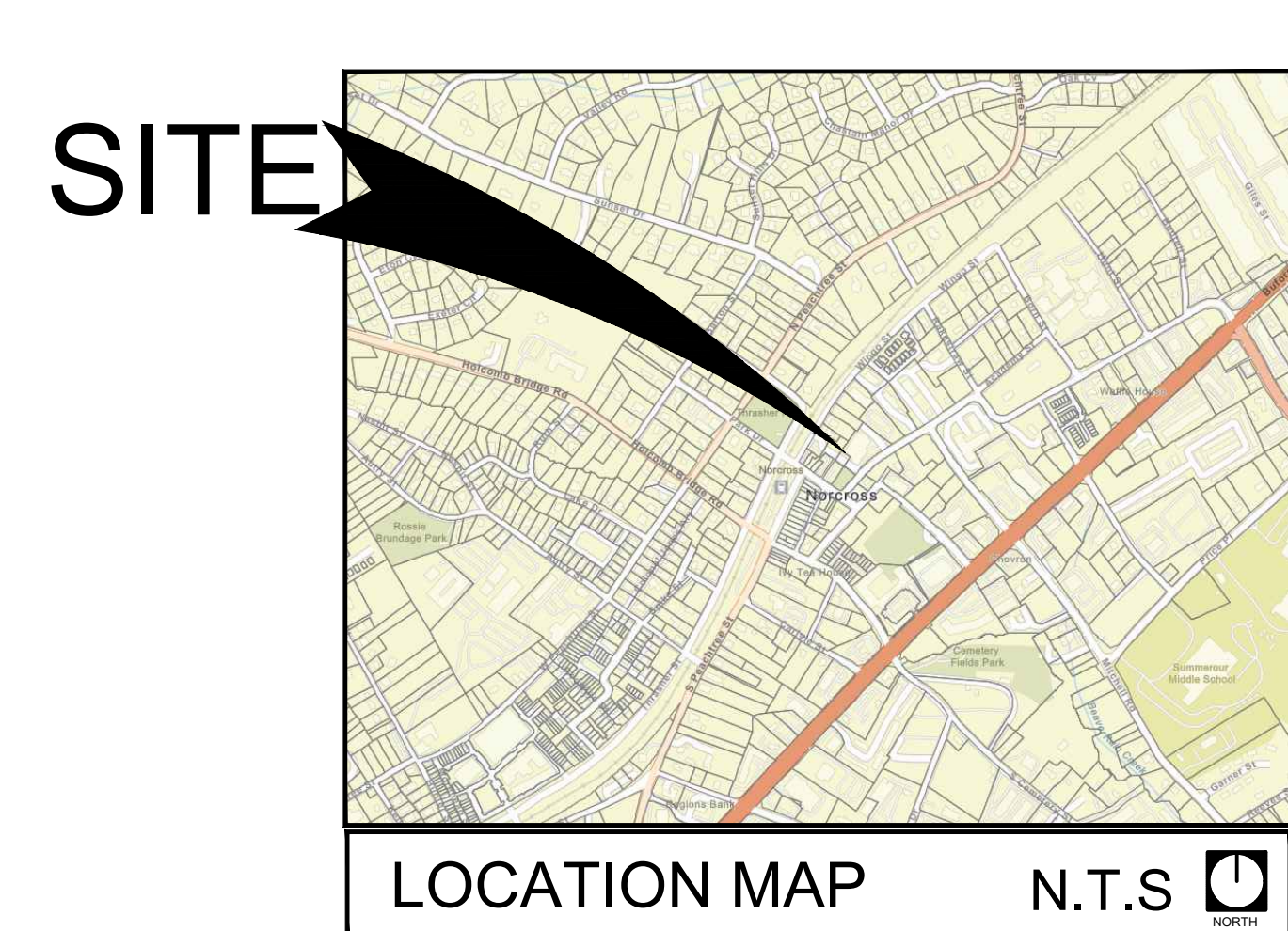
NORCROSS, GA 30071

DEVELOPER:
CITY OF NORCROSS
345 LIVELY AVE
NORCROSS, GA 30071
PHONE: 678-421-2000



VICINITY MAP

NORCROSS, GWINNETT COUNTY
GEORGIA



LOCATION MAP

N.T.S.

NORCROSS, GWINNETT COUNTY
GEORGIA

DRAWING INDEX

No.	SHEET NAME	ISSUED	REVISED
C-0	COVER SHEET		
C-0.1	NOTES		
C-1	SITE PLAN		
C-2	EXISTING CONDITIONS AND DEMOLITION PLAN		
C-3	GRADING AND DRAINAGE PLAN		
C-4.1	PHASE I EROSION CONTROL PLAN		
C-4.2	PHASE II EROSION CONTROL PLAN		
C-4.3	PHASE III EROSION CONTROL PLAN		
C-4.4	EROSION CONTROL NOTES		
C-4.5	EROSION CONTROL NOTES		
C-5	UTILITY PLAN		
C-7.1	DETAILS		
C-7.2	DETAILS		
C-7.3	DETAILS		
C-7.4	DETAILS		
C-7.5	DETAILS		
C-7.6	DETAILS		
C-7.7	DETAILS		
C-7.8	DETAILS		
TP-1.0	TREE PROTECTION PLAN		
LA-1.0	LANDSCAPE PLAN		
LA-2.0	LANDSCAPE DETAILS		

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REVISIONS	DATE
60% PRELIMINARY	

CONTRACTOR TO PROVIDE 3 SETS OF "AS-BUILT" PLANS TO OWNER.

IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

COLUMBIA ENGINEERING
2862 BUFORD HIGHWAY
SUITE 200
DULUTH, GEORGIA 30096
(770) 925-0357

DATE
02/11/26
Job Number
6170.02

C-0

GENERAL NOTES

- EXISTING CONDITIONS, BOUNDARY & TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS WAS TAKEN FROM A SURVEY LAST REVISED 09/26/2025 & PREPARED BY:
COLUMBIA ENGINEERING & SERVICES, INC.
2862 BUFORD HWY, SUITE 200
DULUTH, GA 30096
TEL: (770) 925-0357
- THE BASIS OF BEARINGS FOR THIS SURVEY IS THE GEORGIA STATE PLANE COORDINATE SYSTEM, WEST ZONE.
- THE HORIZONTAL DATUM FOR THIS SURVEY IS NAD83 AND THE VERTICAL DATUM IS NAVD88.
- FOR BENCHMARK INFORMATION SEE EXISTING CONDITIONS AND DEMOLITION PLAN.
- CONTRACTOR TO PROVIDE "CLEAN" SET OF MARKED UP "AS-BUILT" PLANS TO COLUMBIA ENGINEERING AFTER CONSTRUCTION.
- DEVELOPER:
CITY OF NORCROSS
345 LIVELY AVE
NORCROSS, GA 30071
CONTACT: JOHN ARGO
TEL: 678-421-2000
- THIS PROPERTY IS LOCATED IN A ZONE X, PER F.I.R.M. MAP OF GWINNETT COUNTY, GEORGIA, PANEL NUMBER 82 OF 155, MAP NUMBER 13155C0082G, MAP REVISED MARCH 4, 2013.

SITE NOTES

- EXISTING INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM A SURVEY DATED 09/26/2025 & PREPARED BY:
COLUMBIA ENGINEERING & SERVICES, INC.
2862 BUFORD HWY, SUITE 200
DULUTH, GA 30096
TEL: (770) 925-0357
- DEVELOPER/OWNER:
CITY OF NORCROSS
345 LIVELY AVE
NORCROSS, GA 30071
TEL: 678-421-2000
- ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES, SPECIFICATIONS AND REQUIREMENTS. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE.
- DEVIATIONS FROM THESE PLANS AND NOTES WITHOUT PRIOR CONSENT OF THE OWNER, THEIR REPRESENTATIVE, OR THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT, READY TO USE. ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED. THIS WILL INCLUDE ALL STRIPING AND PARKING LOT SIGNAGE.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ANY AND ALL NECESSARY BARRICADES AROUND THE WORK AND PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- ALL BUILDING DIMENSIONS AND DOOR LOCATIONS SHALL BE CHECKED AND COORDINATED WITH THE ARCHITECTURAL PLANS.
- FOR CONSTRUCTION DETAILS, SEE DETAIL SHEETS.
- ALL SITE DIMENSIONS ARE TO THE FACE OF CURB EXCEPT WHERE NOTED.
- ALL ON SITE CURB SHALL BE 24" CURB & GUTTER. UNLESS OTHERWISE NOTED.
- ALL WORK ON-SITE MUST CONFORM TO CITY OF NORCROSS STANDARDS.
- SEE DETAILS FOR PAVING SECTIONS.
- PAVEMENT MARKING, INCLUDING STANDARD HANDICAP SYMBOLS, PARKING STRIPING AND TRAFFIC ARROWS, SHALL BE PAINTED ON PAVEMENT AT LOCATIONS SHOWN. SEE PAVEMENT MARKING DETAIL.
- SITE CONTRACTOR TO VERIFY EXISTING TOPOGRAPHIC AND UTILITY DATA PRIOR TO ANY CONSTRUCTION.
- PROVIDE BOLLARDS AT LOCATIONS SHOWN, AND AROUND TRANSFORMERS, GAS METERS, AND OTHER UTILITIES IN VULNERABLE TRUCK AREAS.
- WARRANTY: THIS SUBCONTRACTOR SHALL WARRANT ALL ASPHALT AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR.
- ALL CURB AND GUTTER SHALL HAVE A 4' RADIUS UNLESS OTHERWISE NOTED ON THE PLANS.
- SITE CONTRACTOR IS RESPONSIBLE FOR WORK TO WITHIN 5'-0" OF BUILDING. UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL PAINT SHALL BE APPLIED ACCORDING WITH THE MANUFACTURERS SPECIFICATIONS TO INCLUDE A MINIMUM OF TWO COATS AND A THICKNESS OF 15 MILS ± 1 MIL WET.
- ALL PAINTED STRIPING IN PARKING LOT & ASPHALT PAVED AREAS SHALL BE PAINTED WITH A PRODUCT THAT PROVIDES A HIGH SLIP-RESISTANT FINISH IN WET & DRY PAVEMENT CONDITIONS.
- ALL YELLOW PAINT TO BE ACRYSET AY-251 OR APPROVED EQUAL.
- ALL BLUE PAINT TO BE ACRYSET HANDICAP BLUE AL-247 OR APPROVED EQUAL.
- ALL WHITE PAINT TO ACRYSET AW-250 OR APPROVED EQUAL.
- SOLID WASTE, RECYCLING CONTAINERS, OR MECHANICAL EQUIPMENT THAT ARE PART OF THE PRIMARY AND ACCESSORY STRUCTURE SHALL BE SCREENED AND SHALL BE CONSTRUCTED OF THE SAME MATERIALS USED FOR THE ELEVATION OF WHICH THE SCREEN IS A PART.

GRADING AND DRAINAGE NOTES

- CONTRACTOR SHALL VERIFY EXISTING TOPOGRAPHIC DATA, LOCATIONS OF EXISTING UTILITIES, AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- ALL STORM SEWER PIPE TO BE RCP CLASS III EXCEPT WHERE NOTED ON THE PLANS OR REQUIRED BY JURISDICTION.
- FOR GRADING & DRAINAGE FACILITY DETAILS, SEE DETAIL SHEETS.
- ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER (SEE PLANS).
- ALL CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO APPLICABLE STATE AND LOCAL JURISDICTIONAL REQUIREMENTS.
- ALL OPEN DRAINAGE SWALES SHALL BE GRASSED, AND RIPRAP MUST BE PLACED AS NECESSARY TO CONTROL EROSION.
- GRADING CONTRACTOR IS RESPONSIBLE FOR STRIPPING AND STOCKPILING OF TOPSOIL. GRADING CONTRACTOR IS ALSO RESPONSIBLE FOR SPREADING 4" OF TOPSOIL ON LANDSCAPE AREAS AND REMOVING FROM SITE EXCESS TOPSOIL. GRADING CONTRACTOR SHALL PREPARE SUBGRADE FOR PAVEMENT AND CURBS AND BACKFILL CURBS AFTER CURB CONSTRUCTION.
- GRADING CONTRACTOR SHALL PROVIDE AND INSTALL TOPSOIL IN DISTURBED AREAS TO BE GRASSED, TO INCLUDE PAVEMENT SHOULDERS AND DETENTION AREAS.
- CONTRACTOR SHALL CONFINE HIS OFF-SITE ACTIVITIES TO EXISTING RIGHTS OF WAY AND EASEMENTS.
- ALL DISTURBED AREAS SHALL BE STRIPPED OF ORGANIC MATERIAL, TOPSOIL, AND DEBRIS PRIOR TO CONSTRUCTION.
- ONCE STRIPPING HAS BEEN COMPLETED, ALL AREAS TO RECEIVE FILL SHOULD BE PROOF-ROLLED IN THE PRESENCE OF A REPRESENTATIVE OF THE SOILS ENGINEER. SOFT AREAS ENCOUNTERED DURING PROOF-ROLLING SHALL BE STABILIZED BY COMPACTION OR UNDERCUT.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- REQUIREMENTS FOR STORM PIPE BEDDING ARE SHOWN ON THE DETAIL SHEETS.
- ALL RCP PIPE JOINTS SHALL BE BELL & SPIGOT TYPE WITH A RUBBER GASKET CONFORMING TO ASTM C-443. THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH AASHTO M-170 AND/OR ASTM C-76. CLASS OF PIPE AND WALL THICKNESS SHALL BE IN ACCORDANCE WITH 1030-D, GEORGIA DOT SPECIFICATION, TABLE NO. 1 INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS AND BRIDGES.

UTILITY PLAN NOTES

- CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL BE SPECIFICALLY RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES THAT MIGHT HAVE EXISTING UTILITIES ON SITE TO DETERMINE IF ANY EXIST AND HOW TO HANDLE. ENGINEER CANNOT BE RESPONSIBLE FOR EXISTENCE OR LOCATION OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION, AND SHALL BE RESPONSIBLE FOR COORDINATING WITH THEM REGARDING UTILITY LOCATIONS, AND CONSTRUCTION SCHEDULES.
- ALL CONNECTIONS TO EXISTING UTILITIES AND ALL UTILITY INSTALLATIONS SHALL BE IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
- ALL SANITARY SEWER PIPE SHALL BE PVC ASTM D-3034 SDR-26 OR DIP AWWA C151 CLASS 200 UNLESS OTHERWISE SPECIFIED AND HAVE EPOXY COATING.
- ALL SANITARY SEWER PVC ASTM D-3034 SDR 26 PIPE SHALL HAVE CLEAN FLEXIBLE JOINTS PER ASTM D-3212.
- RIGID PIPE BEDDING SHALL BE PER ASTM C-12, FLEXIBLE PIPE BEDDING PER ASTM D-2321.
- FOR GRADING AND DRAINAGE INFORMATION, SEE GRADING AND DRAINAGE PLAN.
- AT COMPLETION OF SEWER CONSTRUCTION, ALL MANHOLES, STUBS AND APPURTENANCES SHALL BE SET FOR PROPER FINISH GRADE AND SHALL BE NOTICEABLY STAKED AND FLAGGED. SITE UTILITY SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE ABOVE ITEMS UNTIL SYSTEM IS ACCEPTED BY OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THIRTY SIX INCHES (36") OF COVER OVER THE PROPOSED WATER MAINS AND EIGHTEEN INCHES (18") OF VERTICAL SEPARATION FROM OTHER UTILITIES. WHERE LIMITED ROOM EXISTS ABOVE STORM OR SANITARY SEWERS, WATER LINE SHALL BE CONSTRUCTED UNDERNEATH AT THOSE LOCATIONS, MAINTAINING THE EIGHTEEN INCH (18") SEPARATION REQUIREMENT. ALL UTILITY REQUIREMENTS WILL BE COMPLIED WITH AT CROSSINGS.
- SEE DETAIL SHEETS FOR UTILITY DETAILS.

EROSION & SEDIMENT CONTROL NOTES

- THERE ARE NO CURRENT APPARENT EROSION CONTROL PROBLEMS ON SITE. CONTRACTOR SHALL TAKE PRECAUTIONS AS NECESSARY TO PREVENT EROSION AND SEDIMENT TRANSPORT DURING CONSTRUCTION.
- ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN FOURTEEN (14) DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY GRASSING. STABILIZATION MEASURES SHALL BE INITIATED BY THE FOURTEENTH DAY, OR AS SOON AS PRACTICABLE, AFTER THE TEMPORARY OR PERMANENT CEASE OF CONSTRUCTION ACTIVITY.
- ANY DISTURBED AREAS REMAINING IDLE FOR 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ONSITE INSPECTION.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED PER THE SPECIFICATIONS.
- STORM SEWER SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE DURING THE CONSTRUCTION PROCESS, AND ALL RUNOFF SHALL BE DIRECTED TO THE DRAINAGE SYSTEM.
- PRIOR TO STORM SEWER SYSTEM INSTALLATION ALL RUNOFF LEAVING THE SITE SHALL BE FILTERED THROUGH SILT FENCES AND FILTERS PRIOR TO DISCHARGE OFFSITE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THIS REQUIREMENT ONSITE DURING ALL PHASES OF CONSTRUCTION.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN SILT BARRIERS AROUND ALL DRAINAGE STRUCTURES UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED.
- PROVISIONS TO PREVENT EROSION OF SOIL FROM THE SITE SHALL CONFORM TO LOCAL CITY AND STATE REQUIREMENTS.
- THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. THE CONTRACTOR MUST CLEAN ALL SEDIMENT TRAPS AS REQUIRED BY THE OWNER'S REPRESENTATIVE OR LOCAL CITY AND STATE REQUIREMENTS.
- FAILURE TO INSTALL, OPERATE AND MAINTAIN ALL EROSION CONTROL MEASURES, AS SHOWN ON THE APPROVED PLANS OR AS DIRECTED BY THE OWNER/PROJECT REPRESENTATIVE AND/OR LOCAL CITY AND STATE MAY RESULT IN ALL WORK ON THE CONSTRUCTION SITE BEING STOPPED UNTIL PROPER CORRECTIVE MEASURES HAVE BEEN MET, AS REQUIRED AND/OR DIRECTED.
- THE CONTRACTOR MUST GRADE THE BASINS, AS SHOWN ON THE PLANS. THE CONTRACTOR MUST REMOVE SILT AND DEBRIS FROM THE BASINS AND SILT FENCES WHEN BASINS ARE ONE THIRD-FILLED WITH SILT. AFTER ALL GRADING HAS BEEN COMPLETED, THE CONTRACTOR SHALL GRADE THE BASINS TO THE GRADING LIMITS AND STABILIZE ALL DISTURBED AREAS WITH GRASSING.
- ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
- A MINIMUM OF 10 SQUARE YARDS OF 50 POUND STONE SHALL BE PLACED AT ALL DOWNSTREAM HEADWALLS. VERIFY SPECIFIC DESIGN REQUIREMENTS WITH THE DETAILS.
- NO GRADE SLOPE SHALL EXCEED 2H:1V.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR AS NECESSARY TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ALL CUT & FILL SLOPES SHALL BE 2:1 OR FLATTER.
- NO CLEARING OF THE SITE SHALL OCCUR UNTIL ALL BASINS, DIVERSIONS, AND SEDIMENT CONTROLS ARE INSTALLED, STABILIZED AND FUNCTIONAL.
- CONTRACTOR SHALL REMOVE ALL SILT FENCE AT COMPLETION OF PROJECT BUT NOT BEFORE GROUND IS PERMANENTLY STABILIZED.
- ALL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO PERFORMING DEMOLITION, CLEARING AND GRADING WORK.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- ANY AMENDMENTS/REVISIONS TO THE EROSION & SEDIMENT CONTROL PLANS WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL SEDIMENT CONTROL MEASURES INCLUDING SILT FENCE, TREE PROTECTION FENCE, ETC. AT THE COMPLETION OF THE PROJECT AFTER PERMANENT STABILIZATION HAS BEEN ACHIEVED.
- SILT FENCE SHALL MEET THE REQUIREMENTS OF SECTION 171 - TYPE C TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, 1993 EDITION, AND BE WIRE REINFORCED.
- ALL DOUBLE ROW SILT FENCE SHALL BE AT LEAST 36" APART AND HAVE MULCH INSTALLED BETWEEN THE DOUBLE ROW.
- THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS & PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.
- THERE ARE NO WETLANDS AND STATE WATERS ON THE PROJECT SITE.

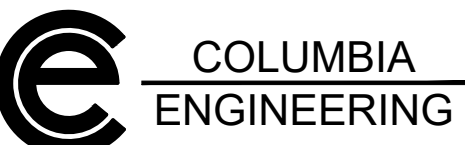
GENERAL CONSTRUCTION NOTES

- EXISTING INFORMATION SHOWN ON THIS PLAN WAS TAKEN FROM A SURVEY DATED 09/26/2025 & PREPARED BY:
COLUMBIA ENGINEERING & SERVICES, INC.
2862 BUFORD HWY, SUITE 200
DULUTH, GA 30096
TEL: (770) 925-0357
- PROPERTY OWNER/DEVELOPER:
CITY OF NORCROSS
345 LIVELY AVE
NORCROSS, GA 30071
TEL: 678-421-2000
- ALL WORK SHALL COMPLY WITH APPLICABLE GEORGIA DOT, FEDERAL, AND LOCAL CODES, SPECIFICATIONS AND REQUIREMENTS. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE PRIOR TO THE START OF CONSTRUCTION. DEVIATIONS FROM THESE PLANS AND NOTES WITHOUT PRIOR CONSENT OF THE OWNER, THEIR REPRESENTATIVE, OR THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT, READY TO USE. ALL ITEMS NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE FURNISHED AND INSTALLED.
- IF ANY CONFLICTS OR DISCREPANCIES ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OF THE FIELD CONDITIONS, THE GENERAL CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE CONSTRUCTION UNTIL THE CONFLICTS OR DISCREPANCIES ARE RESOLVED.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS NECESSARY TO COMPLETE THE PROPOSED WORK UNLESS OTHER PROVISIONS HAVE BEEN AGREED UPON PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL DELIVER ALL MATERIALS TO THE DESIGNATED ACCESS POINTS AND STAGING AREAS.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ANY AND ALL NECESSARY BARRICADES AROUND THE WORK AND PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ALL LIGHTS, GUARDS, SIGNS, OR OTHER PRECAUTIONS NECESSARY FOR THE SAFETY OF ALL PERSONS.
- QUANTITIES SHOWN ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY. CONTRACTOR IS TO VERIFY ALL QUANTITIES TO BE INCLUDED IN THE BID PRICE.
- SITE CONTRACTOR TO VERIFY EXISTING TOPOGRAPHIC AND UTILITY DATE PRIOR TO ANY CONSTRUCTION.
- ALL KNOWN UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE IN LOCATION AS TO PLAN OR ELEVATION. UTILITY FACILITIES SUCH AS SERVICE LINES OR UNKNOWN FACILITIES NOT SHOWN ON THE PLANS WILL NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY UNDER THIS REQUIREMENT. EXISTING UTILITY FACILITIES MEANS ANY UTILITY THAT EXISTS ON THE PROJECT IN ITS ORIGINAL, RELOCATED, OR NEWLY INSTALLED POSITION. ALL UTILITY FACILITIES WHICH ARE IN CONFLICT WITH CONSTRUCTION ARE TO BE REMOVED OR RELOCATED TO CLEAR CONSTRUCTION IN ADVANCE OF THIS WORK.
- UTILITY COORDINATION WILL BE REQUIRED AS PART OF THIS CONTRACT. THE CONTRACTOR WILL BE REQUIRED TO USE THE ONE-CALL CENTER TELEPHONE NUMBER, 811 OR 1-800-282-7411, FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. MORE INFORMATION CAN BE FOUND AT THE GAUPC.COM WEBSITE.
- GENERAL CONTRACTOR TO COORDINATE WITH UTILITY OWNERS EXISTING LOCATIONS OF FACILITIES AND PROPOSED WORK AROUND THESE FACILITIES. IF RELOCATION OF EXISTING FACILITIES IS NEEDED, COORDINATE RELOCATION WORK WITH UTILITY OWNER. COORDINATE LOSS OF SERVICE WITH UTILITY OWNERS AND CUSTOMERS.
- CONTRACTOR TO CONFIRM SANITARY SEWER, WATER LINE, AND STORM SEWER ELEVATIONS AND MAINTAIN A MINIMUM CLEARANCE FROM SANITARY SEWER OF 18" UNLESS SPECIFIED BY THE ENGINEER.
- CONTRACTOR SHALL MAINTAIN ACCESS TO FIRE PROTECTION APPURTENANCES (FIRE HYDRANTS AND VALVES).
- ALL TREES, UTILITIES AND OTHER SITE FEATURES SHALL BE PROTECTED UNLESS MARKED FOR REMOVAL OR RELOCATION.
- TYPE OF GRASS OR SOD WHICH MAY BE PLANTED AND GROWING ON THE ADJACENT LAWN, I.E. BERMUUDA, BENTON, SOD, ZONZIA, FORT LONISIA, ETC. SEE PLANS FOR DELINEATION.
- ALL EXISTING PIPE SHALL REMAIN UNLESS OTHERWISE NOTED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- ALL ITEMS REMOVED OR DEMOLISHED BY THE CONTRACTOR WHICH ARE NOT REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY FOR PROPER DISPOSAL.
- DEMOLITION ACTIVITIES ARE NOT EXPECTED TO INCLUDE THE REMOVAL OF HAZARDOUS MATERIALS. IN THE EVENT THAT HAZARDOUS MATERIAL ARE ENCOUNTERED OR SUSPECTED, CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING OF MATERIAL.
- INGRESS AND EGRESS SHALL BE MAINTAINED AT ALL TIMES TO ADJACENT PROPERTIES.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH SUITABLE BORROW MATERIAL FOR THE PROJECT AND TO PROVIDE ALL UTILITIES.
- FILL MATERIALS SHOULD BE LOW PLASTICITY SOIL (PLASTICITY INDEX LESS THAN 30), FREE OF NON-SOIL MATERIALS AND ROCK FRAGMENTS LARGER THAN 3 INCHES IN ANY ONE DIMENSION. SOIL MOISTURE CONTENT SHOULD BE MAINTAINED WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT. ORGANIC AND/OR DEBRIS LADEN MATERIAL (>3% ORGANICS, BY WEIGHT) IS NOT SUITABLE FOR RE-USE AS STRUCTURAL FILL.
- FILL SHOULD BE PLACED IN THIN, HORIZONTAL LOOSE LIFTS (MAXIMUM 8-INCH) AND COMPACTED TO AT LEAST 90 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). THE UPPER 8 INCHES OF SOIL BENEATH PAVEMENTS SHOULD BE COMPACTED TO AT LEAST 90 PERCENT.
- ALL RETAINING WALLS, LANDSCAPE WALLS, AND SHORING OVER 4' HIGH SHALL BE DESIGNED AND SEALED BY A LICENSED GEORGIA PROFESSIONAL STRUCTURAL ENGINEER.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE ACTIVITIES AND SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION OR AS DIRECTED BY THE ENGINEER.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50- FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25- FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLANS DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ALL CUT AND FILL SLOPES SHALL BE GRASSED IMMEDIATELY AFTER THE SLOPES ARE ESTABLISHED IN ORDER TO REDUCE EROSION. IF THE SEASON DOES NOT PERMIT GRASSING, TEMPORARY MULCH SHALL BE USED AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REGRADING AS REQUIRED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF WATER TO INCLUDE, BUT NOT BE LIMITED TO, BYPASS PUMPING, DEWATERING, LOCALIZED DEWATERING TO CONTROL GROUNDWATER INFLOW, AND/OR STREAM DIVERSION. NO SEPARATE PAYMENT WILL BE MADE; DEWATERING IS INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR SHALL ONLY USE ACCESS PATHS AND STAGING AREAS SHOWN ON THE DRAWINGS. ANY ALTERNATE ACCESS PLANNED BY THE CONTRACTOR SHALL BE APPROVED BY THE ENGINEER AND PROJECT OWNER PRIOR TO USE.
- CONTRACTOR TO REPAIR ANY SEPTIC AND/OR IRRIGATION LINES AND APPURTENANCES DAMAGED AS A RESULT OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE FOR DAMAGE TO SEPTIC AND/OR IRRIGATION LINES AND APPURTENANCES NOT ILLUSTRATED ON THE CONSTRUCTION PLANS.
- A NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGE WILL BE REQUIRED FOR THIS PROJECT.

CONTRACTOR TO PROVIDE 3 SETS OF "AS-BUILT" PLANS TO OWNER.

IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

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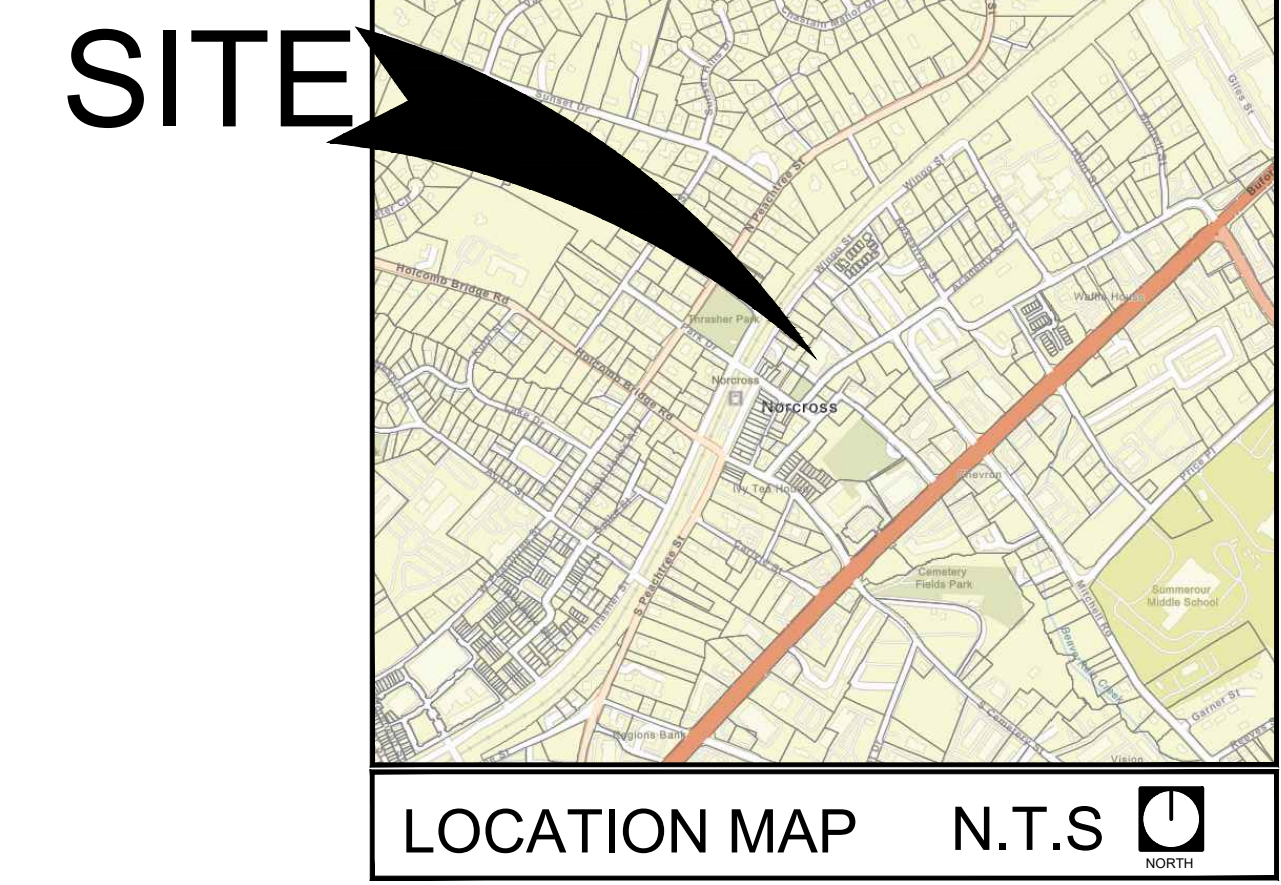
2862 BUFORD HIGHWAY
SUITE 200
DULUTH, GEORGIA 30096
(770) 925-0357

PROJECT	DOWNTOWN NORCROSS PARKING IMPROVEMENTS	CLIENT	CITY OF NORCROSS
	65 LAWRENCEVILLE STREET NORCROSS, GA 30071		345 LIVELY AVE NORCROSS, GA 30071

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CONTRACTOR TO PROVIDE 3 SETS OF "AS-BUILT" PLANS TO OWNER.		
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SITE DATA: CITY HALL LOT

EXISTING PARKING AREAS	
CITY HALL FRONT	5 (3 HC)
CITY HALL SIDE (DRIVE THRU)	8 (2 HC)
CITY HALL REAR (CONCRETE AREA)	6
JONES STREET PUBLIC PARKING	17
JONES STREET ON STREET PARKING	1
IRON HORSE SIDE PARKING	10
WINGO STREET PUBLIC PARKING	19 (2 HC)
EXISTING PARKING OVERALL	66 (7 HC)
PROPOSED PARKING AREAS	
CITY HALL FRONT	4 (4 HC)
CITY HALL REAR	53 (2 HC)
JONES STREET PUBLIC PARKING	15
JONES STREET ON STREET PARKING	0
IRON HORSE SIDE PARKING	9
WINGO STREET PUBLIC PARKING	40
SKIN ALLEY PLAZA PARKING (SPECIAL USE)	8
PROPOSED PARKING OVERALL	129 (6 HC)

SITE DATA: OVERALL SITE

CITY HALL EXISTING PARKING SPACES	66 (7 HC)
CITY HALL PROPOSED PARKING SPACES	129 (6 HC)
CITY HALL NET INCREASE IN PARKING SPACES	63
POLICE LOT EXISTING PARKING SPACES	97
SPACES LOST TO CITY HALL PARKING IMPROVEMENTS	1
POTENTIAL CODE COMPLIANCE PARKING SPACES REMOVED	8
ADDITIONAL PARKING SPACES ADDED	4
REMAINING POLICE LOT PARKING SPACES	92
OVERALL EXISTING PARKING SPACES	163
OVERALL PROPOSED PARKING SPACES	221
OVERALL NET INCREASE IN PARKING SPACES	58

PROJECT: **DOWNTOWN NORCROSS PARKING IMPROVEMENTS**
 65 LAWRENCEVILLE STREET
 NORCROSS, GA 30071

CLIENT: **CITY OF NORCROSS**
 345 LIVELY AVE
 NORCROSS, GA 30071

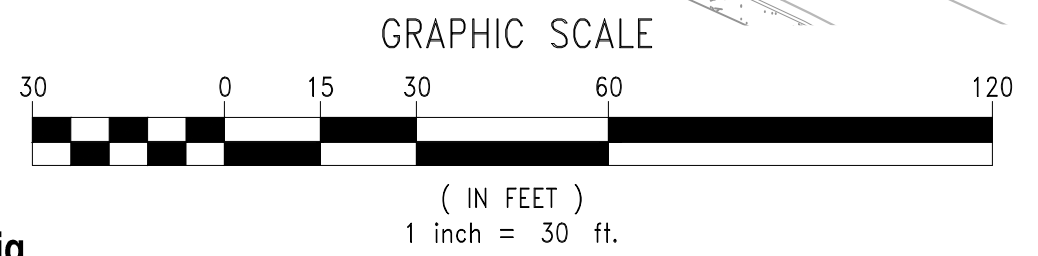
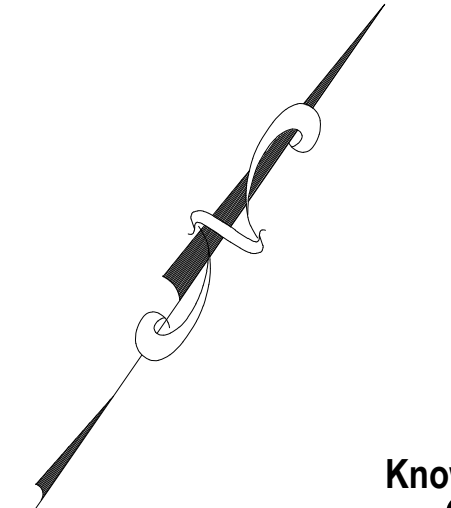
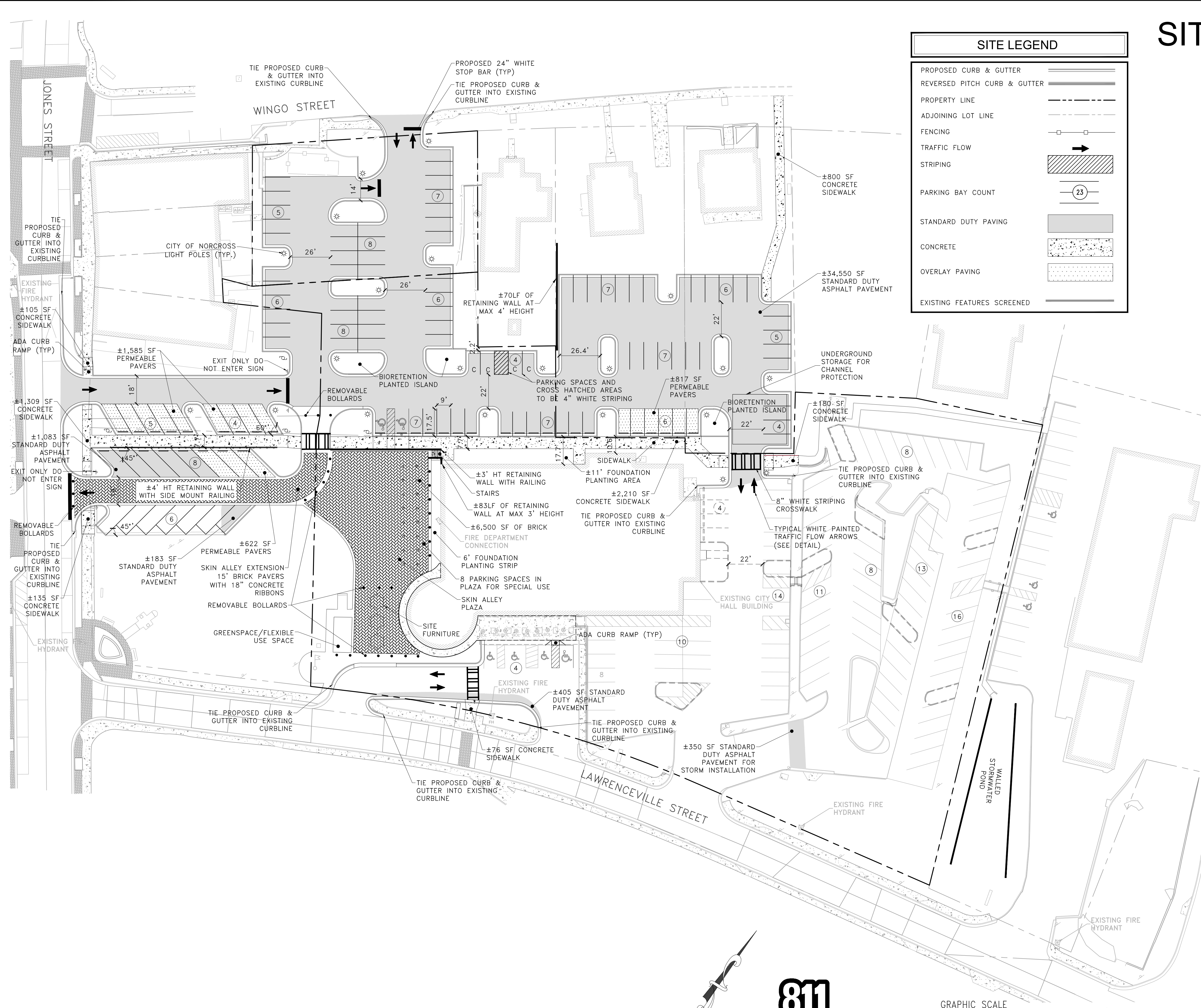
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SITE PLAN	
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DATE: 02/11/26	
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SITE LEGEND

- PROPOSED CURB & GUTTER
- REVERSED PITCH CURB & GUTTER
- PROPERTY LINE
- ADJOINING LOT LINE
- FENCING
- TRAFFIC FLOW
- STRIPING
- PARKING BAY COUNT
- STANDARD DUTY PAVING
- CONCRETE
- OVERLAY PAVING
- EXISTING FEATURES SCREENED



CONTRACTOR TO PROVIDE 3 SETS OF "AS-BUILT" PLANS TO OWNER.
 IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

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65 LAWRENCEVILLE STREET
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345 LIVELY AVE
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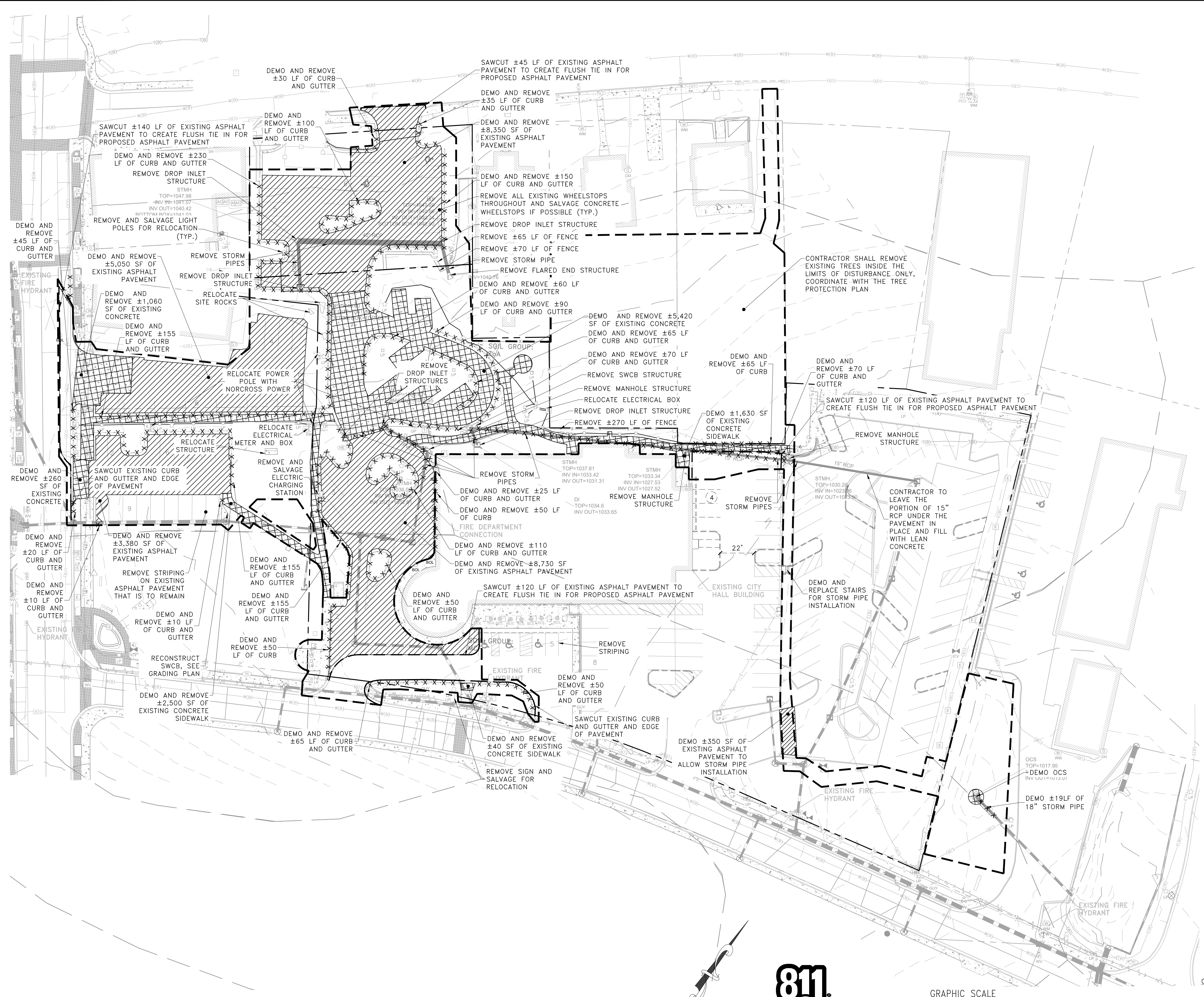
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EXISTING CONDITIONS & DEMOLITION PLAN

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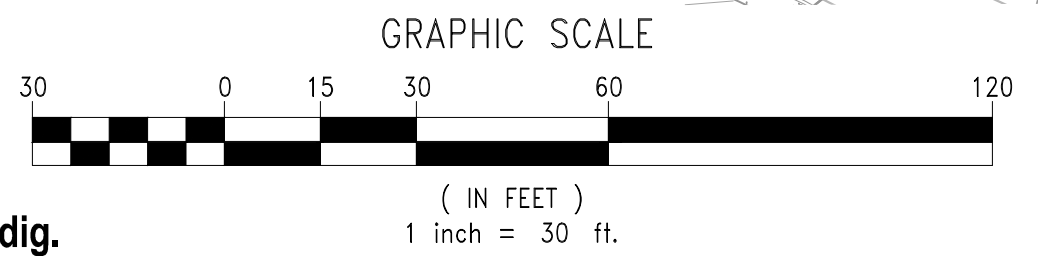
DEMOLITION LEGEND	
DEMOLITION AREA	
PAVEMENT REMOVAL	
LINE ITEM DEMOLITION	
SAW-CUT	
EXISTING FEATURES SCREENED	
BORING LOCATION	

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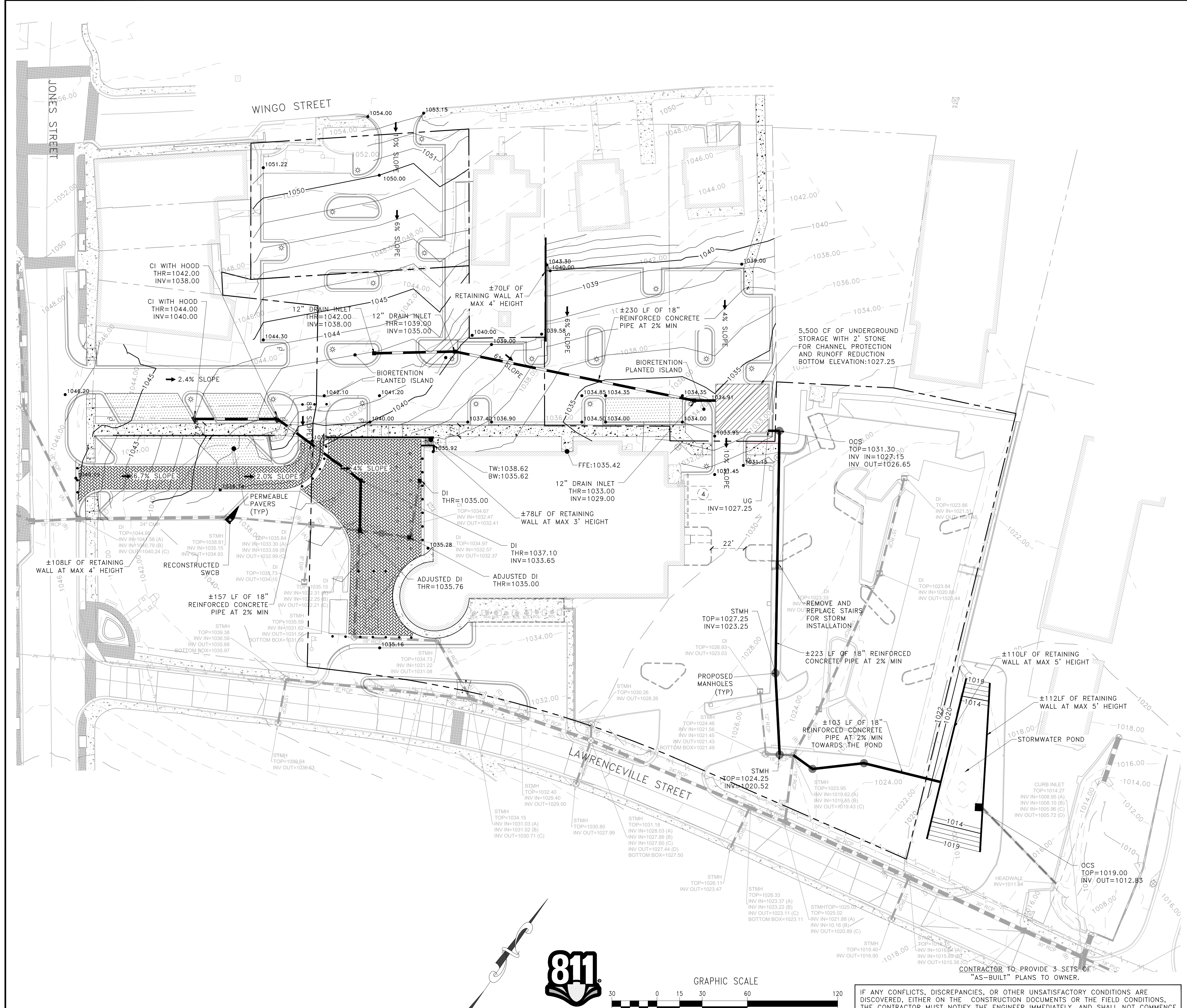
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GRADING & DRAINAGE PLAN

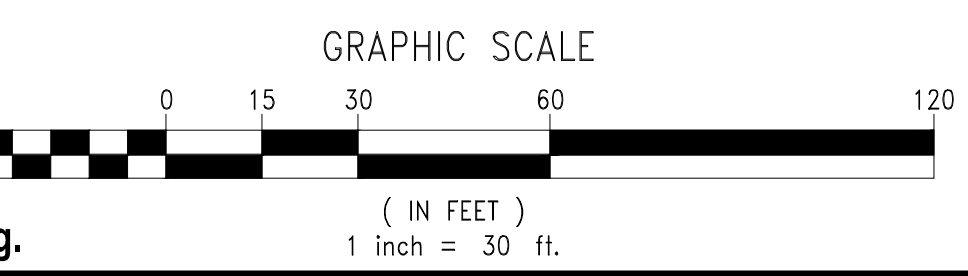
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GRADING & DRAINAGE LEGEND

- PROPOSED CURB
- PROPERTY LINE
- PROPOSED STORM SEWER
- PROPOSED STORM WEIR, DROP, AND CURB INLET
- PROPOSED SINGLE WING CATCH BASIN
- PROPOSED DOUBLE WING CATCH BASIN
- PROPOSED HEAD WALL
- EXISTING STORM SEWER
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING WOODS LINE
- EXISTING FEATURES ARE SCREENED

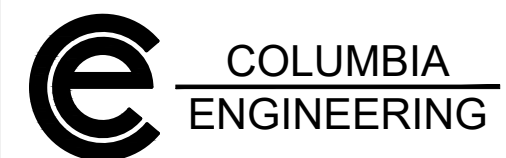
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CONTRACTOR TO PROVIDE 3 SETS OF "AS-BUILT" PLANS TO OWNER.

FOR EROSION CONTROL
CONSTRUCTION ONLY



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(770) 925-0357

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PROFESSIONAL NO. 22175

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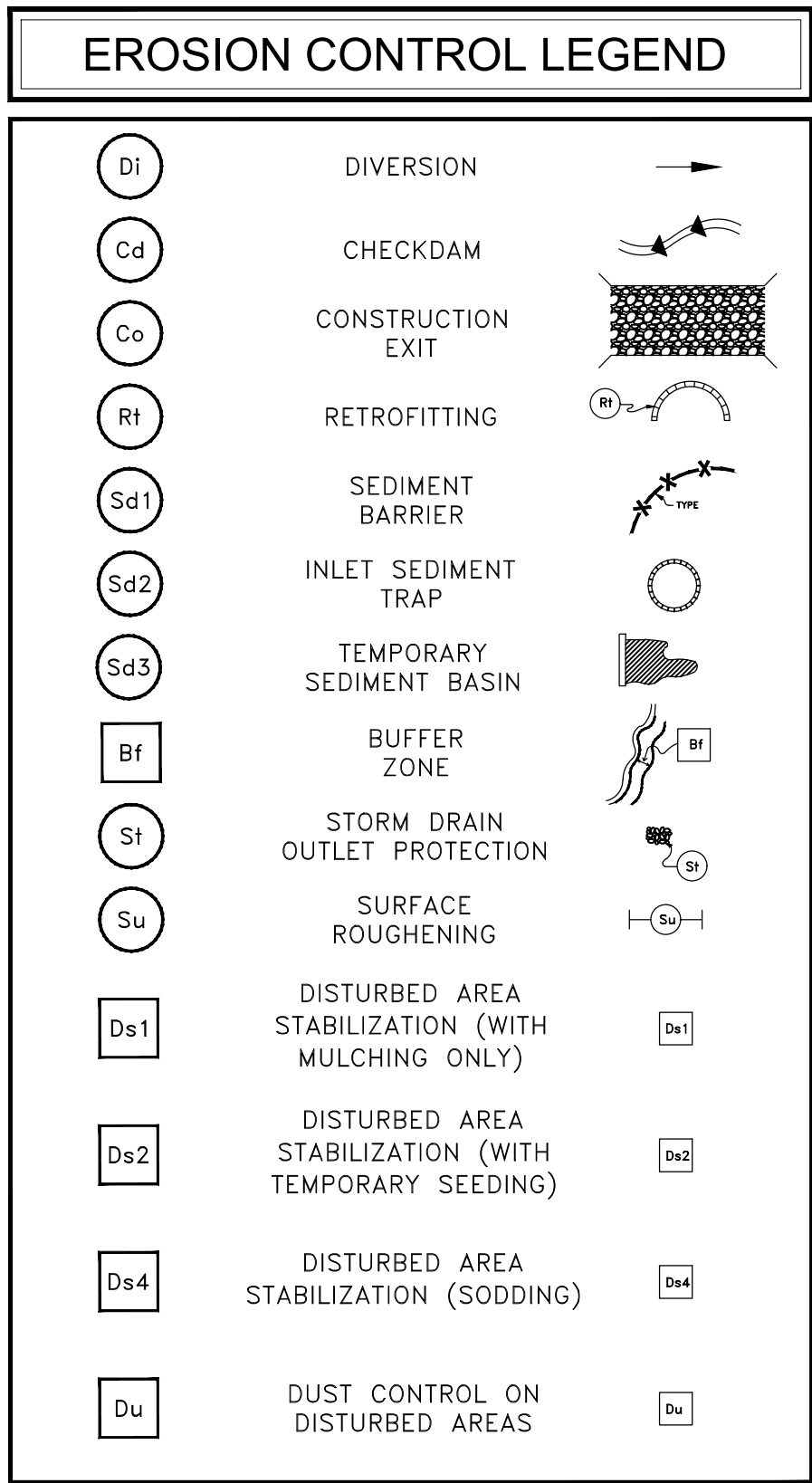
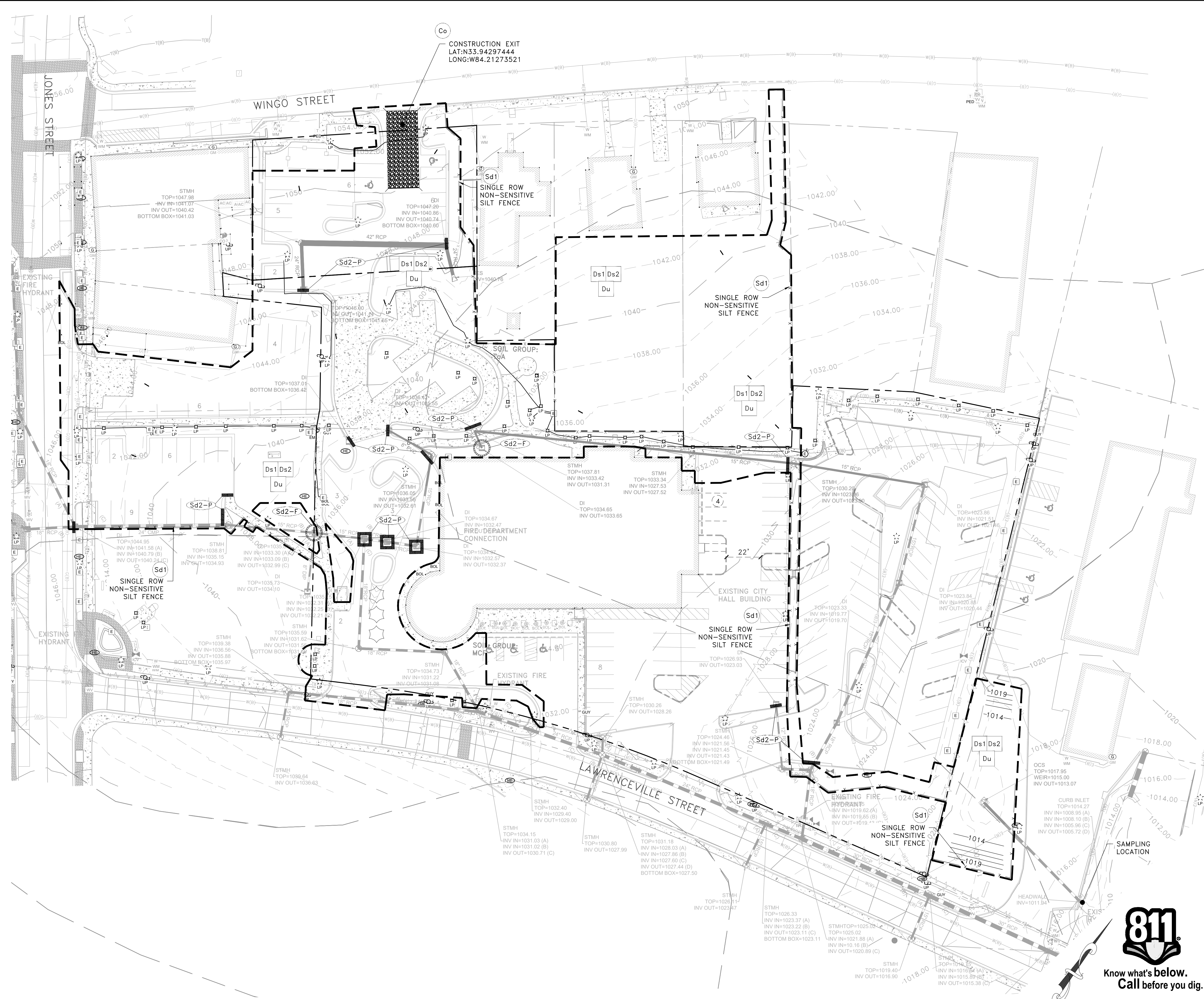
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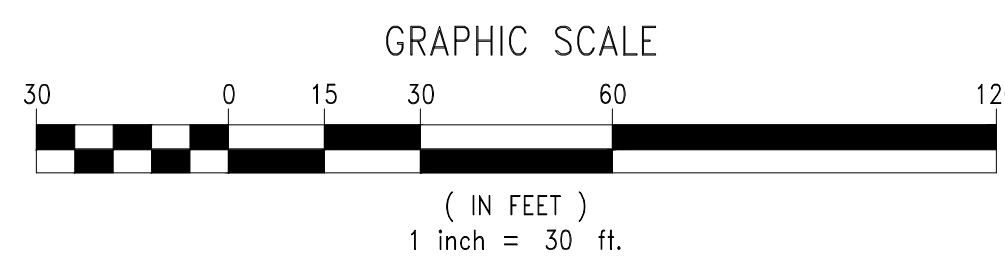
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**PHASE I
EROSION
CONTROL PLAN**

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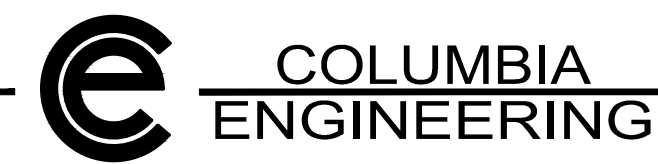
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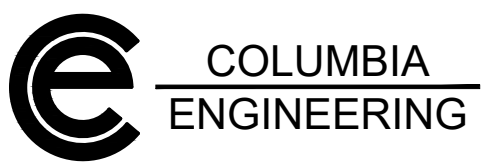
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GSWCC CERTIFIED DESIGN
PROFESSIONAL NO. 22175

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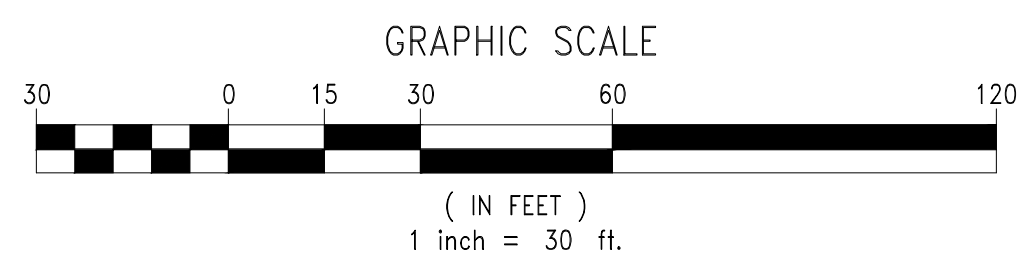
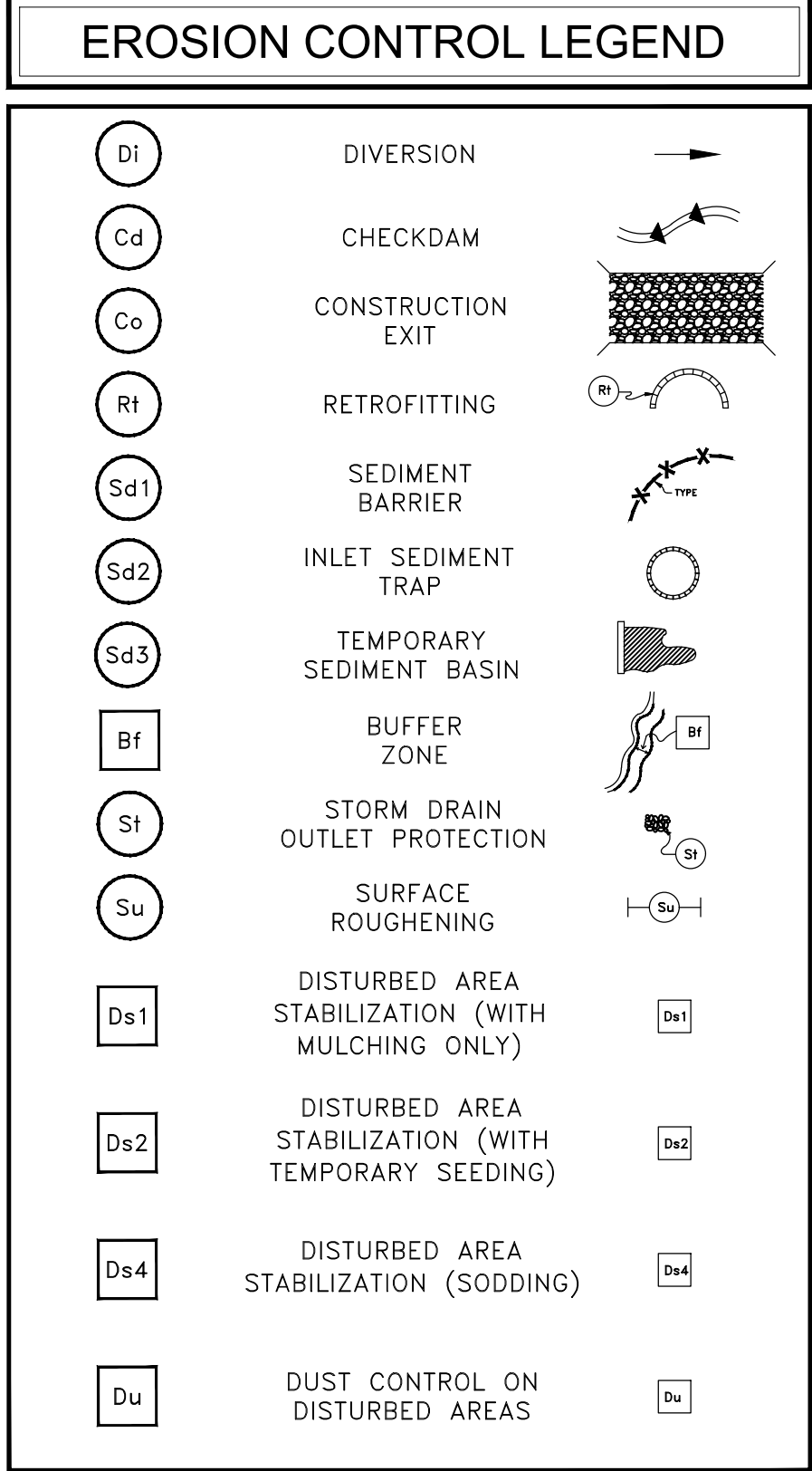
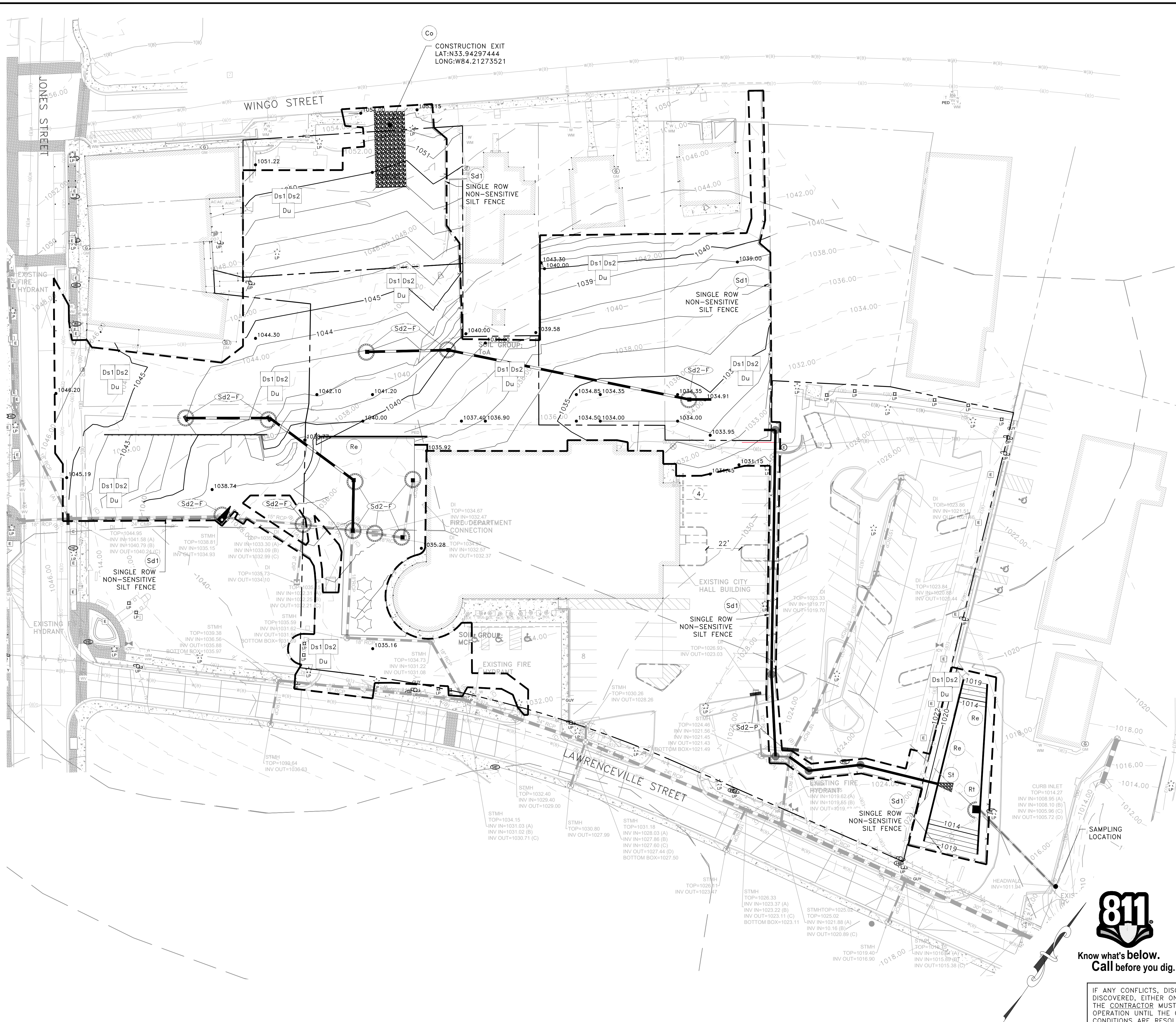
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**PHASE II
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CONTROL PLAN**

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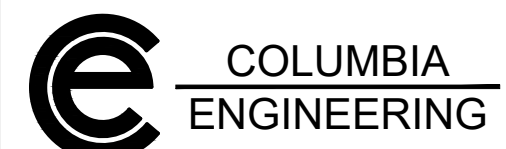
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IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

**CIVIL ENGINEERS * LAND PLANNERS
LANDSCAPE ARCHITECTS * SURVEYORS**

FOR EROSION CONTROL
CONSTRUCTION ONLY



2862 BUFORD HIGHWAY
SUITE 200
DULUTH, GEORGIA 30096
(770) 925-0357

GSWCC CERTIFIED DESIGN
PROFESSIONAL NO. 22175

PROJECT
DOWNTOWN NORCROSS PARKING IMPROVEMENTS
65 LAWRENCEVILLE STREET
NORCROSS, GA 30071

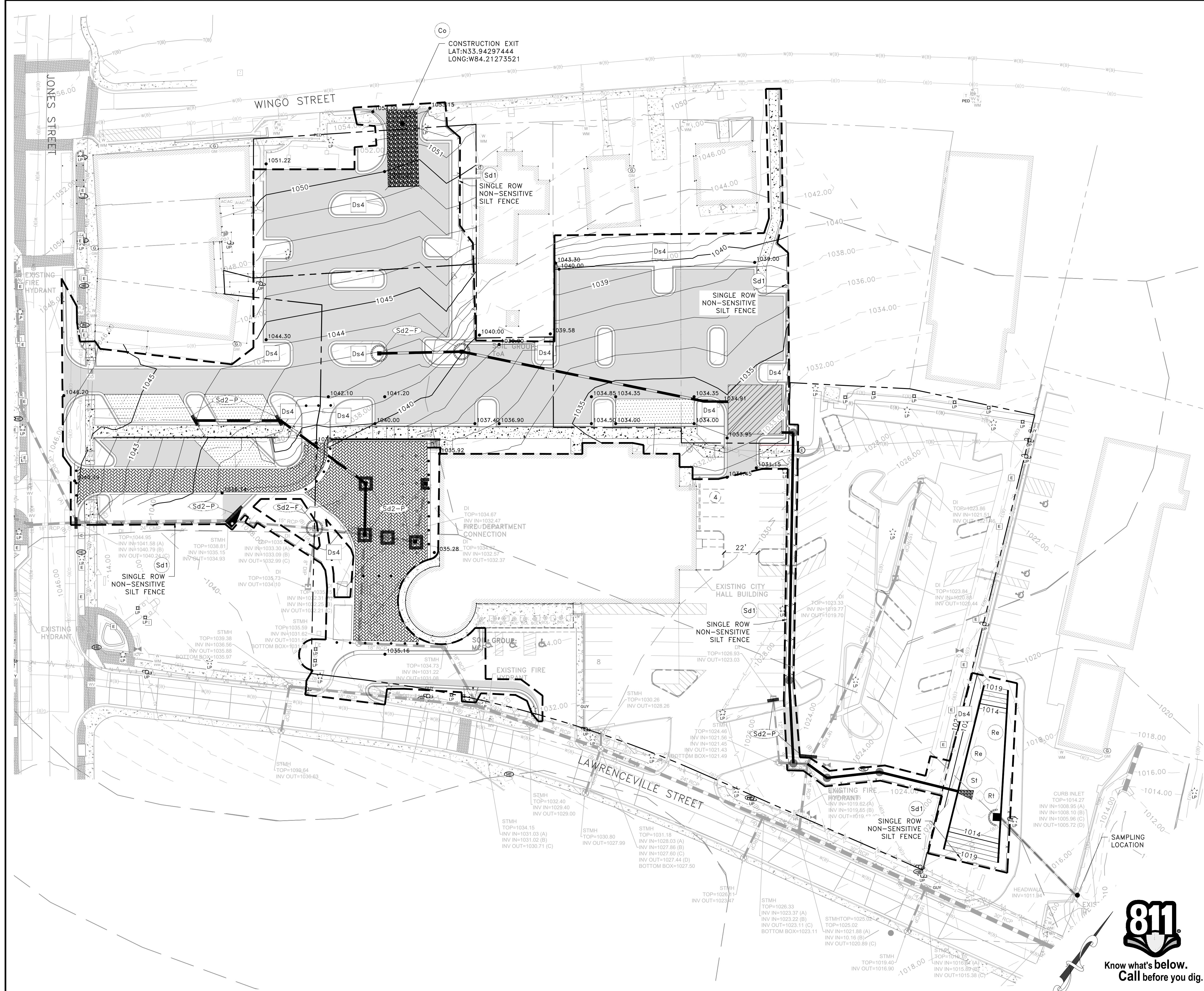
CLIENT
CITY OF NORCROSS
345 LIVELY AVE
NORCROSS, GA 30071

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REVISIONS	DATE

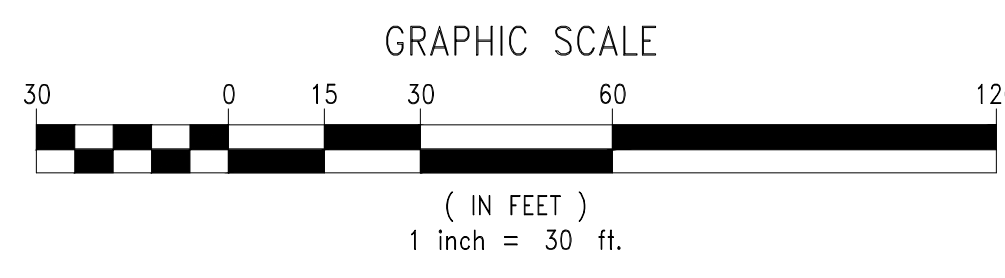
DRAWING TITLE
**PHASE III
EROSION
CONTROL PLAN**

DRAWING FILE: G:\6170\22\DRAWINGS\CIVIL\6170.02.DWG	DRAWING NO.
DRAWN BY: GAF	C-4.3
DATE: 2/11/2026	
PROJECT NO: 6170.02	



EROSION CONTROL LEGEND

(Di)	DIVERSION	
(Cd)	CHECKDAM	
(Co)	CONSTRUCTION EXIT	
(Rt)	RETROFITTING	
(Sd1)	SEDIMENT BARRIER	
(Sd2)	INLET SEDIMENT TRAP	
(Sd3)	TEMPORARY SEDIMENT BASIN	
(Bf)	BUFFER ZONE	
(St)	STORM DRAIN OUTLET PROTECTION	
(Su)	SURFACE ROUGHENING	
(Ds1)	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	
(Ds2)	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)	
(Ds4)	DISTURBED AREA STABILIZATION (SODDING)	
(Du)	DUST CONTROL ON DISTURBED AREAS	



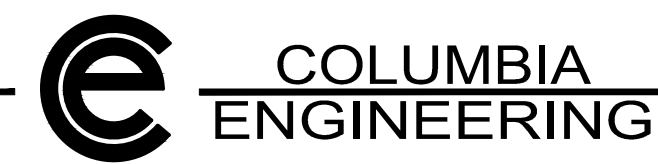
Know what's below.
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CONTRACTOR TO PROVIDE 3 SETS OF "AS-BUILT" PLANS TO OWNER.

IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

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STAND ALONE CHECKLIST EROSION CONTROL NOTES

- THE APPLICABLE EROSION, SEDIMENTATION AND POLLUTION CONTROL(ES&PC) PLAN CHECKLIST IS SHOWN ON SHEET, C-4.5.
A SITE-SPECIFIC ES&PC PLAN SHALL BE DESIGNED, INSTALLED AND MAINTAINED FOR THE ENTIRE CONSTRUCTION ACTIVITY COVERED BY THE CURRENT GENERAL NPDES PERMIT GAR10002 AS DESCRIBED IN PART IV OF THE PERMIT. ALL EROSION AND SEDIMENT MEASURES SHALL CONFORM TO THE EROSION AND SEDIMENT STANDARDS SET FORTH IN THE LATEST EDITION OF THE EROSION CONTROL MANUAL IN GEORGIA.
- LEVEL II CERTIFIED DESIGN PROFESSIONAL
DESIGN PROFESSIONAL NAME **KAYSIE GLAZER, P.E.**
LEVEL II CERTIFICATION NO. **22175**
EXPIRATION DATE **11/15/2027**
THE CERTIFIED DESIGN PROFESSIONAL SIGNATURE, SEAL AND LEVEL II NUMBER ARE ON EACH OF THE ES&PC PLAN SHEETS.
- 24-HOUR CONTACT RESPONSIBLE FOR ES&PC
NAME **CITY OF NORCROSS, GEORGIA**
TBD
PHONE NUMBER **TBD**
- PRIMARY PERMITTEE
NAME **CITY OF NORCROSS, GEORGIA**
ADDRESS **345 LIVELY AVENUE NORCROSS, GEORGIA 30071**
PHONE NUMBER **TBD**
EMAIL ADDRESS **TBD**
- ACREAGE OF THE PROJECT
TOTAL DISTURBED AREA **8.XX ACRES**
TOTAL SITE AREA **8.XX ACRES**
- THE GPS LOCATION FOR THE CONSTRUCTION EXIT(S) AS SHOWN ON SHEET C-4.1-C-4.3:
DOWNTOWN NORCROSS PARKING IMPROVEMENTS.
LATITUDE **33.94297444° N**
LONGITUDE **84.21273521° W**
- THE INITIAL DATE OF THE PLANS IS SHOWN ON EVERY SHEET ON THE TITLE BLOCK. FOR EACH RESUBMITTAL, THE REVISION DATE AND REQUESTING ENTITY IS SHOWN ON THE COVER SHEET AND EACH SHEET THAT HAS BEEN REVISED.
- DESCRIPTION OF THE NATURE OF CONSTRUCTION AND EXISTING SITE CONDITIONS: THE CONSTRUCTION ACTIVITY WILL CONSIST OF **GRUBBING AND GRADING, STORMWATER INFRASTRUCTURE AND UTILITY INSTALLATION, AND ROAD INFRASTRUCTURE.** THE EXISTING SITE LAND USE IS **RECENTLY TIMBERED.**
- VICINITY MAP SHOWN ON THE COVER SHEET, C-0.
- THE INITIAL RECEIVING WATERS FOR THIS PROJECT IS AN **UNNANEMD TRIBUTARY TO BEAVER RUN CREEK.** THE DISCHARGE IS NOT THROUGH A MUNICIPAL SEWER SYSTEM. THE RECEIVING WATER(S) SUPPORT WARM WATER FISHERIES AND DO NOT DISCHARGE DIRECTLY TO WETLANDS. NO CONSTRUCTION ACTIVITY WITHIN THE **25-FOOT STREAM BUFFER.** SENSITIVE AREA NOT LOCATED IN PROJECT AREA.

Kaysie Glazer
KAYSIE GLAZER, P.E. DATE: 2/11/2026
LEVEL II CERTIFICATION NO. 22175

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- INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORM WATER DRAINAGE INFRASTRUCTURE. ALL FUEL AND OIL TANKS SHALL HAVE A SECONDARY CONTAINMENT LNER/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.
- ALL PAINT/SOLVENT/FINISHING PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCTS WILL NOT BE DISCHARGED TO STORM WATER COLLECTION SYSTEMS. EXCESS PRODUCT MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL FERTILIZER/HERBICIDE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.
- NO BUILDING MATERIALS OR CONSTRUCTION MATERIALS SHALL BE DISPOSED OF AT THE CONSTRUCTION SITE. ALL MATERIALS WILL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE AND/OR LOCAL REGULATIONS.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- ALL TEMPORARY AND PERMANENT VEGETATIVE PRACTICES INCLUDING PLANT SPECIES, PLANTING DATES, SEEDING FERTILIZER, LIME AND MULCH/RATES FOR THIS PROJECT CAN BE FOUND IN APPLICABLE CONTRACT DOCUMENTS, SPECIAL PROVISIONS, OR LANDSCAPING PLANS.
- THE CONSTRUCTION SITE DOES NOT DISCHARGE INTO AN IMPAIRED STREAM SEGMENT, AN UNNANEMD TRIBUTARY TO BEAVER RUN CREEK, WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED.
- A TMDL IMPLEMENTATION PLAN IS **NOT APPLICABLE** TO THE RECEIVING WATERS FOR THE PROJECT.
- WASHDOWN OF CONCRETE TOOLS, MIXER CHUTES, HOPPERS, AND VEHICLES REARS IS ALLOWED AT THE CONSTRUCTION SITE. THE WASHDOWN AREA, IF ALLOWED, IS DELINEATED ON THE FOLLOWING EROSION & SEDIMENT CONTROL PLANS. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.
- PETROLEUM STORAGE, SPILLS AND LEAKS
THE PLANS PROVIDED HEREIN DO NOT ANTICIPATE THE STORAGE OF PETROLEUM PRODUCTS ONSITE. THE CONTRACTOR SHALL AT A MINIMUM PROVIDE AN ACTION PLAN AND KEEP THE NECESSARY MATERIALS ON SITE FOR THE CAPTURE AND DISPOSAL OF ANY PETROLEUM PRODUCT LEAKS OR SPILLS ASSOCIATED WITH THE SERVICING, REFUELING OR OPERATION OF ANY EQUIPMENT UTILIZED IN THE WORK.
IF THE STORAGE OF PETROLEUM PRODUCTS ONSITE IS DESIRED BY THE CONTRACTOR THE FOLLOWING IS REQUIRED; ESPCC ADDENDUM PREPARED BY A LICENSED DESIGN PROFESSIONAL AS REQUIRED BY GAR10001 FOR INCLUSION WITH THESE PLANS.
PRACTICES SUCH AS GOOD HOUSEKEEPING, PROPER HANDLING OF HAZARDOUS PRODUCTS AND PROPER SPILL CONTROL PRACTICES WILL BE FOLLOWED TO REDUCE THE RISK OF SPILLS AND PREVENT SPILLS FROM DISCHARGING INTO STORM WATER RUNOFF.
GOOD HOUSEKEEPING:
A. QUANTITIES OF PRODUCTS STORED ONSITE WILL BE LIMITED TO THE AMOUNT NEEDED FOR THE JOB.
B. PRODUCTS AND MATERIALS WILL BE STORED IN A NEAT, ORDERLY MANNER IN APPROPRIATE CONTAINERS PROTECTED FROM RAINFALL, WHERE POSSIBLE.
C. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH MANUFACTURER LABELS LEGIBLE AND VISIBLE.
D. PRODUCT MIXING, DISPOSAL AND DISPOSAL OF PRODUCT CONTAINERS WILL BE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
E. THE CONTRACTOR WILL INSPECT SUCH MATERIALS TO ENSURE PROPER USE, STORAGE AND DISPOSAL.
SPILL CLEANUP AND CONTROL PRACTICES:
A. LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.
B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS, TYPICAL MATERIALS AND EQUIPMENT GOGGLES, CAT LITTER, SAND, SAWDUST AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS.
C. SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.
D. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY UPON DISCOVERY. ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE AND FEDERAL REGULATIONS.
E. FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WITHIN 24 HOURS AT 1-800-424-8802.
F. FOR SPILLS OF UNKNOWN AMOUNT, THE NATIONAL CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.
G. FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN 24 HOURS.
H. FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.
I. THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS.
- POST CONSTRUCTION MEASURES
THE POST-CONSTRUCTION BMP'S FOR THIS PROJECT MAY CONSIST OF PERMANENT BIORETENTION AREAS, PERMEABLE PAVEMENT, VEGETATION, RIP-RAP AT PIPE OUTLETS FOR VELOCITY DISSIPATION AND OUTLET STABILIZATION, AND VEGETATED SWALES/DITCHES WHERE PRACTICAL.
THE POST-CONSTRUCTION BMP'S WILL PROVIDE PERMANENT STABILIZATION OF THE SITE AND PREVENT ACCELERATED TRANSPORTATION OF SEDIMENT AND POLLUTION INTO RECEIVING WATERS. POST-CONSTRUCTION BMP'S ARE SHOWN ON SHEET C-E5.1 ~ C-E5.3.
- BUILDING MATERIAL
MEASURES USED DURING CONSTRUCTION TO MINIMIZE THE EXPOSURE OF ANY AND ALL BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS, TO PRECIPITATION AND/OR STORMWATER INCLUDE: COVER WITH PLASTIC SHEETING AND/OR TEMPORARY ROOFS IN THE ALLOCATED STORAGE AREA AS SHOWN ON SHEET C-E5.1 - C-E4.3.
- MEASURES USED TO REDUCE POLLUTANTS IN STORM WATER DISCHARGES INCLUDE:
SILT FENCE INSTALLATIONS WITH J-HOOKS AND SPURS
SILT FENCE SHOULD NEVER BE RUN CONTINUOUSLY. THE SILT FENCE SHOULD TURN BACK INTO THE FILL OR SLOPE TO CREATE SMALL POCKETS THAT TRAP SILT AND FORCE STORMWATER TO FLOW THROUGH THE SILT FENCE. THIS TECHNIQUE, OR CONFIGURATION, IS COMMONLY REFERRED TO AS J-HOOKS OR SPURS.
THE J-HOOKS SHALL BE UTILIZED ON ALL SILT FENCES THAT ARE LOCATED AROUND THE PERIMETER OF THE PROJECT AND ALONG THE TOE OF EMBANKMENTS OR SLOPES. THE J-HOOKS SHALL BE SPACED IN ACCORDANCE WITH THE TYPICAL LOCATION DETAILS FOR SILT FENCES/BALED STRAW. SPACING FOR J-HOOKS SHALL NOT BE LESS THAN 50 FEET EXCEPT AS NOTED. SILT FENCES THAT ARE NEAR THE OUTLET OF CULVERTS, CROSS DRAINS, AND STORM DRAINS SHALL HAVE A MINIMUM OF THREE (3) J-HOOKS ON BOTH SIDES OF THE STRUCTURE AT SPACING NOT TO EXCEED 30 FEET. ALL COSTS AND OTHER INCIDENTAL ITEMS ARE INCLUDED IN COST OF INSTALLING AND MAINTAINING THE SILT FENCE.
MAINTENANCE AND STABILIZATION MEASURES
ALL STRUCTURAL BMP'S SHALL BE MAINTAINED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
ALL SEDIMENT CONTROL DEVICES (EXCEPT SEDIMENT BASINS) INSTALLED ON A PROJECT SHALL AS A MINIMUM, BE CLEANED OF SEDIMENT WHEN ONE-HALF THE CAPACITY, BY HEIGHT, DEPTH, OR VOLUME HAS BEEN REACHED.
SEDIMENT BASINS SHALL BE CLEANED OF SEDIMENT WHEN ONE-THIRD THE CAPACITY BY VOLUME HAS BEEN REACHED.
AS A MINIMUM THE CONTRACTOR SHALL COMPLETE THE PERMANENT GRASSING, OR TEMPORARY GRASSING,

- MULCHING, AS APPROPRIATE AND IN ACCORDANCE WITH CONTRACT DOCUMENTS, ON ALL CUT AND FILL SLOPES ON A WEEKLY BASIS DURING GRADING OPERATIONS, EXCEPT PROJECTS WITH A TOTAL OF 3 ACRES OR LESS OF GRASSING MAY BE TREATED EVERY TWO WEEKS. WHEN CONDITIONS WARRANT, THE CITY OF NORCROSS PROJECT MANAGER WILL REQUIRE MORE FREQUENT MULCHING WORK. IT IS EXTREMELY IMPORTANT TO GET A STABILIZING COVER IN PLACE, WHETHER IT IS MULCH, TEMPORARY GRASS OR PERMANENT GRASS. ADEQUATE MULCH IS A MUST.
- WHEN GRADING OPERATIONS OR OTHER SOIL DISTURBING ACTIVITIES HAVE BEEN SUSPENDED, FOR WHATEVER REASON, THE CONTRACTOR SHALL PROMPTLY PERFORM NEEDED GRASSING WORK AND/OR EROSION CONTROL WORK AS SHOWN IN THE PLANS, SUBMITTED BY THE CONTRACTOR OR AS DIRECTED BY THE CITY OF NORCROSS PROJECT MANAGER.
- TEMPORARY GRASS SHALL BE USED WHEN REQUIRED BY THE CONTRACT DOCUMENTS OR AS DIRECTED BY THE CITY OF NORCROSS PROJECT MANAGER TO CONTROL EROSION IN AREAS WHERE PERMANENT GRASSING CANNOT BE PLANTED. TEMPORARY GRASS SHALL BE USED WHERE AN AREA MUST BE PROTECTED FOR LONGER THAN MULCH IS EXPECTED TO LAST WHICH IS 60 CALENDAR DAYS. AFTER 60 CALENDAR DAYS, AREAS WITH ONLY MULCH SHALL BE PLANTED WITH TEMPORARY GRASS AND MULCHED AGAIN.
- TEMPORARY GRASS SHALL BE A QUICK GROWING SPECIES SUITABLE TO THE AREA AND SEASON. SEEDS SHALL CONFORM TO THE REQUIREMENTS OF CONTRACT DOCUMENTS. SEEDING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, EXCEPT THAT GROUND PREPARATION SHALL BE THE MINIMUM REQUIRED TO PROVIDE A SEED BED WHERE FURTHER GRADING WILL BE REQUIRED. AREAS THAT REQUIRE NO FURTHER GRADING SHALL BE PREPARED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. LIME SHALL BE OMITTED UNLESS THE AREA WILL LATER BE PLANTED IN PERMANENT GRASS WITHOUT FURTHER GRADING; IN WHICH CASE, LIME WILL BE APPLIED ACCORDING TO THE CONTRACT DOCUMENTS, MIXED GRADE FERTILIZER SHALL BE APPLIED AT THE RATE OF 1300-1500 POUNDS PER ACRE DEPENDING ON SEASON AND GRASS. NITROGEN SHALL BE OMITTED IF A LEGUME IS USED. ALL TEMPORARY GRASS SHALL BE MULCHED IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- ALL AREAS WHERE TEMPORARY GRASS HAS BEEN PLANTED SHALL BE PREPARED IN ACCORDANCE WITH CONTRACT DOCUMENTS PRIOR TO PLANTING PERMANENT GRASS.
- MULCH SHALL BE APPLIED AND UNIFORMLY SPREAD IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- WHEN GRASSING OPERATIONS BEGIN, MULCH SHALL BE LEFT IN PLACE AND PLOWED INTO THE SOIL DURING THE PROCESS OF SEEDBED PREPARATION, THEREBY BECOMING BENEFICIAL PLANT FOOD FOR THE NEWLY PLANTED GRASS. MULCH REQUIRED FOR PROTECTION OF NEWLY PLANTED GRASS SHALL BE IN ADDITION TO THE MULCH SPECIFIED HEREIN.
- A TIMELINE OF THE INTENDED SEQUENCE OF MAJOR SOIL-DISTURBING ACTIVITIES CAN BE FOUND ON THE NEXT EROSION AND SEDIMENT CONTROL NOTES SHEET C-4.5 AND CALLED OUT AS ANTICIPATED ACTIVITY.
- INSPECTION REQUIREMENTS FOR PRIMARY PERMITTEE
A. EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT: (A) ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
B. MEASURE AND RECORD RAINFALL WITHIN DISTURBED AREAS OF THE SITE THAT HAVE NOT MET FINAL STABILIZATION ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY. THE DATA COLLECTED FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE ENTIRE STORMWATER COLLECTION SYSTEM. MULCH MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.
C. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS: (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE; (B) AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND (C) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. CERTIFIED PERSONNEL SHALL ALSO CONDUCT INSPECTIONS WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST). POST-RAIN INSPECTIONS WILL RESET THE 7-DAY INSPECTION FREQUENCY REQUIREMENT, WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE. THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART IV.D.4.A.(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
D. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION IS SUBMITTED TO EPD) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).
E. BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.
F. A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.A.(5). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE PORTION OF A CONSTRUCTION SITE THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY THE END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR DESCRIBED IN THE PLAN, WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A STATEMENT THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2. OF THIS PERMIT.
- SAMPLING FREQUENCY
THE PRIMARY PERMITTEE MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LEAST ONCE FOR EACH RAINFALL EVENT DESCRIBED BELOW. FOR A QUALIFYING EVENT, THE PERMITTEE SHALL SAMPLE AT THE BEGINNING OF ANY STORMWATER DISCHARGE TO A MONITORED RECEIVING WATER AND/OR FROM A MONITORED OUTFALL LOCATION WITHIN IN FORTY-FIVE (45) MINUTES OR AS SOON AS POSSIBLE.
HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING ARE IMPOSSIBLE (AS DEFINED IN THIS PERMIT), OR ARE BEYOND THE PERMITTEE'S CONTROL, THE PERMITTEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORMWATER DISCHARGE.
SAMPLING BY THE PERMITTEE SHALL OCCUR FOR THE FOLLOWING QUALIFYING EVENTS:
A. THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORMWATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO COMPLETION OF MASS GRADING OPERATIONS.
B. THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORMWATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT EITHER 90 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO SUBMITTAL OF A NOT.
C. AT THE TIME OF SAMPLING PERFORMED PURSUANT TO (1) AND (2) ABOVE, IF BMP'S IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL ARE NOT PROPERLY DESIGNED, INSTALLED AND MAINTAINED, THE PERMITTEE SHALL BE DEFINED AND IMPENED WITHIN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS UNTIL THE SELECTED TURBIDITY STANDARD IS ATTAINED, OR UNTIL POST-RAIN EVENT INSPECTIONS DETERMINE THAT BMP'S ARE PROPERLY DESIGNED, INSTALLED AND MAINTAINED.
D. WHERE SAMPLING PURSUANT TO (1), (2), OR (3) ABOVE IS REQUIRED BUT NOT POSSIBLE (OR NOT REQUIRED BECAUSE THERE WAS NO DISCHARGE), THE PERMITTEE, IN ACCORDANCE WITH PART IV.D.4.A.(6), MUST INCLUDE A WRITTEN JUSTIFICATION IN THE INSPECTION REPORT OF WHY SAMPLING WAS NOT PERFORMED, PROVIDING THIS JUSTIFICATION DOES NOT RELIEVE THE PERMITTEE OF ANY SUBSEQUENT SAMPLING OBLIGATIONS UNDER PART IV.D.4.A.(1), (2) OR (3) ABOVE.
E. EXISTING CONSTRUCTION ACTIVITIES, I.E., THOSE THAT ARE OCCURRING ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT, THAT HAVE MET THE SAMPLING REQUIRED BY (1) ABOVE SHALL SAMPLE IN ACCORDANCE WITH (2), THOSE EXISTING CONSTRUCTION ACTIVITIES THAT HAVE MET THE SAMPLING REQUIRED BY (2) ABOVE SHALL NOT BE REQUIRED TO CONDUCT ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (3) ABOVE.

- REPORTING
THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART II.C. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION, EPD MAY REQUIRE THE APPLICABLE PERMITTEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORMWATER DISCHARGE(S) OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THE PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPD. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G.2. SAMPLING REPORTS MUST BE SUBMITTED TO EPD UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.2.
- ALL SAMPLING REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:
A. THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS;
B. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS;
C. THE DATE(S) ANALYSES WERE PERFORMED;
D. THE TIME(S) ANALYSES WERE INITIATED;
E. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE ANALYSES;
F. REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL TECHNIQUES OR METHODS USED;
G. THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS, COMPUTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS;
H. RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU;" AND
I. CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.
- ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE EPD DISTRICT OFFICE OR DELIVERY RECEIPT EMAIL TO THE APPROPRIATE EPD DISTRICT OFFICE RESOURCE MAILBOX ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE PERMITTEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.
- RETENTION OF RECORDS
THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI:
A. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD;
B. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT;
C. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5. OF THIS PERMIT;
D. A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT;
E. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.A. OF THIS PERMIT;
F. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT;
G. DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.A.(2). OF THIS PERMIT.
- COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS (INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION) OR OTHER REPORTS REQUESTED BY THE EPD, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF DATA USE TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART VI. OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS AT THE DESIGNATED ALTERNATE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITTEE.
- NOTICE OF TERMINATION SUBMITTAL
ALL NOTICES OF TERMINATION (NOT) BY THIS PERMIT SHALL BE SUBMITTED TO EPD USING THE ELECTRONIC SUBMITTAL SERVICE PROVIDED BY EPD NO MORE THAN 14 DAYS AFTER THE SITE HAS COMPLETED CONSTRUCTION RELATED ACTIVITIES. ACHIEVED FINAL STABILIZATION AND TEMPORARY BMP'S HAVE BEEN REMOVED AS REFERENCED IN PART VI.A.I.A COPY OF THE NOT SHALL ALSO BE SUBMITTED TO THE LOCAL ISSUING AUTHORITY JURISDICTIONS AUTHORIZED TO ISSUE A LAND DISTURBANCE ACTIVITY PERMIT FOR THE PERMITTEE'S CONSTRUCTION SITE PURSUANT TO O.C.G.A. 12-7-1, ET SEQ.
- AUTOMATIC SAMPLING
SAMPLES WILL BE TAKEN AT THE APPROPRIATE TIMES AS SPECIFIED IN PART IV.D. 6. D. OF THE PERMIT. ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH THE PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED); THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD:
A. SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.
B. SAMPLES SHOULD BE STORED AND TRANSFERRED TO A SECONDARY CONTAINER.
C. LARGE WHEEL, CLEAN AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION.
D. MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION.
E. IF AUTOMATIC SAMPLING FROM AUTOMATIC SAMPLERS WILL BE USED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITTEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. IF AUTOMATIC SAMPLING IS NOT REQUIRED, SAMPLES MAY BE ANALYZED USING A DIRECT READING, PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.
E. SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E.
- FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITTEE MUST SAMPLE ALL RECEIVING ALL WATER(S) AND OUTFALL(S), OR A COMBINATION OF RECEIVING WATERS AND OUTFALLS. SAMPLING POINTS SHALL BE LOCATED ON APPLICABLE PAGES OF THE INITIAL, INTERMEDIATE, AND FINAL PHASE OF THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLANS. SAMPLES TAKEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORM WATER OUTFALLS USING THE FOLLOWING MINIMUM GUIDELINES:
A. THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST UPSTREAM AT THE SITE) BUT DOWNSTREAM OF ANY OTHER STORM WATER DISCHARGES NOT ASSOCIATED WITH THE PERMITTED ACTIVITY, WHERE APPROPRIATE, SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE UPSTREAM TURBIDITY VALUE.
B. THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST DOWNSTREAM AT THE SITE) BUT UPSTREAM OF ANY OTHER STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY, WHERE APPROPRIATE, SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM TURBIDITY VALUE.
C. IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORM OUTFALL CHANNEL(S).
D. CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE OUTFALL STORM WATER CHANNEL.
E. THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM.
F. THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.
G. PERMITTEES DO NOT HAVE TO SAMPLE SHEET FLOW THAT FLOWS ONTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT FOR THE PURPOSES OF AVOIDING SAMPLING TURBIDITY FROM UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL THAT HAS BEEN CERTIFIED BY EPD FOR WASTE DISPOSAL. 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR LANDSCAPED ACCORDING TO THE PLAN (UNIFORMLY COVERED WITH LANDSCAPING MATERIALS IN PLANNED LANDSCAPED AREAS), OR EQUIVALENT PERMANENT STABILIZATION MEASURES AS DEFINED IN THE MANUAL (EXCLUDING A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET CROP PERENNIALS APPROPRIATE FOR THE REGION).
H. ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A WAY (INCLUDING GENERALLY ACCEPTED SAMPLING METHODS, TIMING, AND FREQUENCY) AS TO ACCURATELY REFLECT WHETHER STORM WATER RUNOFF FROM THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE STANDARD SET FORTH IN PARTS III.D.3. OR III.D.4., WHICHEVER IS APPLICABLE.

COLUMBIA ENGINEERING
2862 BUFORD HIGHWAY
SUITE 200
DULUTH, GEORGIA 30096
(770) 925-0357

GSWCC CERTIFIED DESIGN
PROFESSIONAL NO. 22175

PROJECT
DOWNTOWN NORCROSS PARKING IMPROVEMENTS
65 LAWRENCEVILLE STREET
NORCROSS, GA 30071

CLIENT
CITY OF NORCROSS
345 LIVELY AVE
NORCROSS, GA 30071

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REVISIONS	DATE

DRAWING TITLE
EROSION CONTROL NOTES

DRAWING FILE: G-6170 02DRAWINGCVL6170 02 DWG
DRAWN BY **GAF** DRAWING NO.
DATE **2/11/2026**
PROJECT NO **6170 02**
C-4.4

CIVIL ENGINEERS * LAND PLANNERS
LANDSCAPE ARCHITECTS * SURVEYORS

COLUMBIA ENGINEERING

PROJECT: DOWNTOWN NORCROSS PARKING IMPROVEMENTS
65 LAWRENCEVILLE STREET
NORCROSS, GA 30071

CLIENT: CITY OF NORCROSS
345 LIVELY AVE
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REVISIONS	DATE

DRAWING TITLE

EROSION CONTROL NOTES

DRAWING FILE: Q:\6170\02DRAWING\CIVL6170.02.DWG	
DRAWN BY: GAF	DRAWING NO. C-4.5
DATE: 2/11/2026	
PROJECT NO: 6170.02	

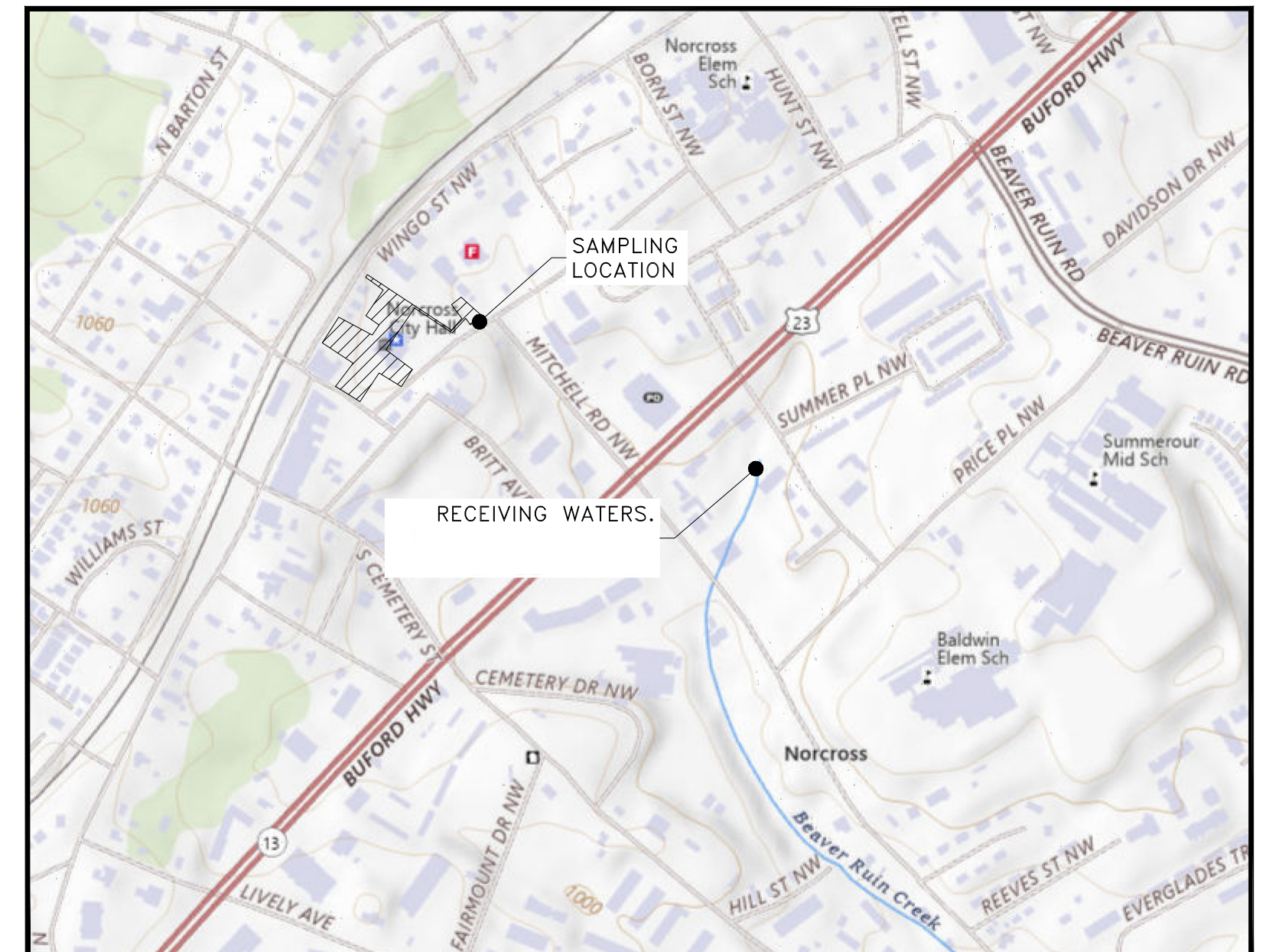
EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST
STAND ALONE CONSTRUCTION PROJECTS GAR100001

Project Name: **DOWNTOWN NORCROSS PARKING IMPR** Address: **65 LAWRENCEVILLE STREET**
Local Issuing Authority: **CITY OF NORCROSS** Date on Plans: **XX/XX/2026**
Name & Email of person filling out checklist: **AUSTIN FELL, AFELL@COLUMBIA-ENGINEERING.COM**

Plan Page #	Included Y/N	TO BE SHOWN ON ES&PC PLAN						
CA.5	Y	1. The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted. The completed Checklist must be submitted with the ES&PC Plan or the Plan will not be reviewed. Permit IV.D.1, pg 27						
ALL	Y	2. Level certification number issued by the Commission, signature and seal of the certified design professional. Signature, seal and Level II number must be on each sheet pertaining to ES&PC Plan or the Plan will not be reviewed. The Level II certification must be issued to the Design Professional, after completion of a GSWCC approved course, and whose signature and seal are on the Plan.						
CA.4	Y	3. Limits of disturbance shall be less than 50 acres at any one time without prior written authorization from the GAEPD District Office. If GAEPD approves the request to disturb 50 acres or more at any one time, the Plan must include the GAEPD approval letter and completed Appendix 1 of this checklist with at least 4 of the chosen BMPs. * A copy of the written approval by GAEPD must be attached to the Plan for the Plan to be reviewed. Permit IV.D.3, pg 28						
CA.4	Y	4. The name and phone number of the 24-hour contact responsible for erosion, sedimentation and pollution controls.						
CA.4	Y	5. Provide the name, address, email address, and phone number of Primary Permittee.						
CA.4	Y	6. Note total and disturbed acreages of the project or phase under construction.						
CA.1	Y	7. Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.						
ALL	Y	8. Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.						
CA.4	Y	9. Descriptions of the nature of construction activity and existing site conditions.						
CA.5	Y	10. Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary.						
CA.1	Y	11. Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc. which may be affected.						
ALL	Y	12. Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on Part IV page 20 of the permit.						
CA.4	Y	13. Design professional's certification statement and signature that the Permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on Part IV page 20 of the permit. *						
CA.4	Y	14. Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect and certify the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation. *"						
CA.4	Y	15. Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of weeded vegetation or within 25-feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits. *"						
CA.4	Y	16. Provide a description of any buffer encroachments and indicate whether a buffer variance is required.						
CA.4	Y	17. Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional. *"						
CA.4	Y	18. Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit. *"						
CA.4	Y	19. Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities. *"						
CA.4	Y	20. Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source. *"						
CA.4	Y	21. Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding. *"						
CA.5	Y	22. Any construction activity which discharges storm water into a Biotra Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as any portion of a Biotra Impaired Stream Segment, must comply with Part III.C. of the permit. Include the completed Appendix 1 of this checklist with at least 4 of the chosen BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment. *						
N/A	N/A	23. If a TMDL Implementation Plan for sediment has been finalized for the Biotra Impaired Stream Segment (identified in Item 22 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan. *						
CA.4	Y	24. BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Include statement that washout of the drum at the construction site is prohibited. *						
CA.4	Y	25. Provide BMPs for the remediation of all petroleum spills and leaks.						
CA.4	Y	26. Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed. *						
CA.4	Y	27. Description of practices to provide cover for building materials and building products on site. *						
CA.4	Y	28. Description of the practices that will be used to reduce the pollutants in storm water discharges. *						
CA.4	Y	29. Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, grading, infrastructure, temporary and final stabilization).						
CA.4	Y	30. Provide complete requirements of inspections and record keeping by the Primary Permittee. *						
CA.4	Y	31. Provide complete requirements of Sampling Frequency and Reporting of sampling results. *						
CA.4	Y	32. Provide complete details for Retention of Records as per Part IV.F. of the permit. *						
CA.4	Y	33. Description of analytical methods to be used to collect and analyze the samples from each location. *						
CA.4	Y	34. Appendix B rationale for NTU values at all outfall sampling points where applicable. *						
ALL	Y	35. Delineate all sampling locations on all phases of the Plan, and perennial and intermittent streams and other water bodies into which storm water is discharged. *						
ALL	Y	36. Description or appropriate contours and measures that will be implemented as the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial sediment storage requirements and initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the Plan may combine all BMPs into a single phase plan. *						
ALL	Y	37. Graphic scale and North arrow.						
ALL	Y	38. Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following:						
		<table border="1"> <tr> <th>Map Scale</th> <th>Ground Slope</th> <th>Contour Interval, ft</th> </tr> <tr> <td>1 inch = 100ft or larger scale</td> <td>Flat 0 - 2% Rolling 2 - 8% Sleep 8% +</td> <td>0.5 or 1 1 or 2 2.5 or 10</td> </tr> </table>	Map Scale	Ground Slope	Contour Interval, ft	1 inch = 100ft or larger scale	Flat 0 - 2% Rolling 2 - 8% Sleep 8% +	0.5 or 1 1 or 2 2.5 or 10
Map Scale	Ground Slope	Contour Interval, ft						
1 inch = 100ft or larger scale	Flat 0 - 2% Rolling 2 - 8% Sleep 8% +	0.5 or 1 1 or 2 2.5 or 10						
N/A	N/A	39. Use of Alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional (unless disapproved by GAEPD or the Georgia Soil and Water Conservation Commission). Refer to the Alternative BMP Guidance Document found at www.gaswcc.gov .						
N/A	N/A	40. Use of Alternative BMP for application to the Equivalent BMP List. Refer to Appendix A-2 of the Manual for Erosion & Sediment Control in Georgia 2016 Edition. *						
ALL	Y	41. Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to State Waters and any additional buffers as required by the Local Issuing Authority. Clearly note and delineate all areas of impact.						
ALL	Y	42. Delineation of all State Waters and wetlands located on or within 200 feet of the project site.						
HYDRO	Y	43. Delineation and acreage of contributing drainage basins on the project site.						
HYDRO	Y	44. Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions. *						
HYDRO	Y	45. Estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed. For solar farm projects, post-construction impervious area shall be calculated as 70% of total solar panel square footage.						
HYDRO	Y	46. Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/Delineate all storm water discharge points.						
ALL	Y	47. Soil series for the project site and their delineation.						
ALL	Y	48. The limits of disturbance for each phase of construction.						
CA.5	Y	49. Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin, retrofitted detention pond, and/or excavated inlet sediment traps for each common drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the Plan for each common drainage location in which a sediment basin is not provided. A written justification as to why 67 cubic yards of storage is not attainable must also be given. Worksheets from the Manual must be included for structural BMPs and all calculations used by the design professional to obtain the required sediment storage when using equivalent controls. When discharging from sediment basins and impoundments, firm berms are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining this must be included in the Plan.						
CA.6	Y	50. Location of Best Management Practices that are consistent with, and no less stringent than, the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual Chapter 6, with legend.						
CA.6	Y	51. Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.						
CA.6	Y	52. Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of year that seeding will take place and for the appropriate geographic region of Georgia.						

* If using this checklist for a project that is less than 1 acre and not part of a common development but within 200 ft of a perennial stream, the * checklist items would be N/A. Effective January 1, 2026

USGS TOPOGRAPHIC MAP



ANTICIPATED ACTIVITY (MONTHS)

ACTIVITY	COMPLETE DATE											
	1	2	3	4	5	6	7	8	9	10	11	12
1. INSTALL SEDIMENT CONTROLS	■											
2. CLEARING AND GRADING	■											
3. STORM DRAIN INSTALLATION	■											
4. SANITARY SEWER INSTALLATION	■											
5. GRASS & MULCHING (TEMP.) (PERM.)	■											
6. UTILITY INSTALLATION	■											
7. MAINTAIN EROSION CONTROL	■											
8. BUILDING CONST. PAVING	■											
9. FINAL LANDSCAPING	■											
10. CLEAN UP	■											

34. APPENDIX B RATIONALE FOR NTU VALUES
IT HAS BEEN DETERMINED THAT THE INCREASE IN TURBIDITY AT SPECIFIED LOCATIONS WILL BE REPRESENTATIVE OF THE INCREASE IN TURBIDITY FOR ALL WATERS LEAVING THE SITE. RECEIVING WATER SAMPLING HAS BEEN SELECTED FOR THE PROJECT. REPRESENTATIVE MONITORING SITE ARE IDENTIFIED IN THE TABLE BELOW:

MONITOR SITE	NAME OF WATER	APPLICABLE CONSTRUCTION SAMPLING	SAMPLING TYPE	PERCENTAGE FOR RECORDING WATER (WQ)	UPSTREAM AREA (AC)	WARM OR COLD-WATER STREAM	EROSION & NTU VALUE	ALLOWABLE NTU INCREASE	LOCATION DESCRIPTION
1	UNNAMED TRIBUTARY TO BEAVER RUN CR.	ALL	OUTFALL	0.01	±X.XX	WARM	N/A	75	OUTFALL OF DETENTION POND

35. SAMPLING LOCATIONS ARE SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLANS. IT HAS BEEN DETERMINED THAT THE SAMPLING LOCATIONS WILL BE REPRESENTATIVE OF THE PROJECT.

36. **BMPs DESCRIPTION**
(INITIAL PHASE) PRIOR TO CONSTRUCTION SHOWN ON THESE DRAWINGS, THE SITE HAS BEEN TIMBERED. THE CONTRACTOR SHALL START WITH THE INSTALLATION OF THE CONSTRUCTION ENTRANCE, AS SHOWN ON THE PLANS. THIS WILL THEN BE FOLLOWED BY THE INSTALLATION OF THE PERIMETER SILT FENCE, TYPE C OR SD1-S. DOUBLE ROWS OF SILT FENCE WILL BE USED WHEN THE LIMIT OF DISTURBANCE, LOD, ABUTS THE DESIGNATED WETLANDS. THE SILT FENCE MUST INSPECTED WITHIN 7 DAYS OF THE INSTALLATION OF THE SILT FENCE. THE SITE CAN NOW BE CLEARED AND GRUBBED. THE NEXT TASK IN THIS INITIAL PHASE WILL BE THE INSTALLATION OF THE SEDIMENT BASINS. THE SOIL EXCAVATED FOR THESE BASINS, IF APPROVED BY THE GEOTECHNICAL ENGINEER, CAN BE USED IN THE FILL LOCATIONS ON THE SITE. NO OTHER FILL SHOULD BE PLACED DURING THIS PHASE OF CONSTRUCTION.

(INTERMEDIATE PHASE) THE NEXT PHASE WILL BE THE HAULING IN OF SOIL TO EACH OF THE ELEVATIONS OF THE ROADWAY. DURING THE EARTHWORK PHASE, THE CONTRACT SHALL USE DILIGENT MEANS AND METHODS TO DIRECT MOST OF THE STORMWATER RUNOFF TOWARD THE SEDIMENT BASINS. STORMWATER UTILITIES WILL ALSO BE CONSTRUCTED DURING THIS PHASE OF CONSTRUCTION, AS THE ELEVATIONS RISE TO THE FINAL GRADE, THE CONTRACTOR SHALL PROVIDE SOIL STABILIZATION BMPs TO THE AREAS THAT WILL NOT BE DISTURBED FOR MORE THAN 14 DAYS.

(FINAL PHASE) ONCE THE CONTRACTOR HAS COMPLETED THE EARTHWORK, HE SHALL INSTALL OTHER UTILITIES AND STABILIZE THE SOIL IMMEDIATELY AFTERWARD. PAVEMENT IS INSTALLED DURING THIS PHASE. ALL BMPs MUST BE MAINTAINED UNTIL STABILIZATION HAS BEEN ACHIEVED. PERMANENT SOIL STABILIZATION WILL BE INSTALLED DURING THIS PHASE. SILT FENCE ONCE THE AREA IS STABILIZED AND SHALL BE REMOVED.

37. SEE EROSION AND SEDIMENTATION CONTROL PLANS FOR GRAPHIC SCALE AND NORTH ARROW.

38. SEE EROSION AND SEDIMENTATION CONTROL PLANS FOR EXISTING AND PROPOSED CONTOUR LINES.

39. **NO** ALTERNATIVE BMPs WILL BE USED IN THIS PROJECT.

40. **NO** ALTERNATIVE BMPs FOR APPLICATION TO THE EQUIVALENT BMP LIST WILL BE USED IN THIS PROJECT.

41. **NO** BUFFERS SHOWN SINCE NO STATE WATER ON THIS PROJECT.

42. **NO** STATE WATER ON SITE. SEE EROSION AND SEDIMENTATION CONTROL PLANS FOR DELINEATION OF WETLANDS LOCATED ON AND WITHIN 200 FEET OF THE PROJECT SITE.

43. SEE EROSION AND SEDIMENTATION CONTROL PLANS FOR DELINEATION AND ACREAGE OF CONTRIBUTING DRAINAGE BASINS ON THE PROJECT SITE.

44. A HYDROLOGY STUDY AND DRAINAGE MAPS ACCOMPANIES THESE DRAWINGS AND FORM A PART OF THE PLANS. ALSO THE USGS TOPOGRAPHICAL MAP IS SHOWN ON THIS SHEET.

45. PEAK DISCHARGE FLOW OF THE SITE:
ESTIMATED 25-YEAR PRE-CONSTRUCTION FLOWS (PRE DEVELOPMENT DRAINAGE MAP) = 27.27 CFS
ESTIMATED 25-YEAR POST-CONSTRUCTION FLOWS (POST DEVELOPMENT DRAINAGE MAP) = 15.73 CFS

46. THE STORM-DRAIN PIPES/WEIRS/OUTLET PROTECTION CHARTS ARE SHOWN ON THE EROSION AND SEDIMENT CONTROL DETAILS SHEET C-6.

47. SOIL SERIES DELINEATION IS NOT SHOWN ON THE PLAN SHEETS SINCE THERE IS ONLY ONE TYPE AND NO DELINEATION IS NEEDED. THE FOLLOWING SOIL IS FOUND WITHIN THE PROJECT AREA;

Mo MANDARIAN FINE SAND, 0 TO 2 PERCENT SLOPES, FREQUENTLY FLOODED

THE NCRS SOIL SURVEY AND SOIL SERIES MAPS FOR THE PROJECT AREA ARE ALSO AVAILABLE ONLINE AT [HTTP://WEBSOILSURVEY.NRCS.USDA.GOV/](http://websoilsurvey.nrcs.usda.gov/).

48. THE LIMITS OF CONSTRUCTION FOR ALL PHASES WILL BE ±X.XX ACRES. LIMITS OF DISTURBANCE FOR INITIAL, INTERMEDIATE AND FINAL PHASES ARE SHOWN ON THE ACCOMPANYING EROSION AND SEDIMENT CONTROL PLANS ON SHEETS C-2, C-3, C-4.1, C-4.2 AND C-4.3.

49. SILT FENCE, SEDIMENT TRAPS, AND/OR DETENTION PONDS WORKSHEETS ARE INCLUDED ON THE EROSION AND SEDIMENT CONTROL PLAN SHEETS C-4.1 TO C-4.5 AND DETAILS ARE INCLUDED IN THE ACCOMPANYING EROSION AND SEDIMENT CONTROL DETAILS SHEETS. FINAL PHASE DOES NOT INCLUDE ALL 67 CY SINCE SEDIMENT STORAGE WILL NOT BE PROVIDED FOR THE COMPLETED ASPHALT AREA. THE OUTLET STRUCTURE IS PROVIDED AT THE TOP OF THE POND BERM AND WILL NOT BE UTILIZED FOR SEDIMENT STORAGE DUE TO THE DIFFICULTY TO ACCESS THE INSIDE OF THE STRUCTURE TO CLEAN IT OUT.

50. BEST MANAGEMENT PRACTICES CONSISTENT WITH THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA ARE SHOWN ON ALL EROSION CONTROL PLAN SHEETS. UNIFORM CODING SYMBOLS ARE SHOWN IN THE ACCOMPANYING EROSION AND SEDIMENT CONTROL DETAILS.

51. DETAILS FOR EACH STRUCTURAL BMP SHOWN ON THE PLANS ARE SHOWN IN THE ACCOMPANYING EROSION AND SEDIMENT CONTROL DETAILS.

52. A VEGETATIVE PLAN, INCLUDING ALL TEMPORARY AND PERMANENT PRACTICES, IS SHOWN IN THE ACCOMPANYING EROSION AND SEDIMENT CONTROL DETAILS.

PROJECT
DOWNTOWN NORCROSS PARKING IMPROVEMENTS
65 LAWRENCEVILLE STREET
NORCROSS, GA 30071

CLIENT
CITY OF NORCROSS
345 LIVELY AVE
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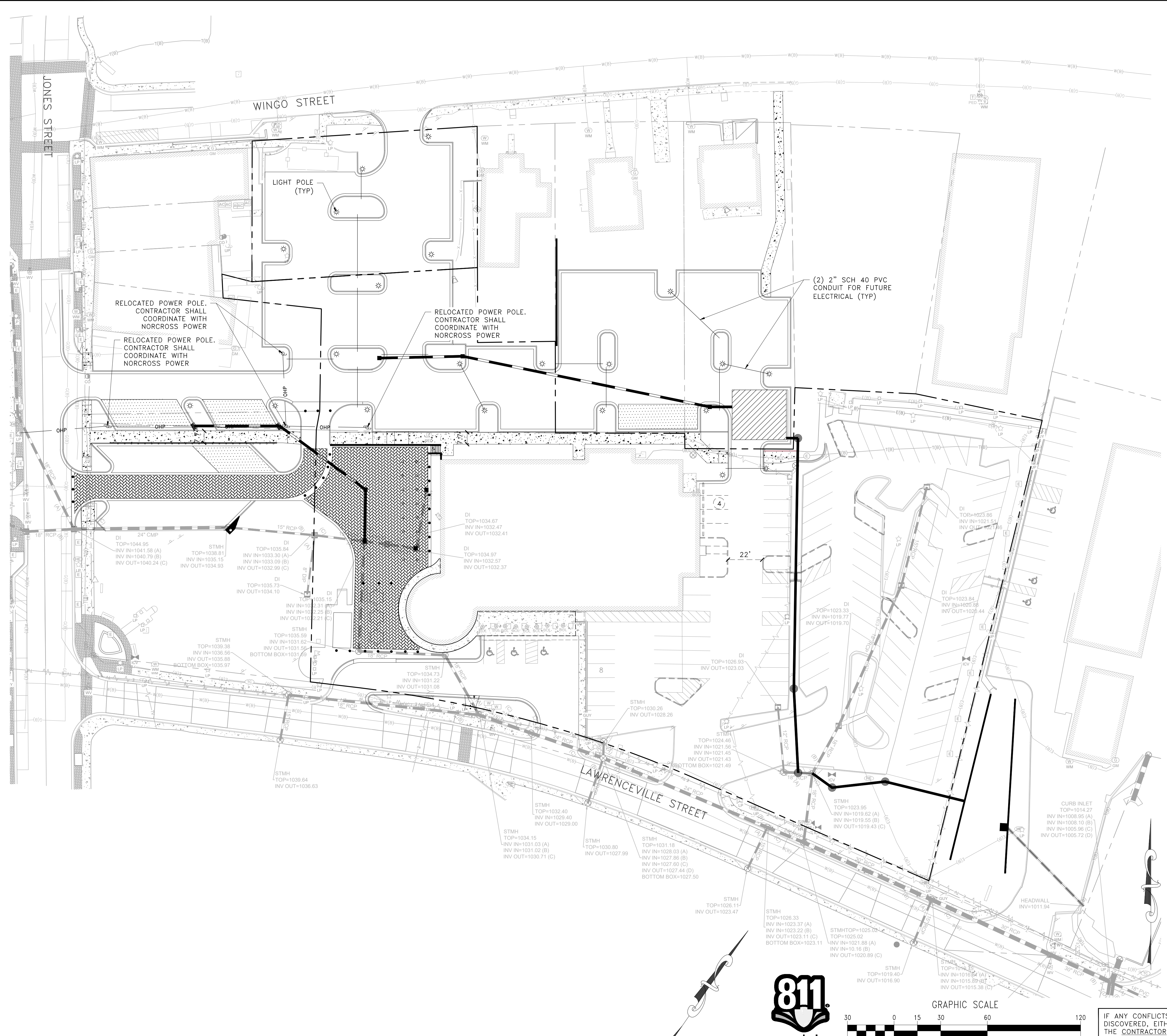
REVISIONS **DATE**

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DRAWING TITLE

UTILITY PLAN

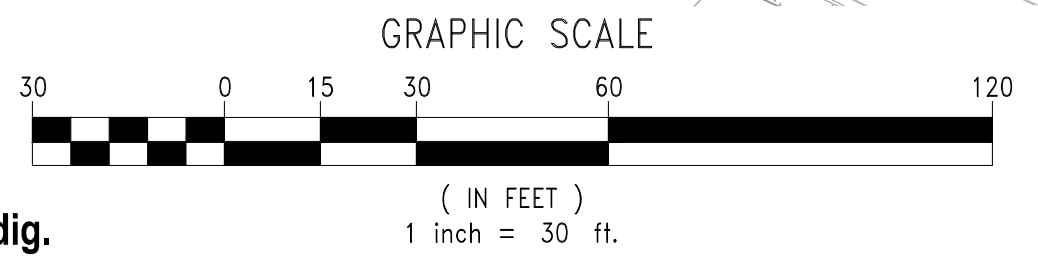
DRAWING FILE: G:\6170\2\DRAWING\CIVIL\6170.02.DWG
DRAWN BY: AH DRAWING NO.
DATE: 02/11/26 C-5
PROJECT NO: 6170.02

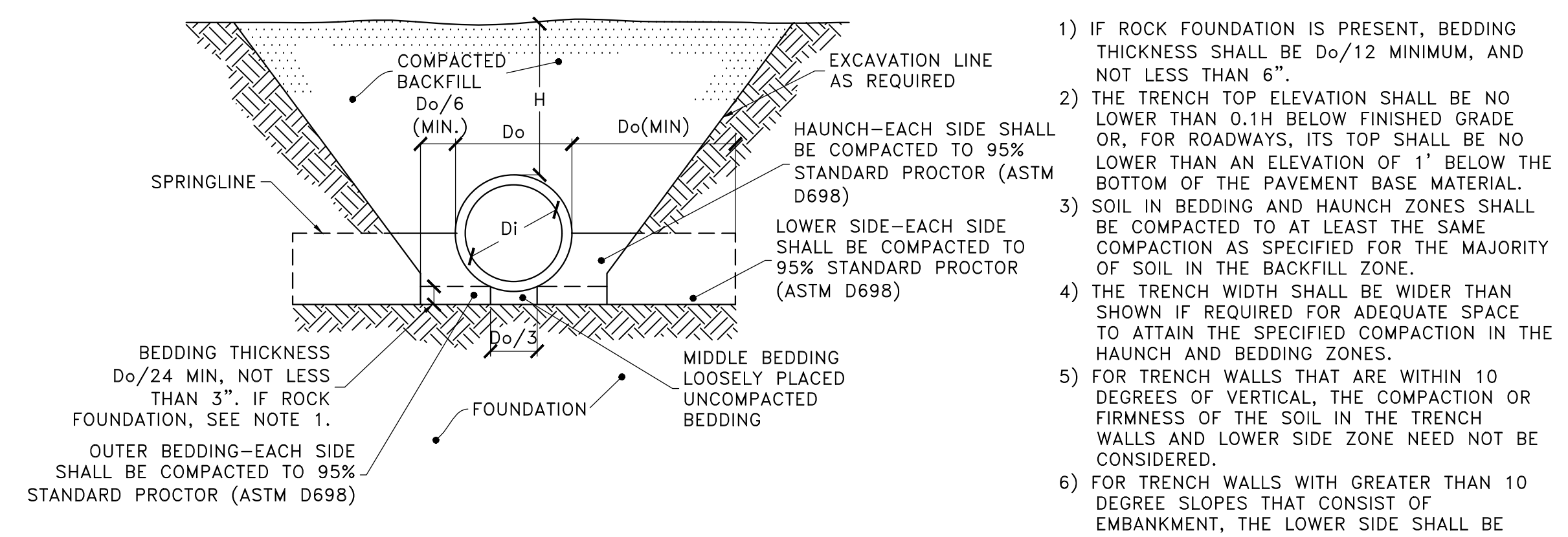
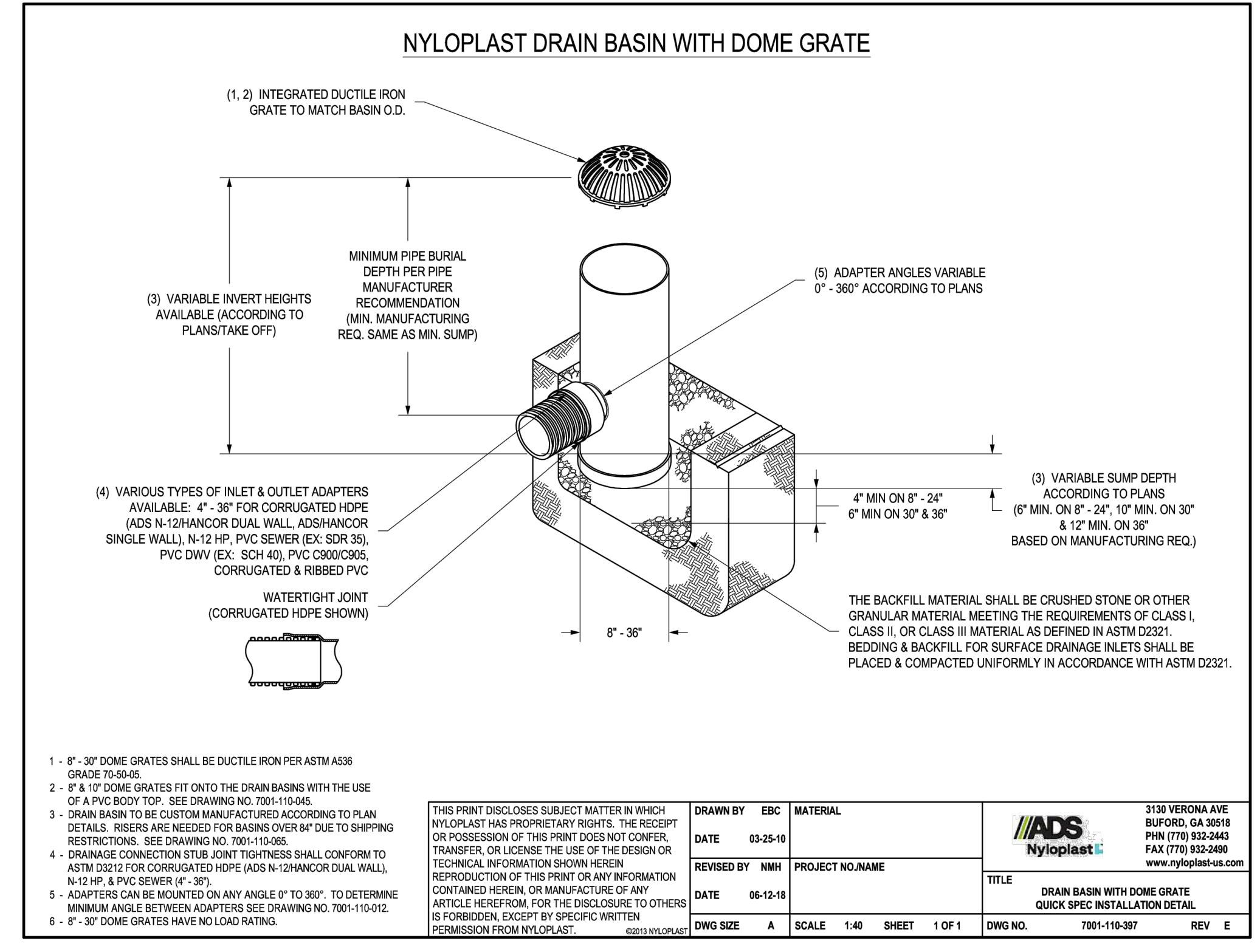


UTILITY LEGEND	
PROPOSED CURB	---
PROPERTY LINE	---
PROPOSED STORM SEWER	---
PROPOSED STORM INLET	---
PROPOSED STORM (BYPASS)	---
EXISTING STORM SEWER	---
WATER MAIN	W
SANITARY SEWER	SS
GAS MAIN	G
POWER LINE (OVERHEAD)	OHP
POWER LINE (UNDERGROUND)	UP
TELEPHONE LINE (OVERHEAD)	OHT
TELEPHONE LINE (UNDERGROUND)	UT
VALVE	W
FIRE HYDRANT	W
METER	W
MANHOLE	SS
EXISTING POWER POLE	PP
EXISTING FEATURES SCREENED	---

CONTRACTOR TO PROVIDE 3 SETS OF "AS-BUILT" PLANS TO OWNER.

IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

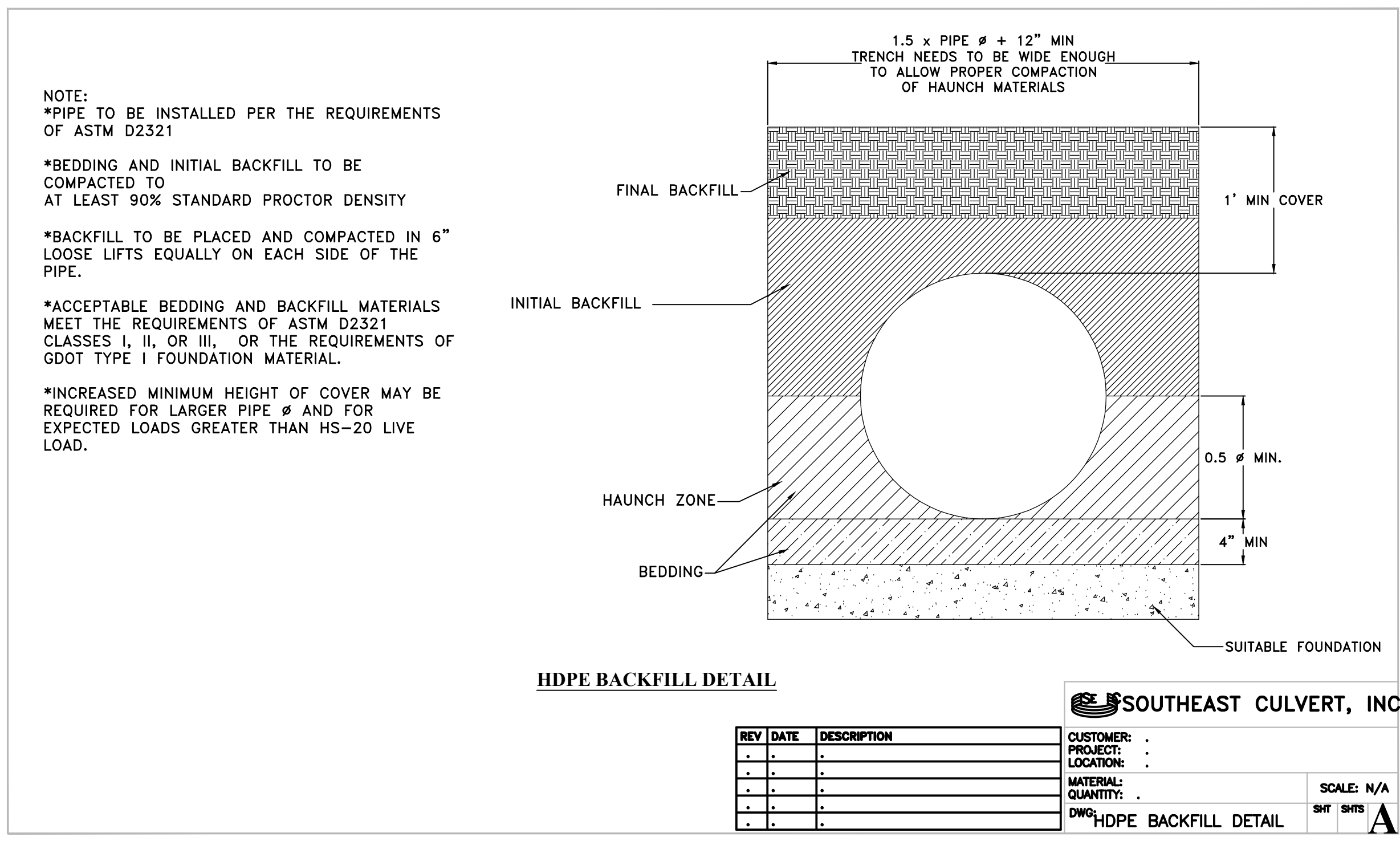




- IF ROCK FOUNDATION IS PRESENT, BEDDING THICKNESS SHALL BE Do/12 MINIMUM, AND NOT LESS THAN 6".
- THE TRENCH TOP ELEVATION SHALL BE NO LOWER THAN 0.1H BELOW FINISHED GRADE OR, FOR ROADWAYS, ITS TOP SHALL BE NO LOWER THAN AN ELEVATION OF 1" BELOW THE BOTTOM OF THE PAVEMENT BASE MATERIAL.
- SOIL IN BEDDING AND HAUNCH ZONES SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION AS SPECIFIED FOR THE MAJORITY OF SOIL IN THE BACKFILL ZONE.
- THE TRENCH WIDTH SHALL BE WIDER THAN SHOWN IF REQUIRED FOR ADEQUATE SPACE TO ATTAIN THE SPECIFIED COMPACTION IN THE HAUNCH AND BEDDING ZONES.
- FOR TRENCH WALLS THAT ARE WITHIN 10 DEGREES OF VERTICAL, THE COMPACTION OR FIRMNESS OF THE SOIL IN THE TRENCH WALLS AND LOWER SIDE ZONE NEED NOT BE CONSIDERED.
- FOR TRENCH WALLS WITH GREATER THAN 10 DEGREE SLOPES THAT CONSIST OF EMBANKMENT, THE LOWER SIDE SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION AS SPECIFIED FOR THE SOIL IN THE BACKFILL ZONE.

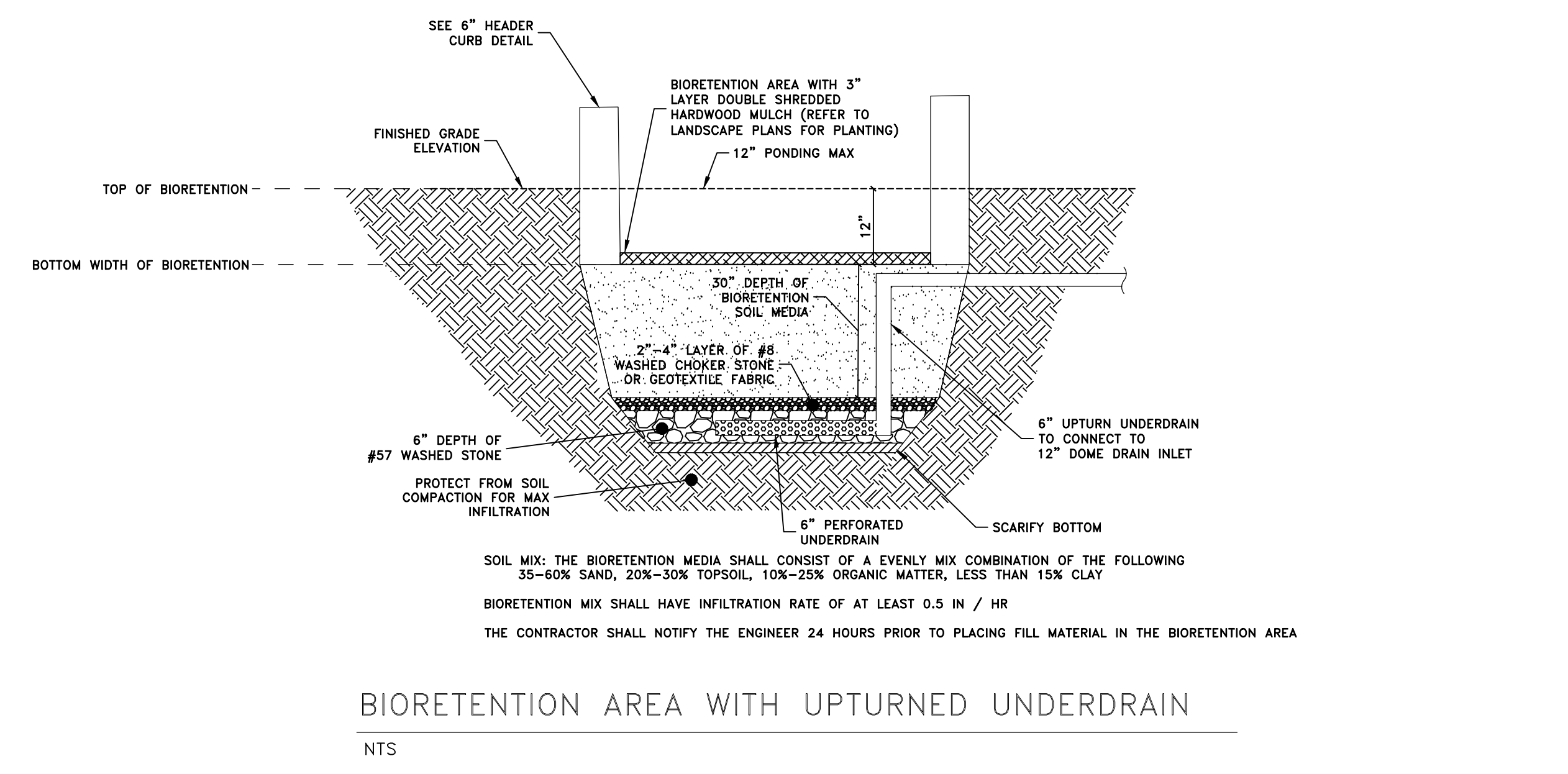
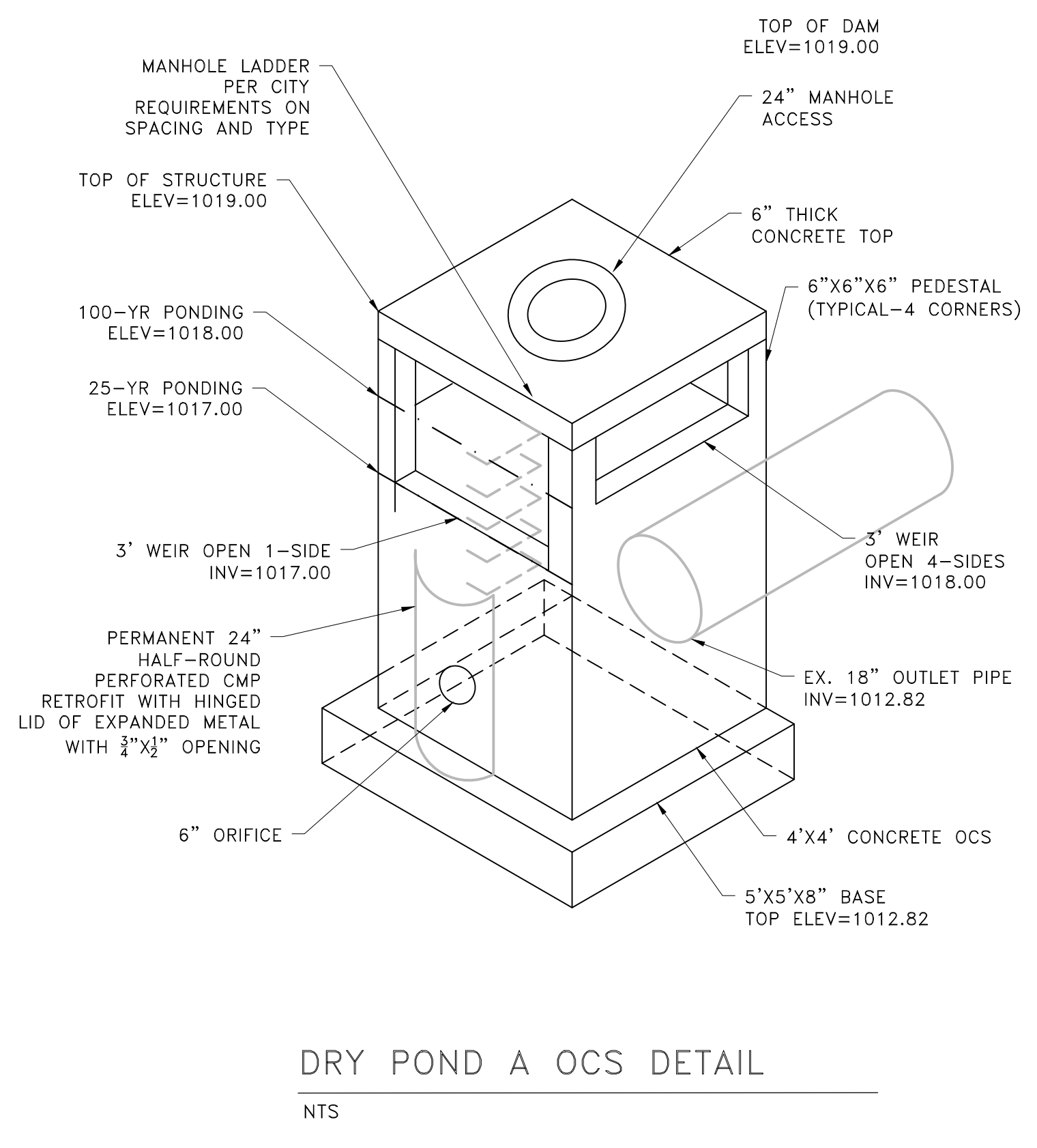
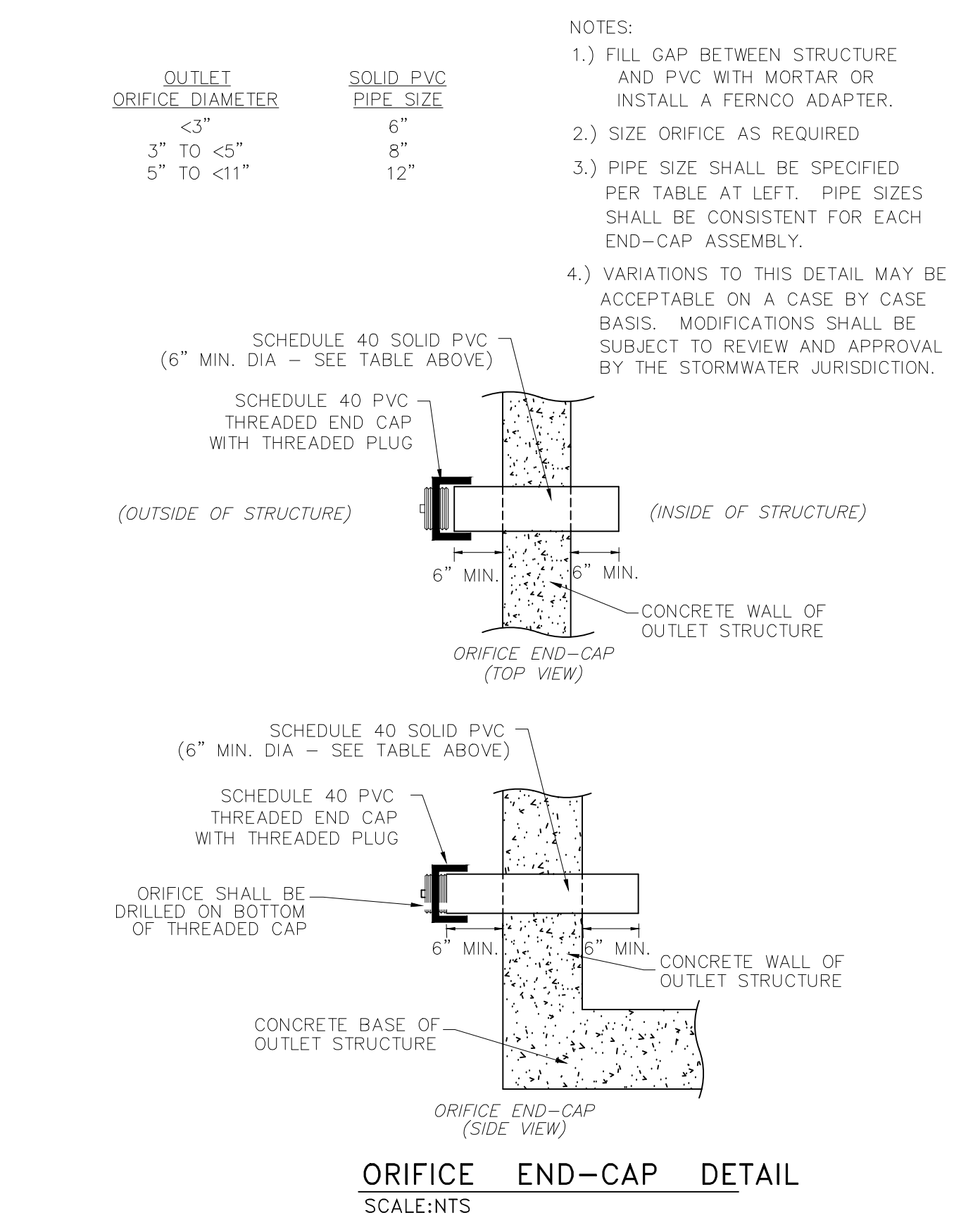
REINFORCED CONCRETE PIPE BEDDING

SCALE: NTS



PROJECT: DOWNTOWN NORCROSS PARKING IMPROVEMENTS
 65 LAWRENCEVILLE STREET
 NORCROSS, GA 30071

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DRAWING TITLE: DETAILS

DRAWING FILE: Q-6170 (2)DRAWING/CVIL/6170 (2) DWG
 DRAWN BY: KG
 DATE: 02/11/26
 PROJECT NO: 6170.02
 DRAWING NO.: C-7.4

CONCRETE TO PE OR PVC SIDE DRAIN OR CROSS DRAIN CONNECTION ALTERNATES

PE AND PVC LONGITUDINAL PIPE TRENCH INSTALLATIONS

PE AND PVC CROSS DRAIN PIPE TRENCH INSTALLATIONS

Minimum Properties for PVC Design

Initial	50 - Year
Minimum	Minimum
Tensile Strength (psi)	Tensile Strength (psi)
7,000	400,000
Mod. of Elast. (psi)	Mod. of Elast. (psi)
140,000	140,000

Minimum cell class, ASTM D 1784, I2454C
Allowable long-term strain = 5%

OR

Minimum Properties for PE Design

Initial	50 - Year
Minimum	Minimum
Tensile Strength (psi)	Tensile Strength (psi)
3,000	100,000
Mod. of Elast. (psi)	Mod. of Elast. (psi)
900	22,000

Minimum cell class, ASTM D 3350, I35420C
Allowable long-term strain = 5%

DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA
STANDARD CORRUGATED SMOOTH LINED POLYETHYLENE PIPE (PE) AND POLYVINYL CHLORIDE PIPE (PVC)
NO SCALE REVISED AND REDRAWN JUNE, 2010
SUBMITTED BY: [Signature] NUMBER 1030P
APPROVED BY: [Signature]

BRICK MANHOLE SECTION

REINFORCED CONCRETE COVER

MANHOLE CASTINGS

ALTERNATE COMBINATION BRICK & PRECAST MANHOLES

DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA
STANDARD BRICK MANHOLES
SCALE AS SHOWN REV. 8-28 OCTOBER, 1988
SUBMITTED BY: [Signature] NUMBER 1011A
APPROVED BY: [Signature]

TYPE 'A'

TYPE 'B' WITH WEIR

TYPE 'C'

TYPE 'D' WITH WEIR

TYPE 'E' (HOOD)

TABLE OF MINIMUM DIMENSIONS FOR DROP INLETS

D	TYPE 'A' (DROP INLET)				TYPE 'B' (DROP INLET)				TYPE 'C' (DROP INLET)				TYPE 'D' (DROP INLET)				TYPE 'E' (DROP INLET)			
	W	H	W	H	W	H	W	H	W	H	W	H	W	H	W	H	W	H		
18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18	18		
24	24	24	24	24	24	24	24	24	24	24	24	24	24	24	24	24	24	24		
30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30	30		
36	36	36	36	36	36	36	36	36	36	36	36	36	36	36	36	36	36	36		
42	42	42	42	42	42	42	42	42	42	42	42	42	42	42	42	42	42	42		

DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA
STANDARD DROP INLETS (BUILT-IN-PLACE)
SCALE AS SHOWN REV. & REDR. AUG. 1999
SUBMITTED BY: [Signature] NUMBER 1019A
APPROVED BY: [Signature]

CATCH BASIN (FOR CATCH BASIN WITH LONGEST PIPE OVER 24'; SEE DETAILS AT RIGHT.)

DETAIL OF TOP REINFORCED CONCRETE SLAB

CATCH BASIN ON RADIUS

CONSTRUCTION ALTERNATES

DEPARTMENT OF TRANSPORTATION STATE OF GEORGIA
STANDARD CATCH BASINS (IN SAGS OR LOW POINTS)
SCALE AS SHOWN REV. 8-28 AUGUST 1982
SUBMITTED BY: [Signature] NUMBER 1034D
APPROVED BY: [Signature]

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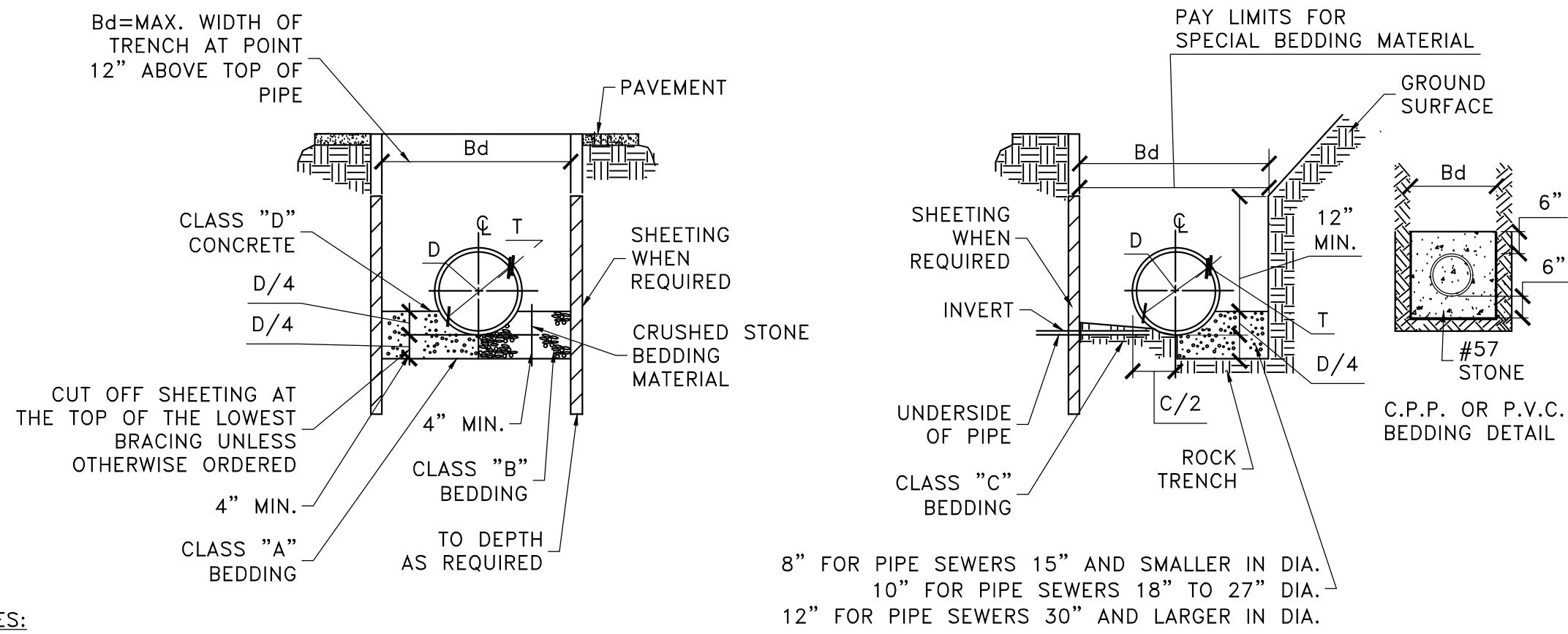
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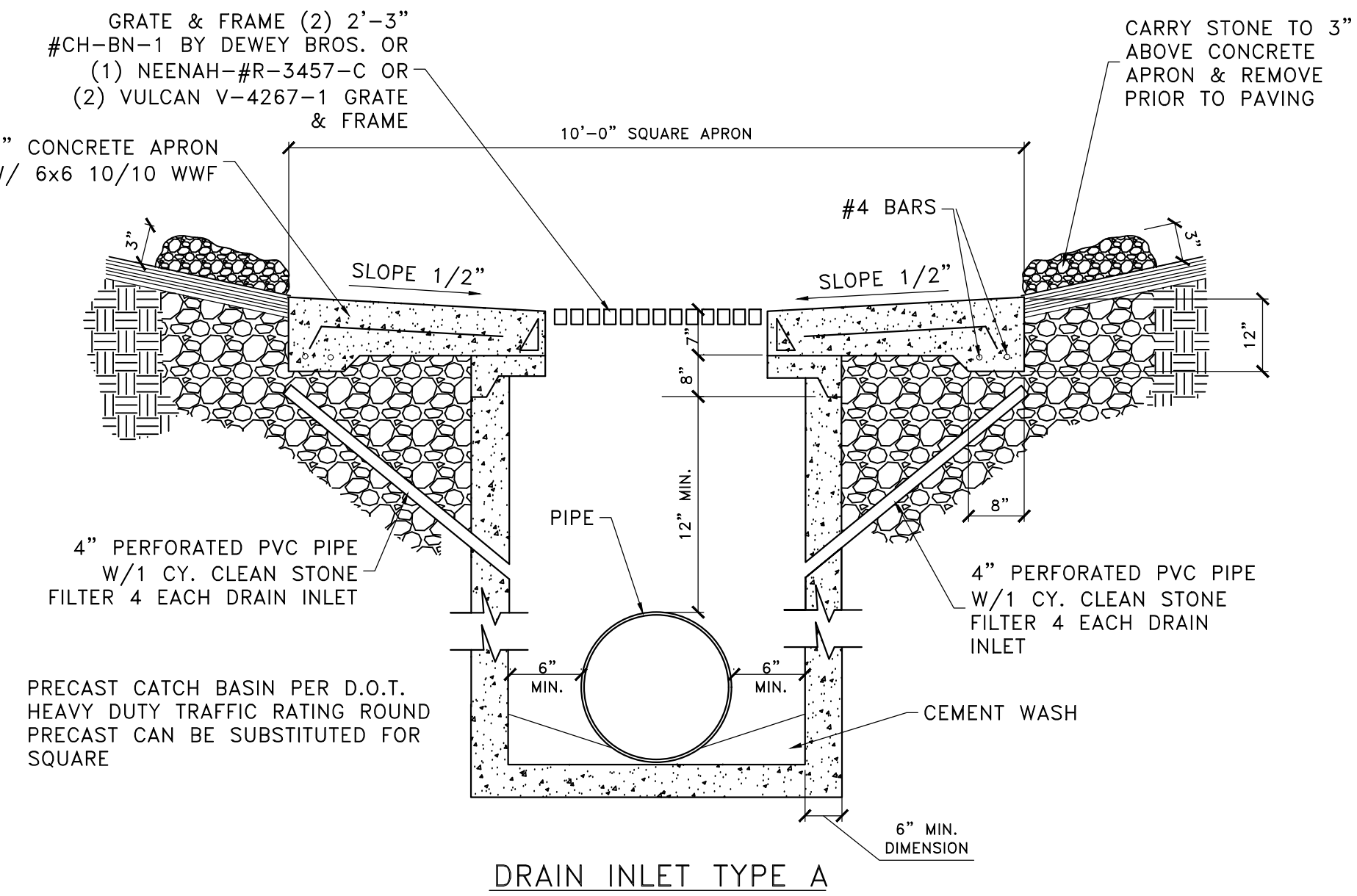


- NOTES:**
- FOR PIPES WITH BELLS, BELL HOLES SHALL BE EXCAVATED.
 - FOUNDATION SHALL BE SHAPED TO FIT PIPE EXTERIOR
 - TRENCH SLOPING SHALL NOT BEGIN UNTIL 12 INCHES ABOVE THE TOP OF THE PIPE
COMPACTION: THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED PER SPECIFICATIONS. BACKFILL MATERIAL SHALL BE FREE OF ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE. ALL O.S.H.A. REGULATIONS MUST BE COMPLIED WITH AT ALL TIMES DURING CONSTRUCTION

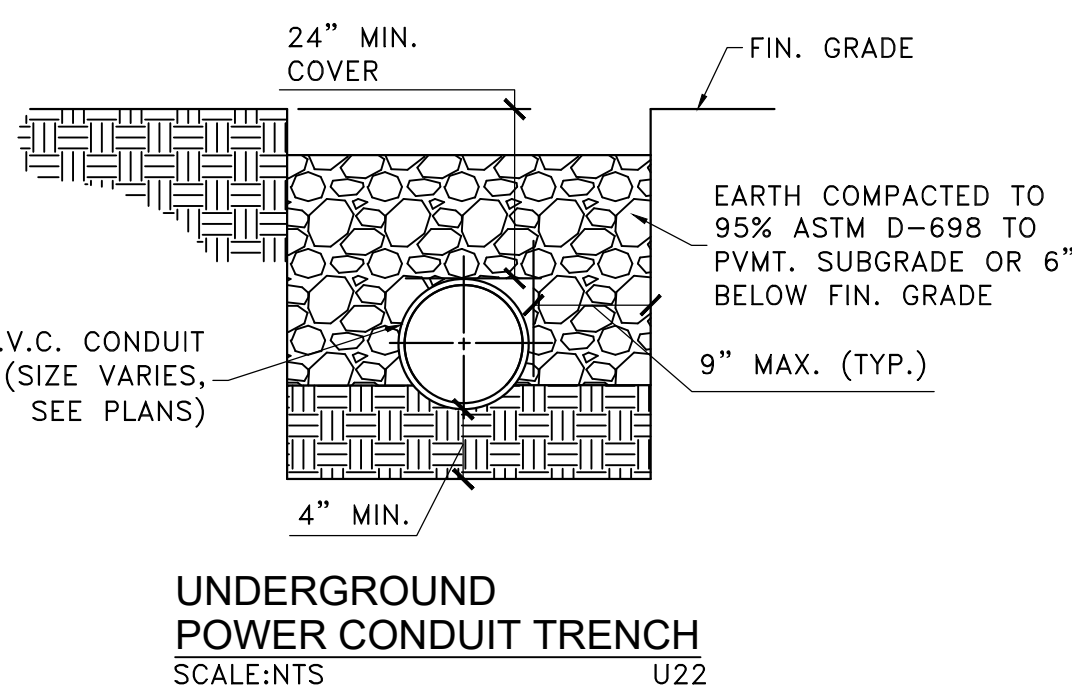
ASTM - 3034 DR 35 P.V.C. PIPE				AWWA C - 900 PVC OR DUCTILE IRON PIPE (DIP)			
D	T	Bd	C	D	T	Bd	C
IN	IN	FT	FT	IN	IN	FT	FT
6	0.18	2.52	0.41	6	0.38	2.00	0.41
8	0.24	2.70	0.53	8	0.42	2.09	0.53
10	0.30	2.88	0.65	10	0.48	2.26	0.65
12	0.36	3.04	0.78	12	0.52	2.43	0.78
15	0.437	3.28					

ASTM F 405 & F 667 SMOOTH WALL CORRUGATED POLYETHYLENE PIPE				ASTM C 76 REINFORCED CONCRETE PIPE (RCP)			
D	T	Bd	C	D	T	Bd	C
IN	IN	FT	FT	IN	IN	FT	FT
12	2	2.67	0.95	15	2 1/4	3.92	1.15
18	2 1/2	3.92	1.35	24	3	4.50	1.75
30	3 1/2	5.08	2.20	36	4	5.67	2.60
42	4 1/2	6.25	3.00	48	5	6.83	3.50
54	5 1/2	7.42	3.70	60	6	8.00	4.25
66	6	8.58	4.65	72	7	9.17	5.07

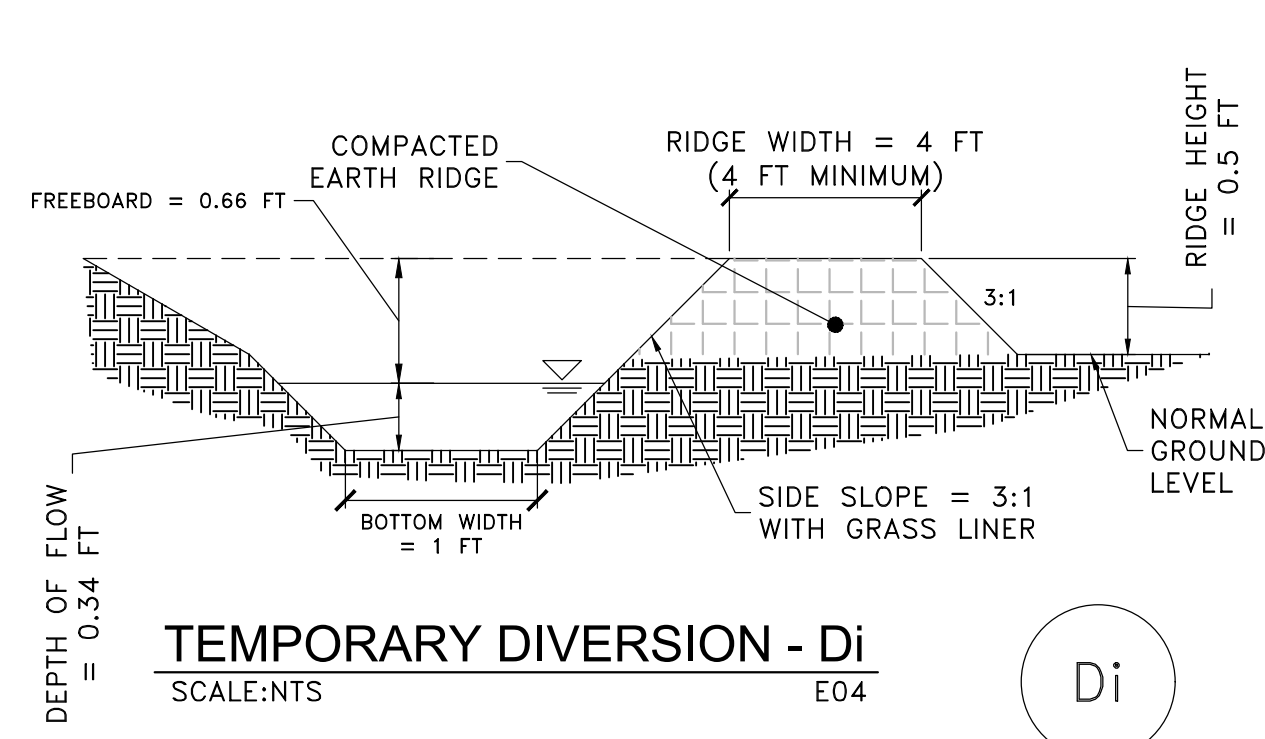
UTILITY TRENCHING
SCALE:NTS U28



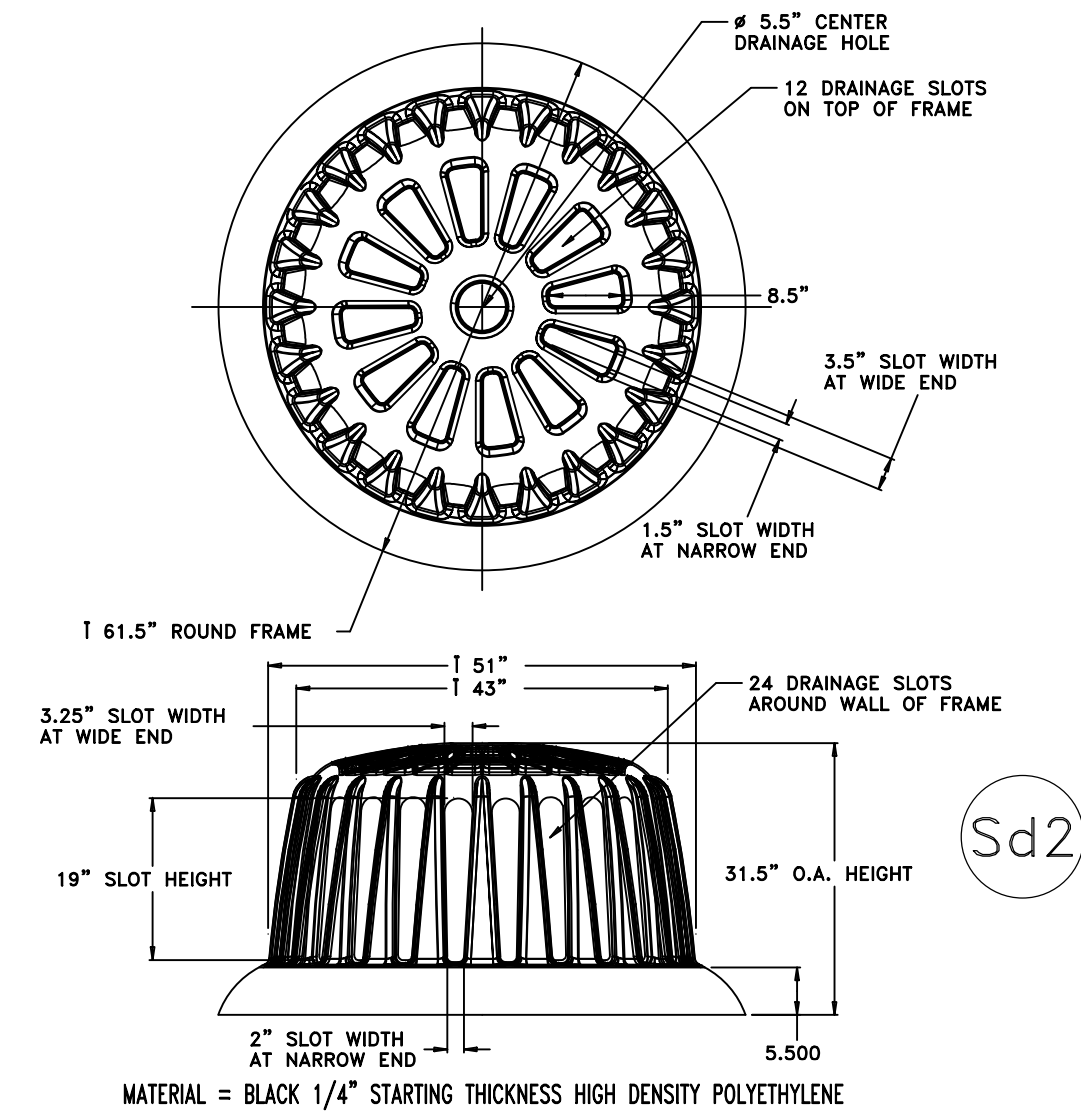
DRAIN INLET TYPE "A"
SCALE:NTS G19



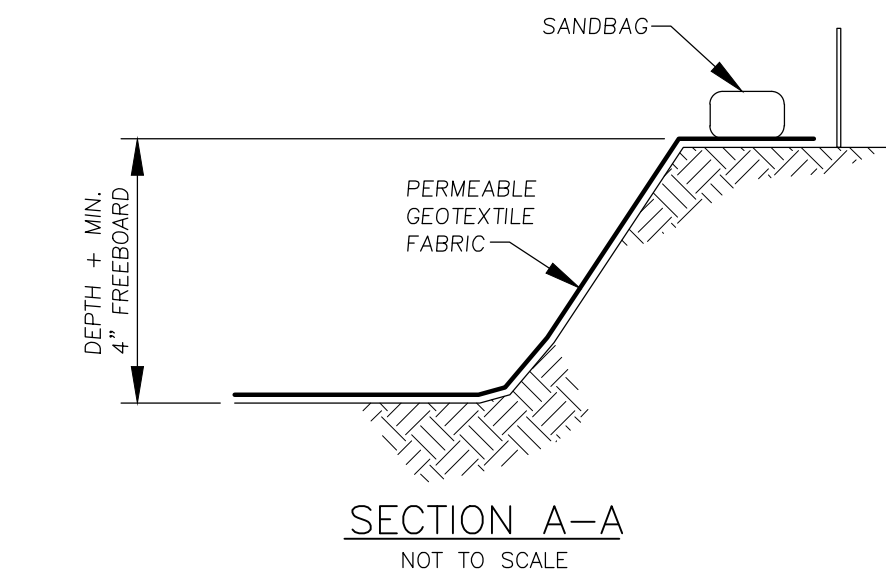
UNDERGROUND POWER CONDUIT TRENCH
SCALE:NTS U22



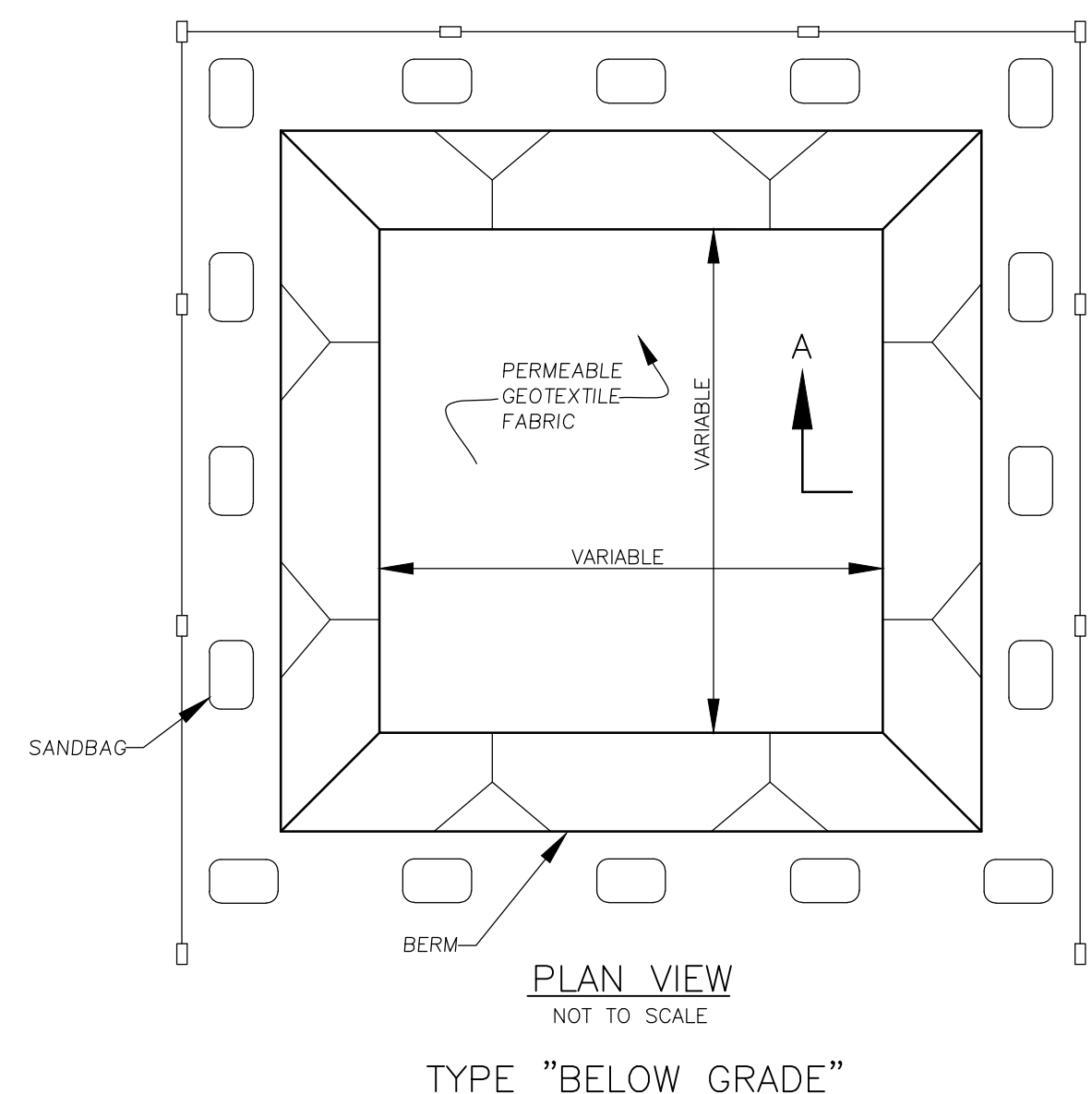
TEMPORARY DIVERSION - Di
SCALE:NTS E04



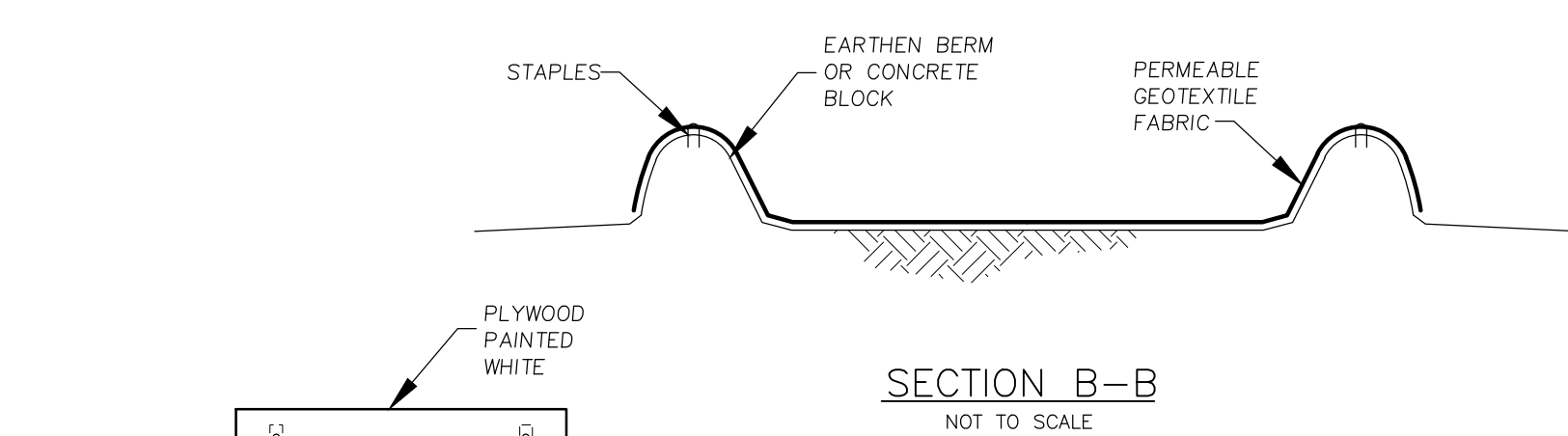
SILT SAVER ROUND FRAME
SCALE:NTS



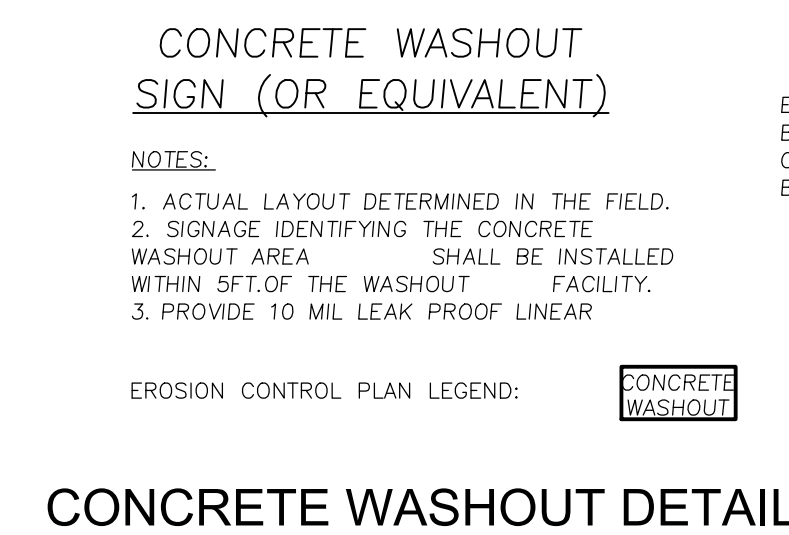
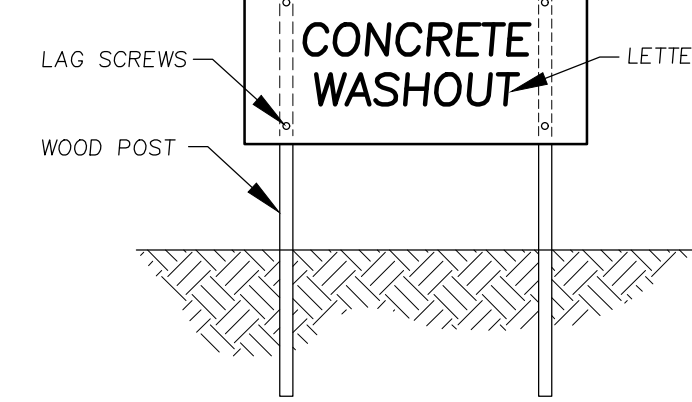
SECTION A-A
NOT TO SCALE



TYPE "BELOW GRADE"



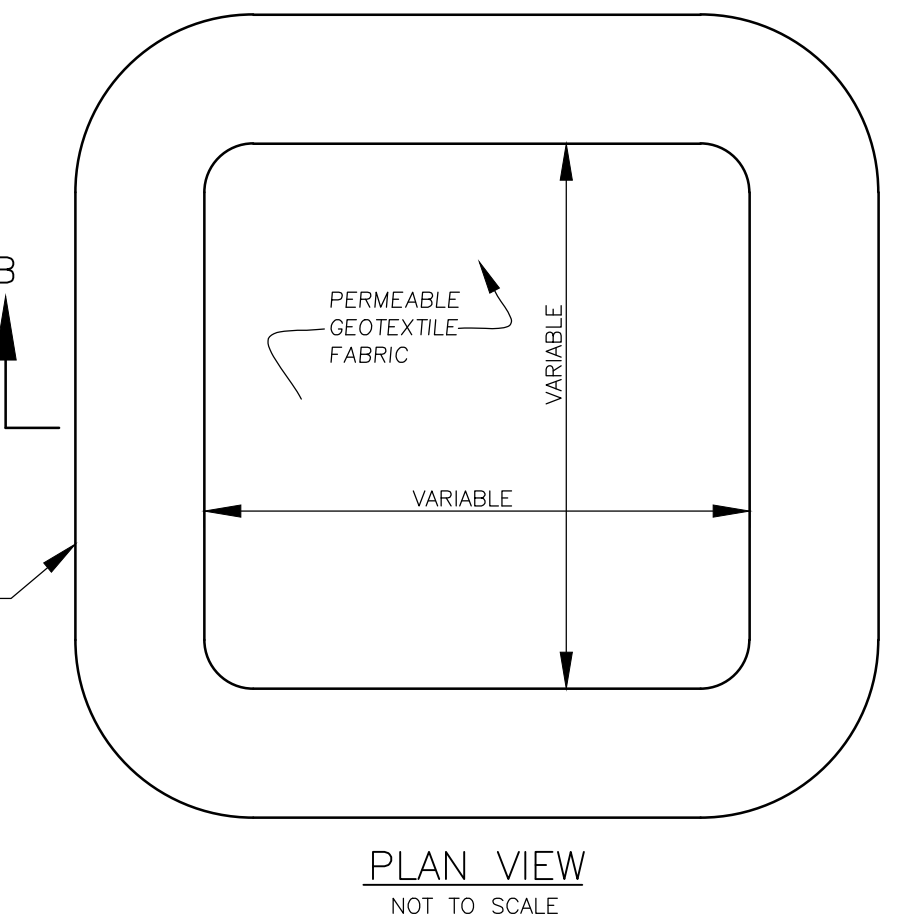
SECTION B-B
NOT TO SCALE



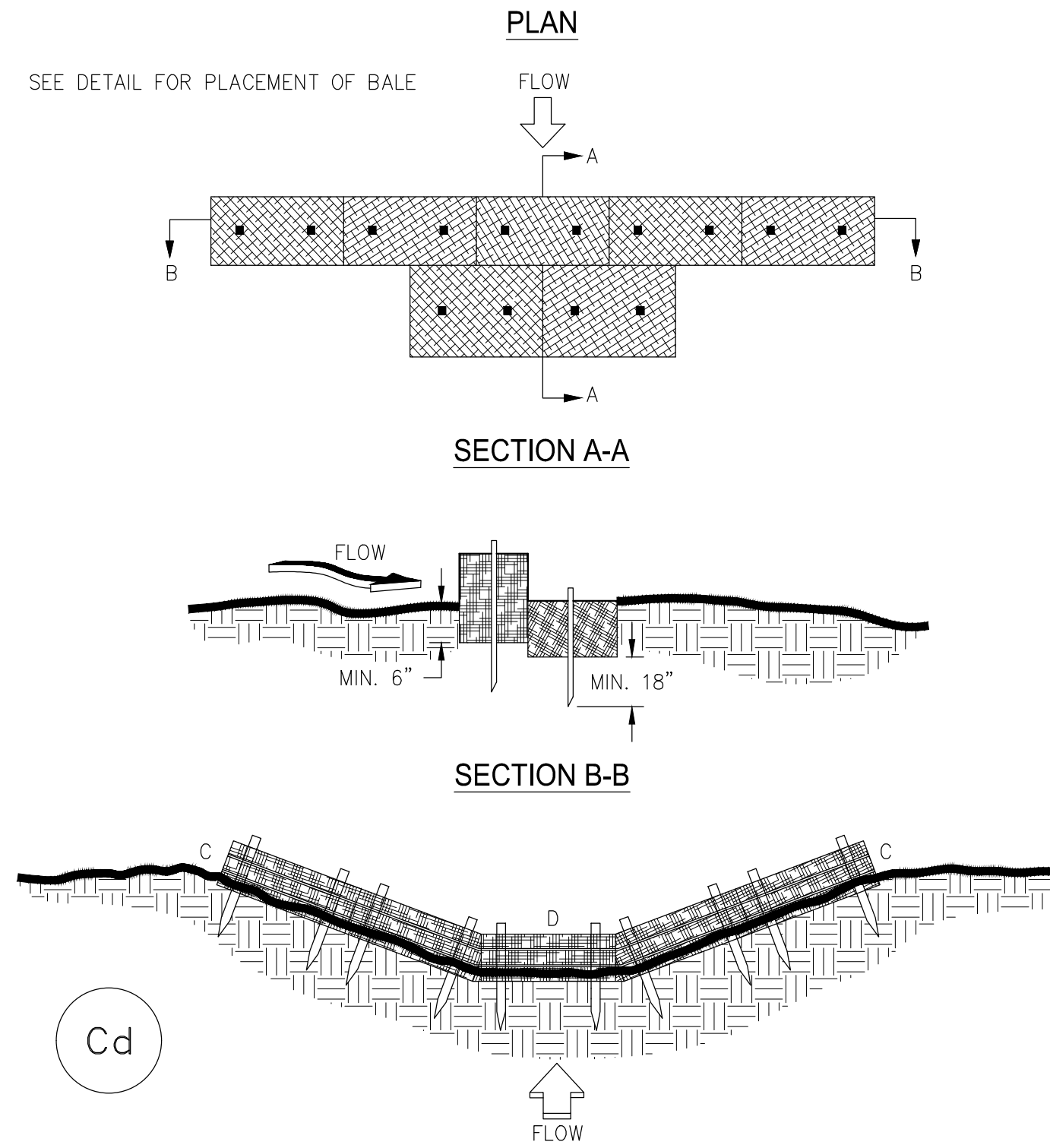
CONCRETE WASHOUT DETAIL

- NOTES:**
- ACTUAL LAYOUT DETERMINED IN THE FIELD.
 - SIGNAGE IDENTIFYING THE CONCRETE WASHOUT AREA SHALL BE INSTALLED WITHIN 5FT. OF THE WASHOUT FACILITY.
 - PROVIDE 10 MIL LEAK PROOF LINER

EROSION CONTROL PLAN LEGEND: CONCRETE WASHOUT



TYPE "ABOVE GRADE"

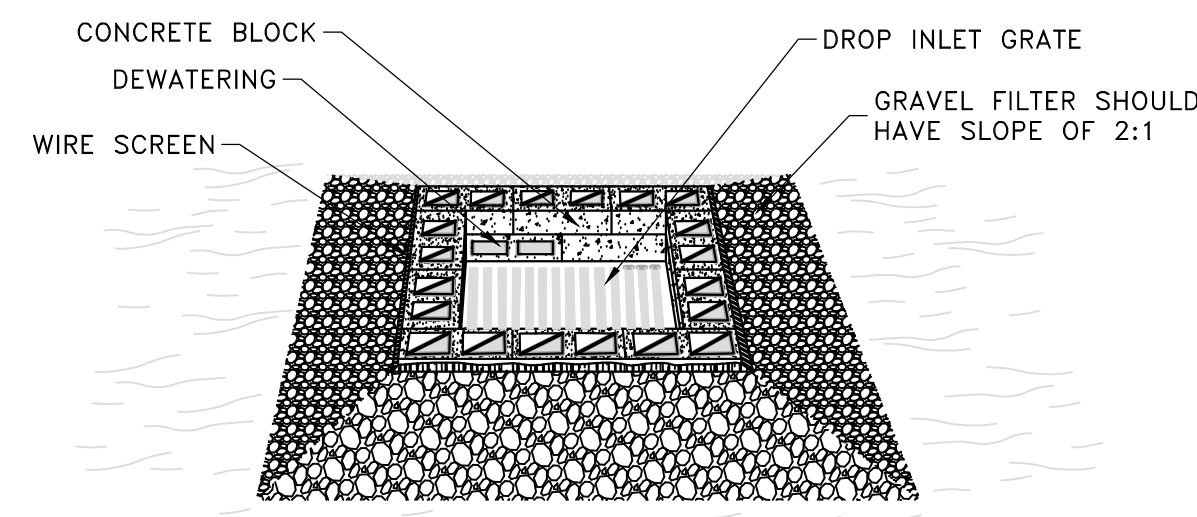


- NOTES:**
- BALES SHOULD BE BOUND WITH WIRE OR NYLON STRING AND SHOULD BE PLACED IN ROWS WITH BALE ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - REMOVE #4 REBAR AFTER STRAW BALES ARE NO LONGER IN PLACE.
 - POINT C OF SECTION B-B SHOULD ALWAYS BE HIGHER THAN POINT D.

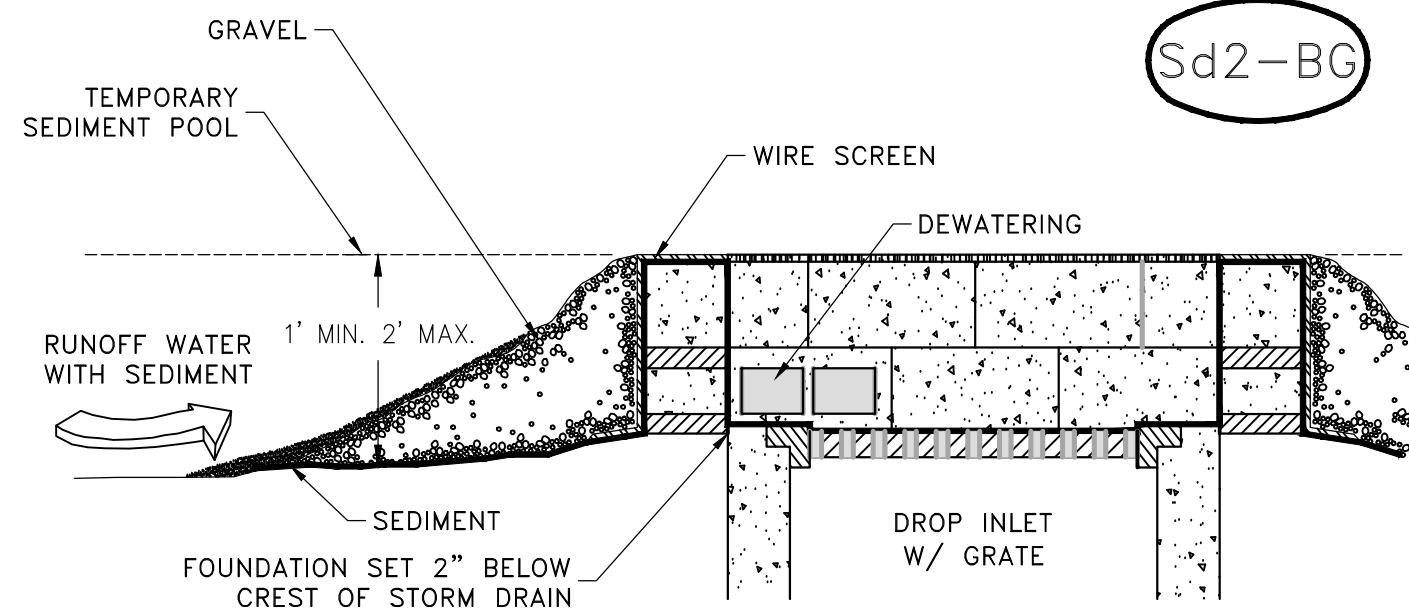
TYPICAL STRAW BALE CHECK DAM

BLOCK AND GRAVEL DROP INLET PROTECTION

BLOCK AND GRAVEL PERSPECTIVE



BLOCK AND GRAVEL SECTION

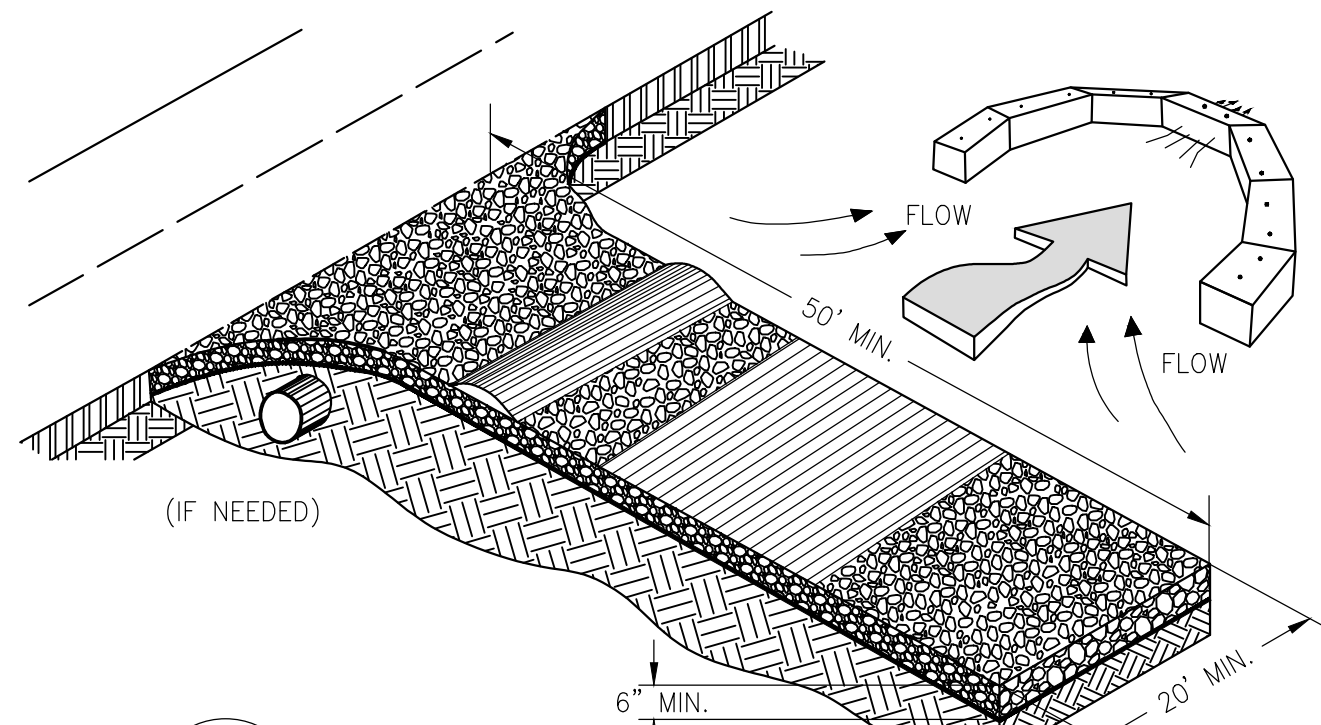


Sd2-BG

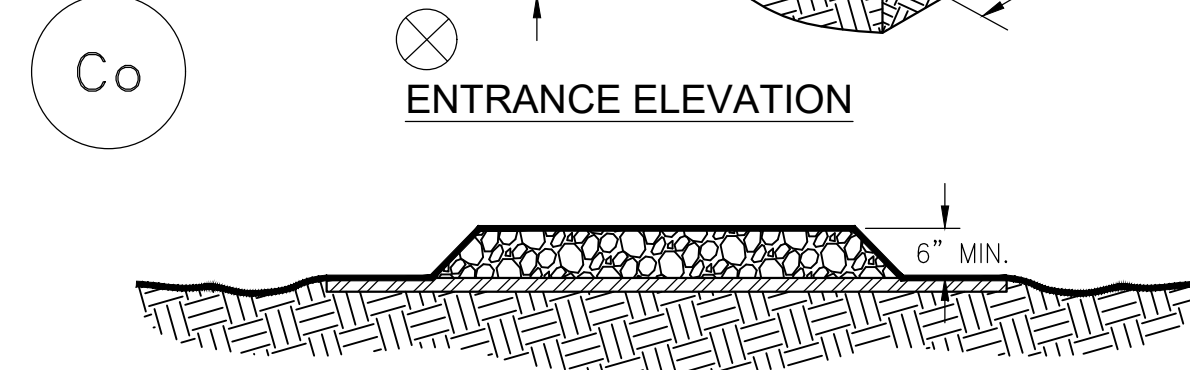
- NOTES:**
- HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2" INCH OPENINGS SHALL BE FITTED OVER ALL BLOCK OPENINGS TO HOLD GRAVEL IN PLACE.
 - THE FOUNDATION SHOULD BE EXCAVATED AT LEAST 2 INCHES BELOW THE CREST OF THE STORM.
 - ONE BLOCK (AS SHOWN) IS TO BE PLACED ON EACH SIDE OF THE STRUCTURE ON ITS SIDE IN THE BOTTOM ROW TO ALLOW FOR POOL DRAINAGE.

CRUSHED STONE CONSTRUCTION EXIT

EXIT DIAGRAM



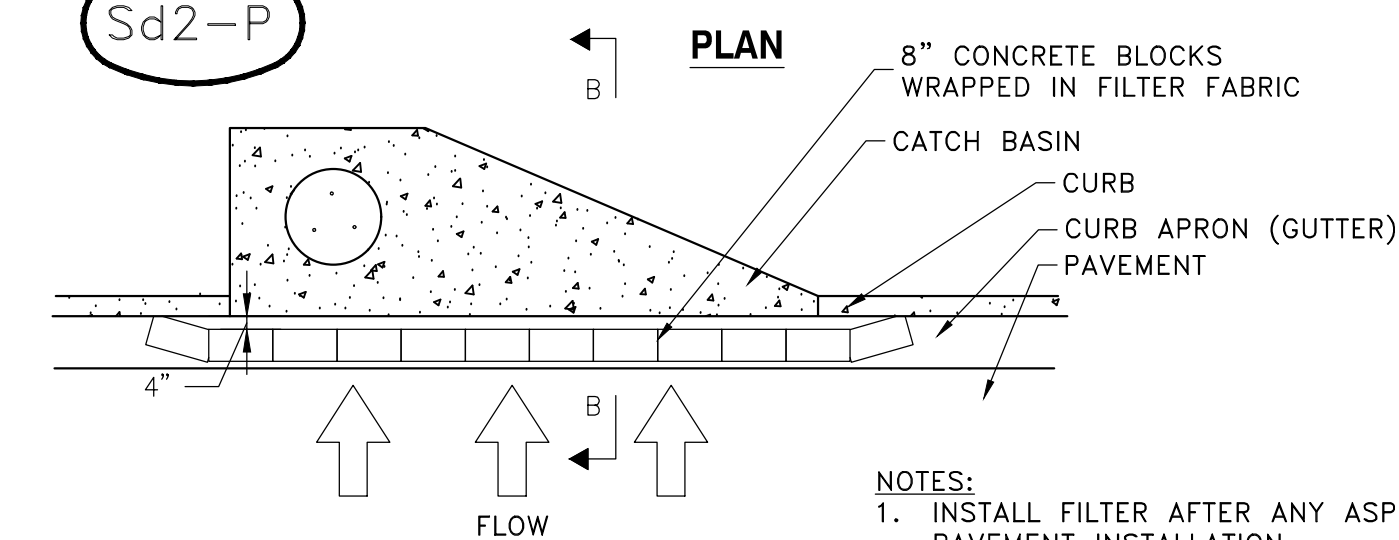
ENTRANCE ELEVATION



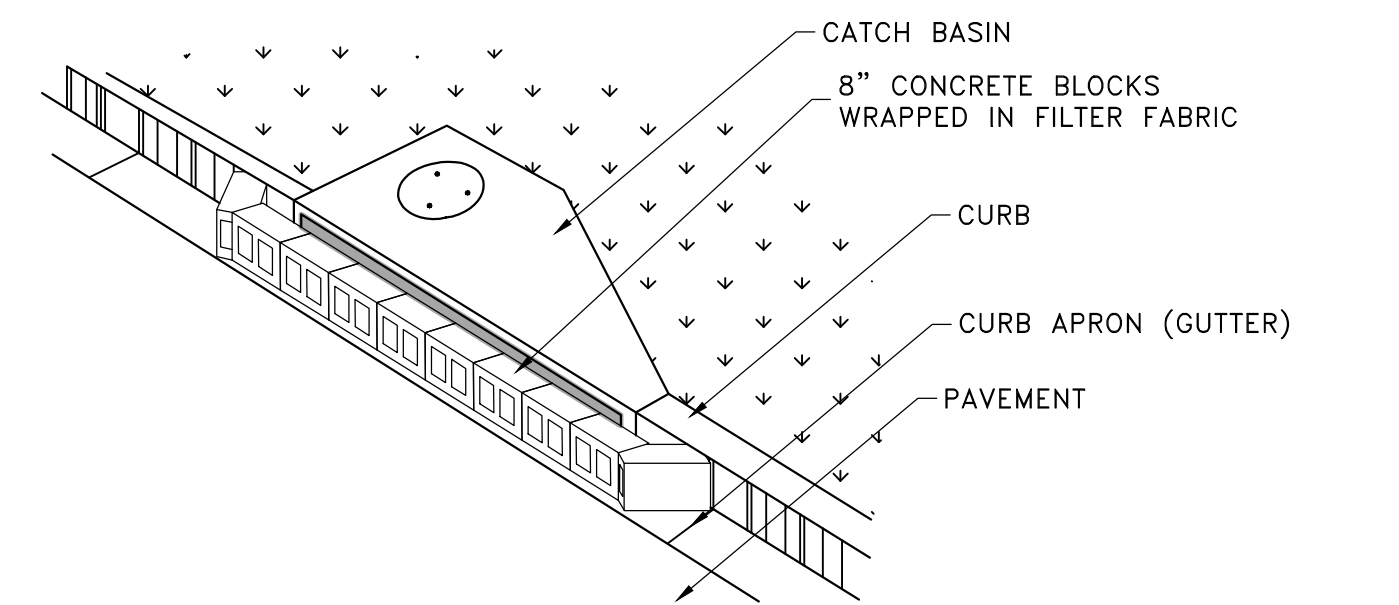
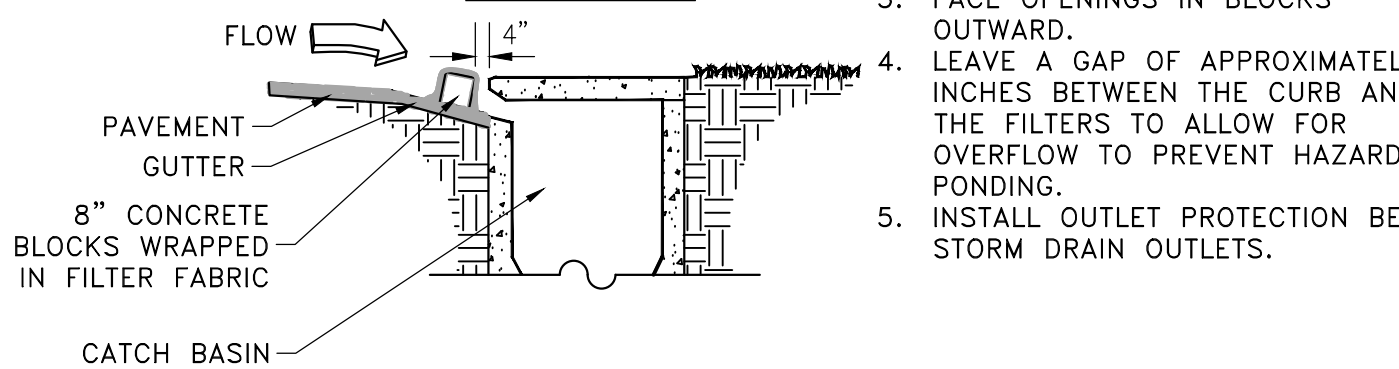
- NOTES:**
- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 - REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 - AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 - GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 - PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 - A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 - INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 - WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 - WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 - MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

CURB INLET FILTER "PIGS IN BLANKET"

Sd2-P



SECTION B-B

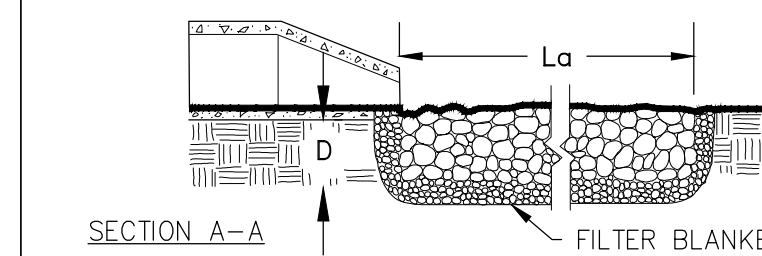
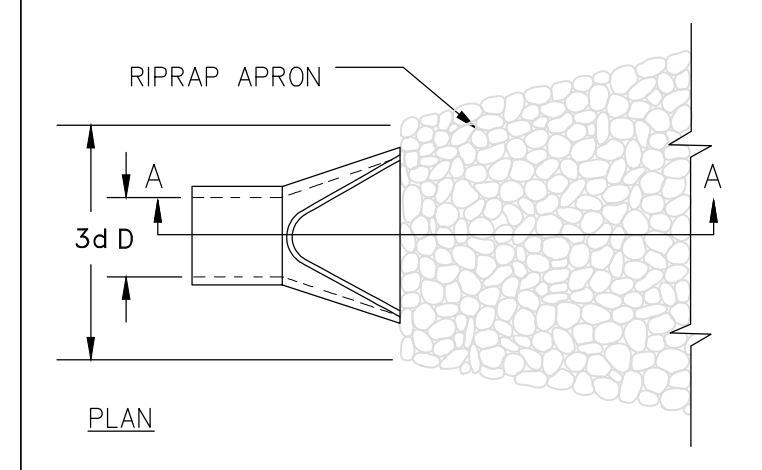


- NOTES:**
- INSTALL FILTER AFTER ANY ASPHALT PAVEMENT INSTALLATION.
 - WRAP 8" CONCRETE BLOCKS IN FILTER FABRIC AND SPAN ACROSS CATCH BASIN INLET.
 - FACE OPENINGS IN BLOCKS OUTWARD.
 - LEAVE A GAP OF APPROXIMATELY 4 INCHES BETWEEN THE CURB AND THE FILTERS TO ALLOW FOR OVERFLOW TO PREVENT HAZARDOUS PONDING.
 - INSTALL OUTLET PROTECTION BELOW STORM DRAIN OUTLETS.

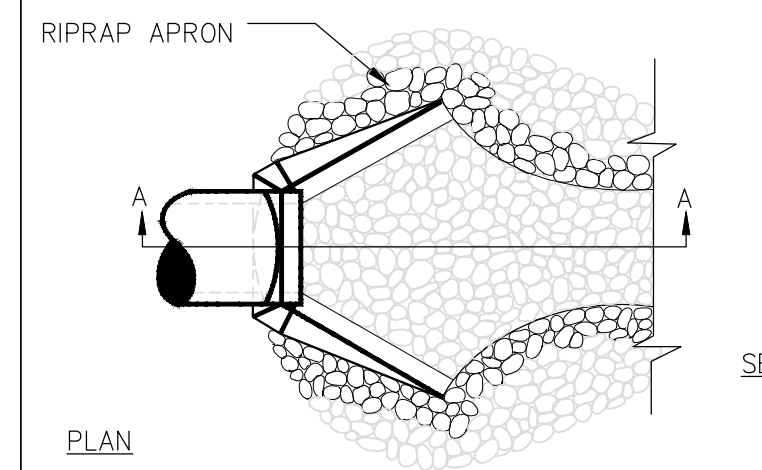
RIPRAP OUTLET PROTECTION

St

PIPE OUTLET TO FLAT AREA -- NO WELL DEFINED CHANNEL



PIPE OUTLET TO WELL DEFINED CHANNEL

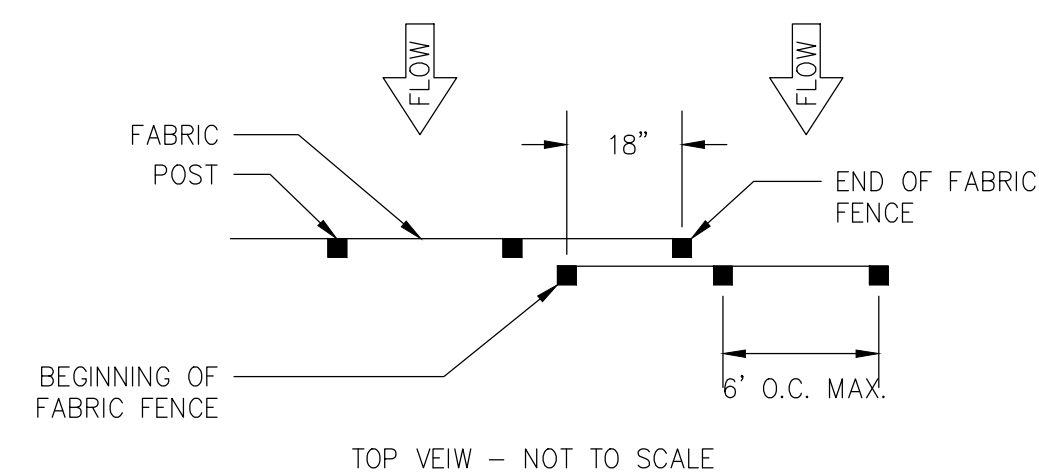


RIP RAP TABLE

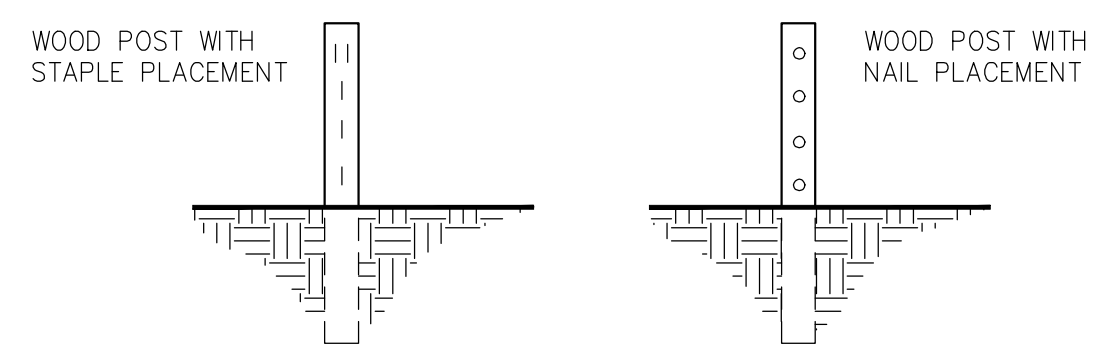
- NOTES:**
- La IS THE LENGTH OF THE RIPRAP APRON.
 - D = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6".
 - IN A WELL-DEFINED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK (WHICHEVER IS LESS).
 - A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND THE SOIL FOUNDATION.

FASTENERS FOR SILT FENCES

OVERLAP AT FABRIC ENDS



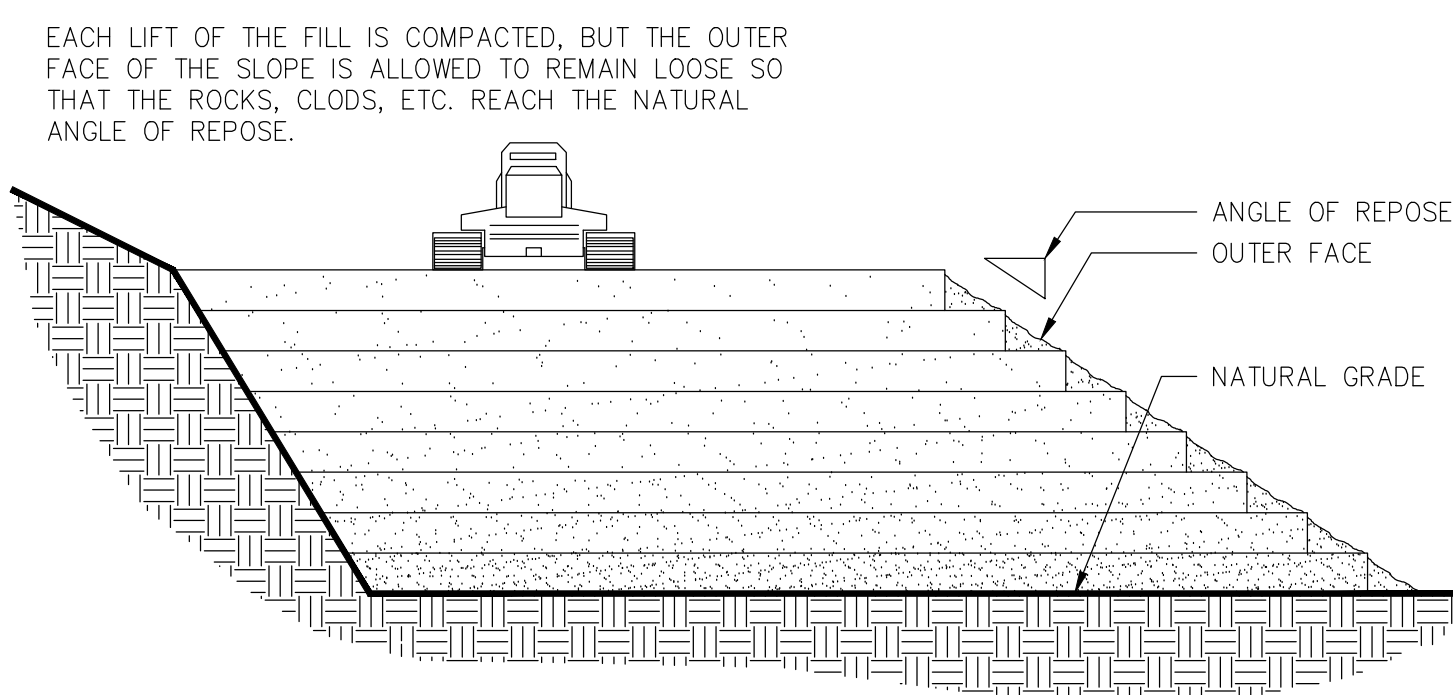
TOP VIEW - NOT TO SCALE



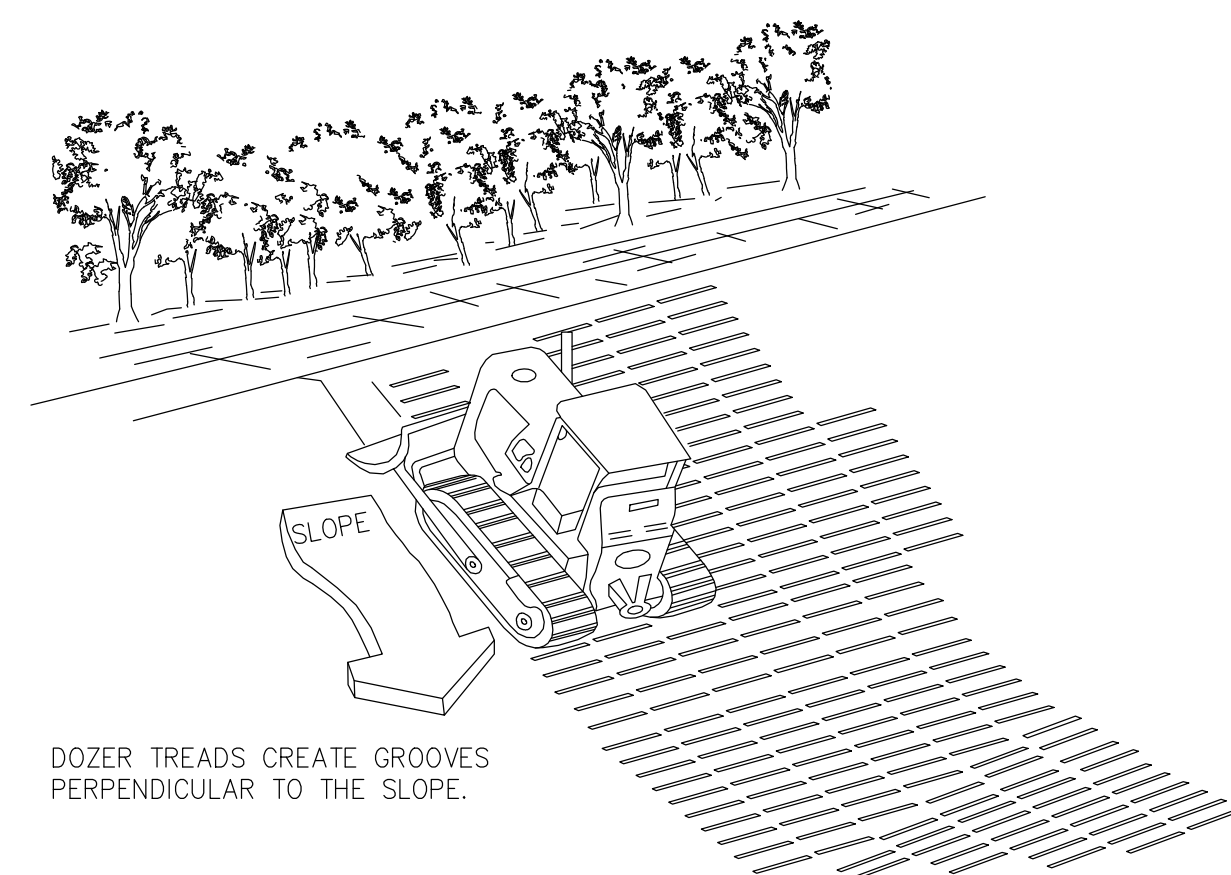
FRONT VIEWS - NOT TO SCALE

- NOTES:**
- THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

FILL SLOPE TREATMENT



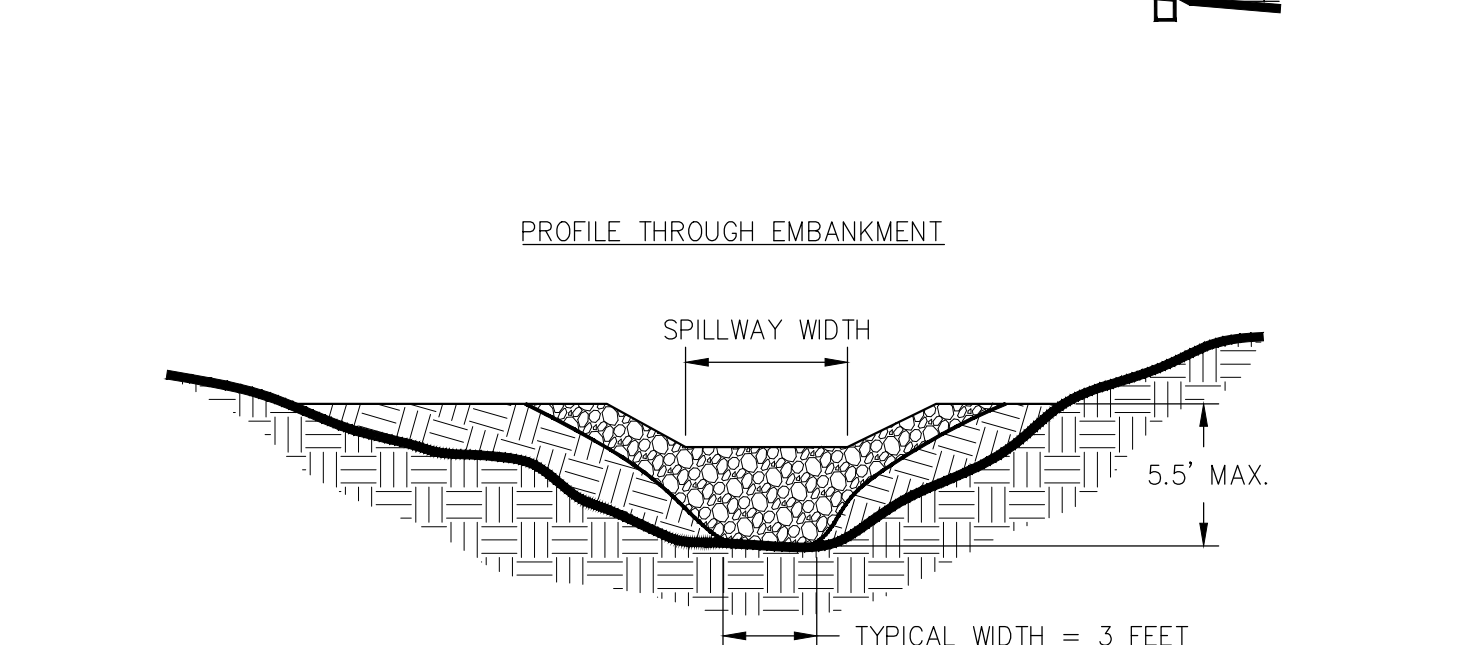
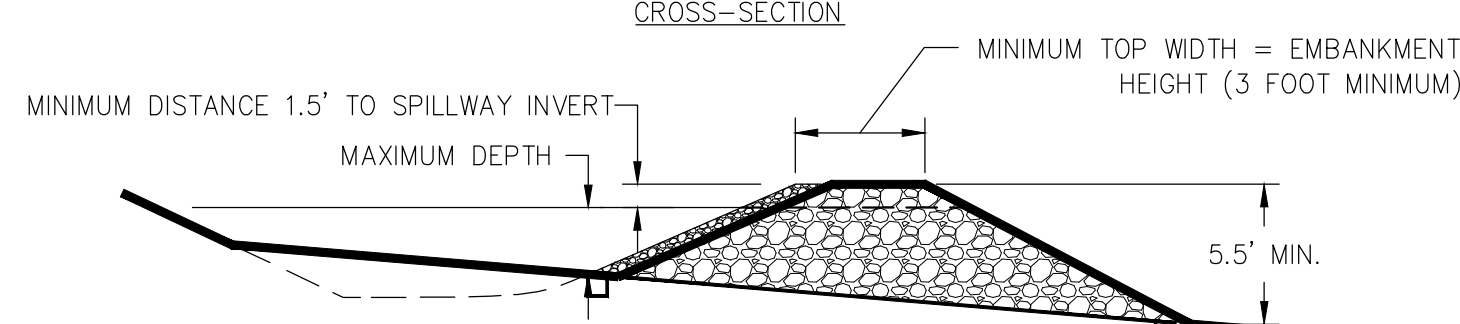
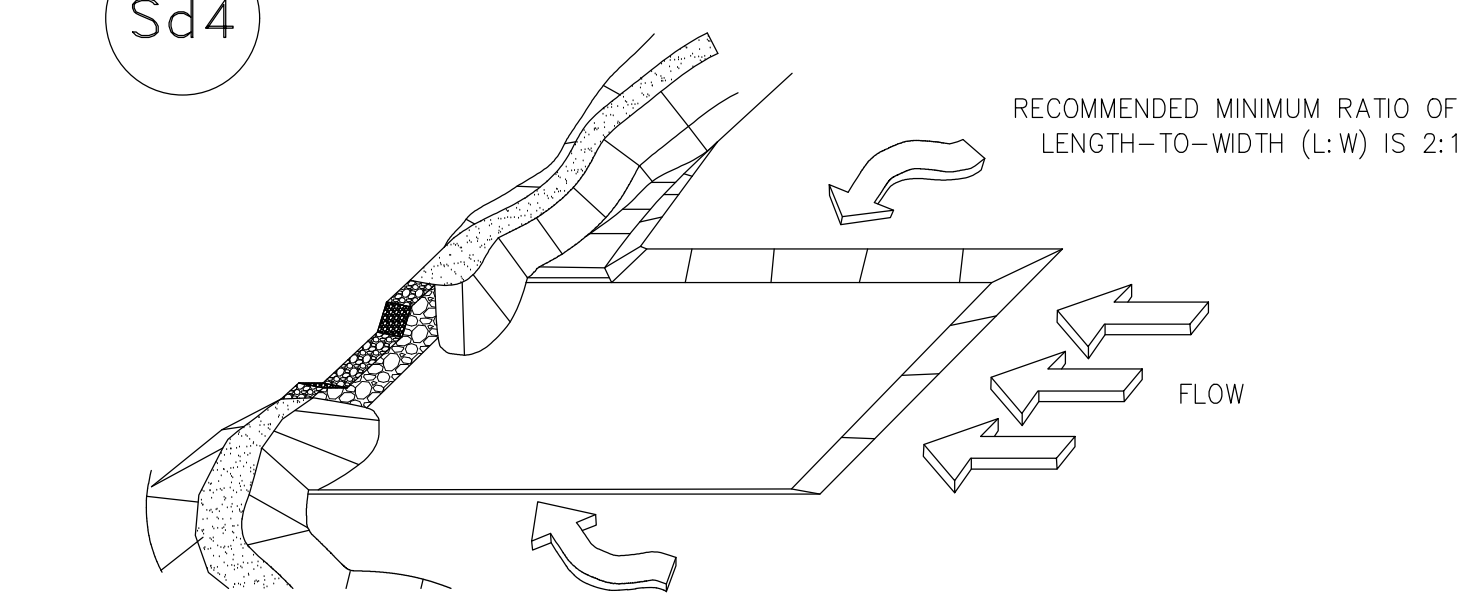
TRACKING



TEMPORARY SEDIMENT TRAP

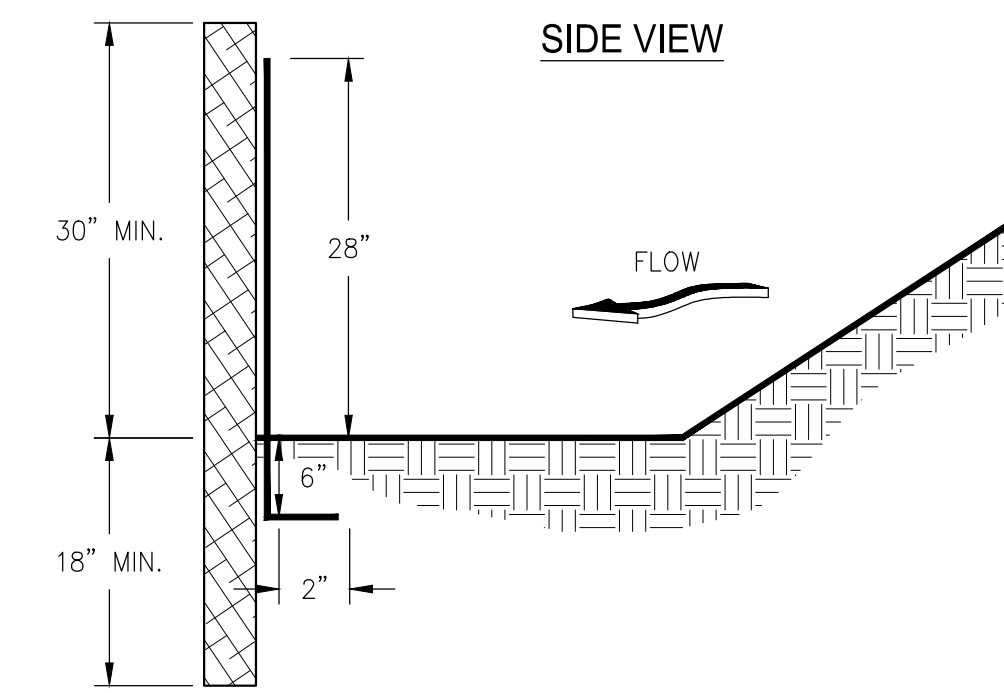
COURTESY OF CITY OF KNOXVILLE BMP EROSION AND SEDIMENT ROCK OUTLET

Sd4

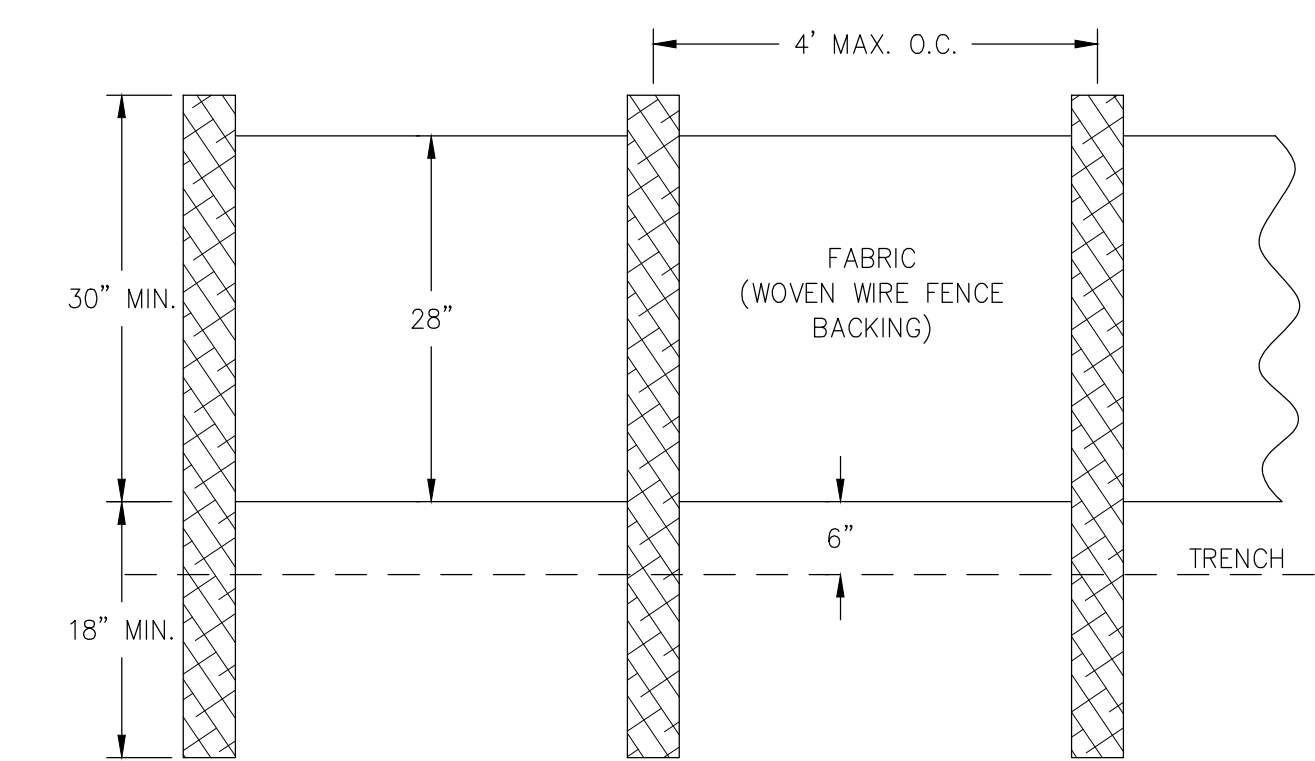


SILT FENCE - TYPE SENSITIVE

Sd1-S



FRONT VIEW



- NOTES:**
- USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 - HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

COLUMBIA ENGINEERING
 2862 BUFORD HIGHWAY
 SUITE 200
 DULUTH, GEORGIA 30096
 (770) 925-0357

GSWCC LEVEL II CERTIFIED
 DESIGN PROFESSIONAL #22175

PROJECT
 DOWNTOWN NORCROSS PARKING IMPROVEMENTS
 65 LAWRENCEVILLE STREET
 NORCROSS, GA 30071

CLIENT
 CITY OF NORCROSS
 345 LIVELY AVE
 NORCROSS, GA 30071

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REVISIONS	DATE

DRAWING TITLE
 DETAILS

DRAWING FILE: G:\6170\02\DRAWING\CIVIL\6170.02.DWG
DRAWN BY: KG **DRAWING NO.:**
DATE: 02/11/26 **C-7.7**
PROJECT NO.: 6170.02

COLUMBIA ENGINEERING

CIVIL ENGINEERS * LAND PLANNERS
 LANDSCAPE ARCHITECTS * SURVEYORS

SPECIES	BROADCAST		RESOURCE AREA	PLANTING DATES												REMARKS	
	PER ACRE	PER 1000 SF		J	F	M	A	M	J	J	A	S	O	N	D		
BARLEY			M-L 4/ P C														14,000 SEED PER POUND WINTER HARDY. USE ON PRODUCTIVE SOILS
ALONE IN MIXTURE	144 LBS 24 LBS	3.3 LBS 0.6 LBS															
LEPDEZA, ANNUAL			M-L P C														200,000 SEED PER POUND MAY VOLUNTEER FOR SEVERAL YEARS USE INOCULANT LL.
ALONE IN MIXTURE	40 LBS 10 LBS	0.9 LBS 0.2 LBS															
LOVEGRASS, WEEPING			M-L P C														1,500,000 SEED PER POUND MAY LAST FOR SEVERAL YEARS. MIX WITH SERICEA LEPDEZA
ALONE IN MIXTURE	4 LBS 2 LBS	0.1 LBS 0.2 LBS															
MILLET, BROWN TOP			M-L P C														137,000 SEED PER POUND, QUICK DENSE COVER. WILL PROVIDE TOO MUCH COMPETITION IN MIXTURES IS SEEDED AT HIGH RATES
ALONE IN MIXTURE	40 LBS 10 LBS	0.9 LBS 0.2 LBS															
RYE			M-L P C														18,000 SEED PER POUND, QUICK COVER, DROUGHT TOLERANT AND WINTER HARDY
ALONE IN MIXTURE	3 BU 1/2 BU	3.9 LBS 0.6 LBS															
RYEGRASS, ANNUAL			M-L P C														227,000 SEED PER POUND, DENSE COVER, VERY COMPETITIVE AND IS NOT TO BE USED IN MIXTURES.
ALONE	50 LBS	0.9 LBS															

M-L REPRESENTS TO MOUNTAIN; BLUE RIDGE; AND RIDGES AND VALLEYS MLRA'S
C REPRESENTS THE SOUTHERN COASTAL PLAIN; SAND HILLS; AND ATLANTIC COAST. FLATWOODS MLRA'S

DISTURBED AREA STABILIZATION (TEMP)
SCALE:NTS E42

Ds2

SPECIES	BROADCAST		RESOURCE AREA	PLANTING DATES												REMARKS	
	PER ACRE	PER 1000 SF		J	F	M	A	M	J	J	A	S	O	N	D		
BERMUDA, COMMON HULLED SEED ALONE WITH OTHER PERENNIALS	10 LBS 6 LBS	0.2 LBS 0.1 LBS	P C														1,787,000 SEED PER POUND, QUICK COVER, LOW GROWING AND SOD FORMING. FULL SUN, GOOD FOR ATHLETIC FIELDS
BERMUDA, COMMON UNHULLED SEED W/TEMP COVER WITH OTHER PERENNIALS	10 LBS 6 LBS	0.2 LBS 0.1 LBS	P C														PLANT WITH WINTER ANNUALS PLANT WITH TALL FESCUE
CENTIPEDE	BLOCK SOD ONLY		M-L P														DROUGHT TOLERANT, FULL SUN OR PARTIAL SHADE, EFFECTIVE ADJACENT TO CONC. AND IN CONCENTRATED FLOW AREAS. IRRIGATION IS NEEDED UNTIL FULLY ESTABLISHED. DO NOT PLANT NEAR PASTURES.
CROWN VETCH			M-L P														100,000 SEED PER POUND, DENSE GROWTH, DROUGHT TOLERANT AND FIRE RESISTANT. USE FROM NORTH ATLANTA & NORTHWARD
FESCUE, TALL			M-L P														227,000 SEED PER POUND, USE ALONE ONLY ON BETTER SITES, NOT FOR DROUGHTY SOILS. NOT FOR HEAVY USE.
ALONE W/OTHER PERENNIALS	50 LBS 30 LBS	1.1 LBS 0.7 LBS															
LEPDEZA			M-L P C														300,000 SEED PER POUND, HEIGHT OF GROWTH IS 18 TO 24 INCHES. ADVANTAGES IN URBAN AREAS. MIX W/ WEEPING LOVEGRASS, COMMON BERMUDA, BAHIA, TALL FESCUE, OR WINTER ANNUALS, INOCULATE SEED W/ EL INOCULANT.
SCARIFIED UNSCARIFIED	60 LBS 75 LBS	1.4 LBS 1.7 LBS															

M-L REPRESENTS TO MOUNTAIN; BLUE RIDGE; AND RIDGES AND VALLEYS MLRA'S
P REPRESENTS THE SOUTHERN PIEMONT MLRA
C REPRESENTS THE SOUTHERN COASTAL PLAIN; SAND HILLS; BLACK LANDS; AND ATLANTIC COAST.
FLATWOODS MLRA'S

NOTE:
AGRICULTURAL LIME SHALL BE APPLIED AS INDICATED BY SOIL TEST OR AT
THE RATE OF 1 TO 2 TONS PER ACRE.

DISTURBED AREA STABILIZATION (PERM)
SCALE:NTS E43

Ds3

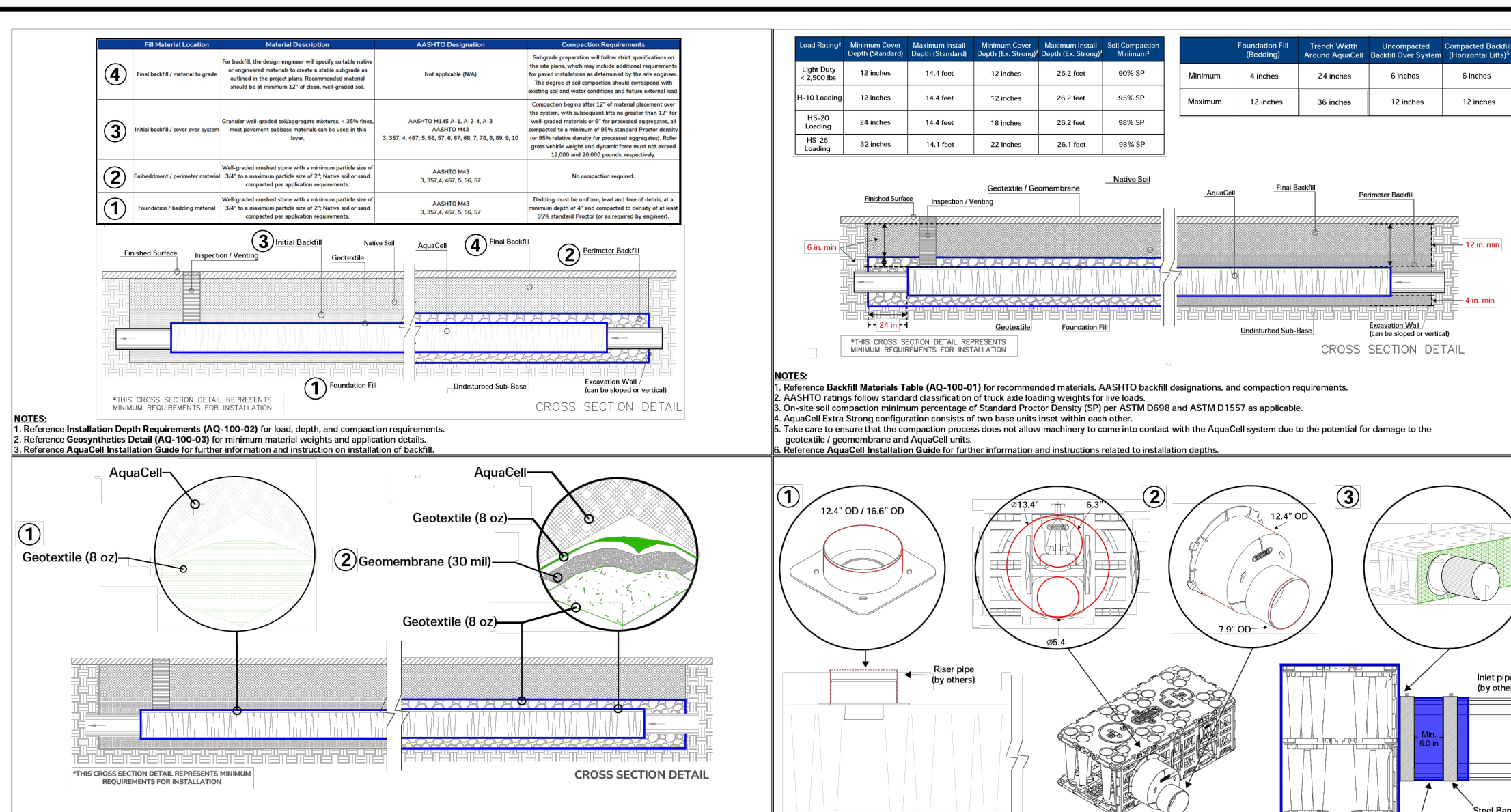
TYPE OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	N TOP DRESSING RATE
1. COOL SEASON GRASSES	FIRST	6-12-12	1500 LBS/AC	50-100 LBS/AC 1/2/
	SECOND	6-12-12	1000 LBS/AC	-
	MAINTENANCE	10-10-10	400 LBS/AC	30
2. COOL SEASON GRASSES AND LEGUMES	FIRST	6-12-12	1500 LBS/AC	0-50 LBS/AC 1/
	SECOND	0-10-10	1000 LBS/AC	-
	MAINTENANCE	0-10-10	400 LBS/AC	-
3. GROUND COVERS	FIRST	10-10-10	1300 LBS/AC 3/	-
	SECOND	10-10-10	1100 LBS/AC 3/	-
	MAINTENANCE	10-10-10	400 LBS/AC	-
4. SHRUBS LEPDEZA	FIRST	0-10-10	700 LBS/AC	-
	MAINTENANCE	0-10-10	700 LBS/AC 4/	-
5. TEMPORARY COVER CROPS SEEDED ALONE	FIRST	10-10-10	500 LBS/AC	30 LBS/AC 5/
6. WARM SEASON GRASSES	FIRST	6-12-12	1500 LBS/AC	50-100 LBS/AC 2/6/
	SECOND	6-12-12	800 LBS/AC	50-100 LBS/AC 2/
	MAINTENANCE	10-10-10	400 LBS/AC	30 LBS/AC
7. WARM SEASON GRASSES AND LEGUMES	FIRST	6-12-12	1500 LBS/AC	50 LBS/AC 6/
	SECOND	0-10-10	1000 LBS/AC	-
	MAINTENANCE	0-10-10	400 LBS/AC	-

MULCHING RATES:
1. DRY STRAW: 2 TONS PER ACRE.
2. DRY HAY: 2-1/2 TONS PER ACRE.
3. FOR HYDRAULIC SEEDING USE WOOD DCELLULOSE MULCH OR WOOD PULP FIBER AT THE RATE OF 500 POUNDS PER ACRE.

1/ APPLY IN SPRING FOLLOWING SEEDING.
2/ APPLY IN SPLIT APPLICATIONS WHEN HIGH RATES ARE USED.
3/ APPLY IN 3 SPLIT APPLICATIONS.
4/ APPLY WHEN PLANTS ARE PRUNED.
5/ APPLY TO GRASS SPECIES ONLY.
6/ APPLY WHEN PLANTS GROW TO A HEIGHT OF 2 TO 4 INCHES.

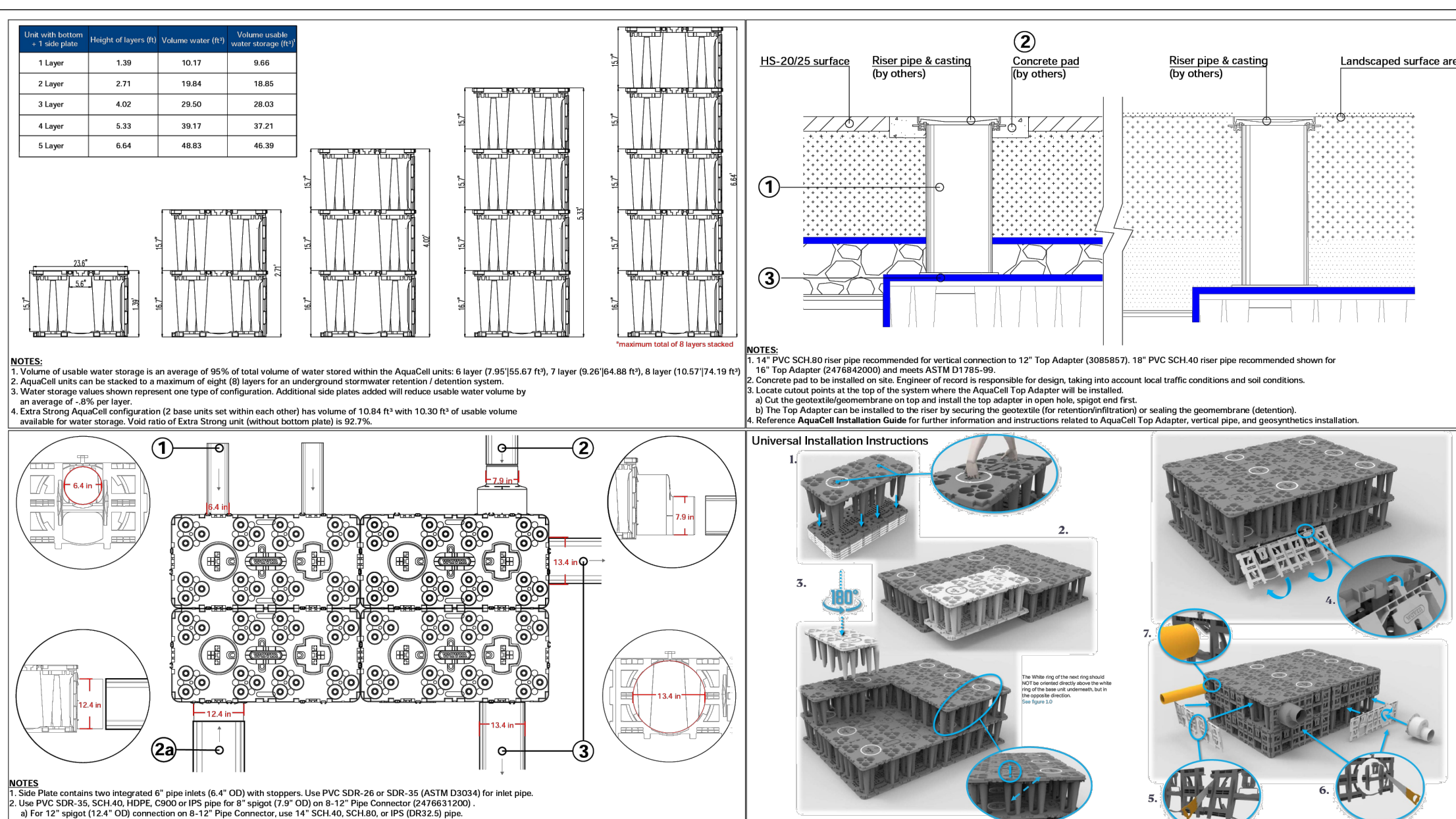
FERTILIZER AND MULCHING REQUIREMENTS
SCALE:NTS E41

Ds1



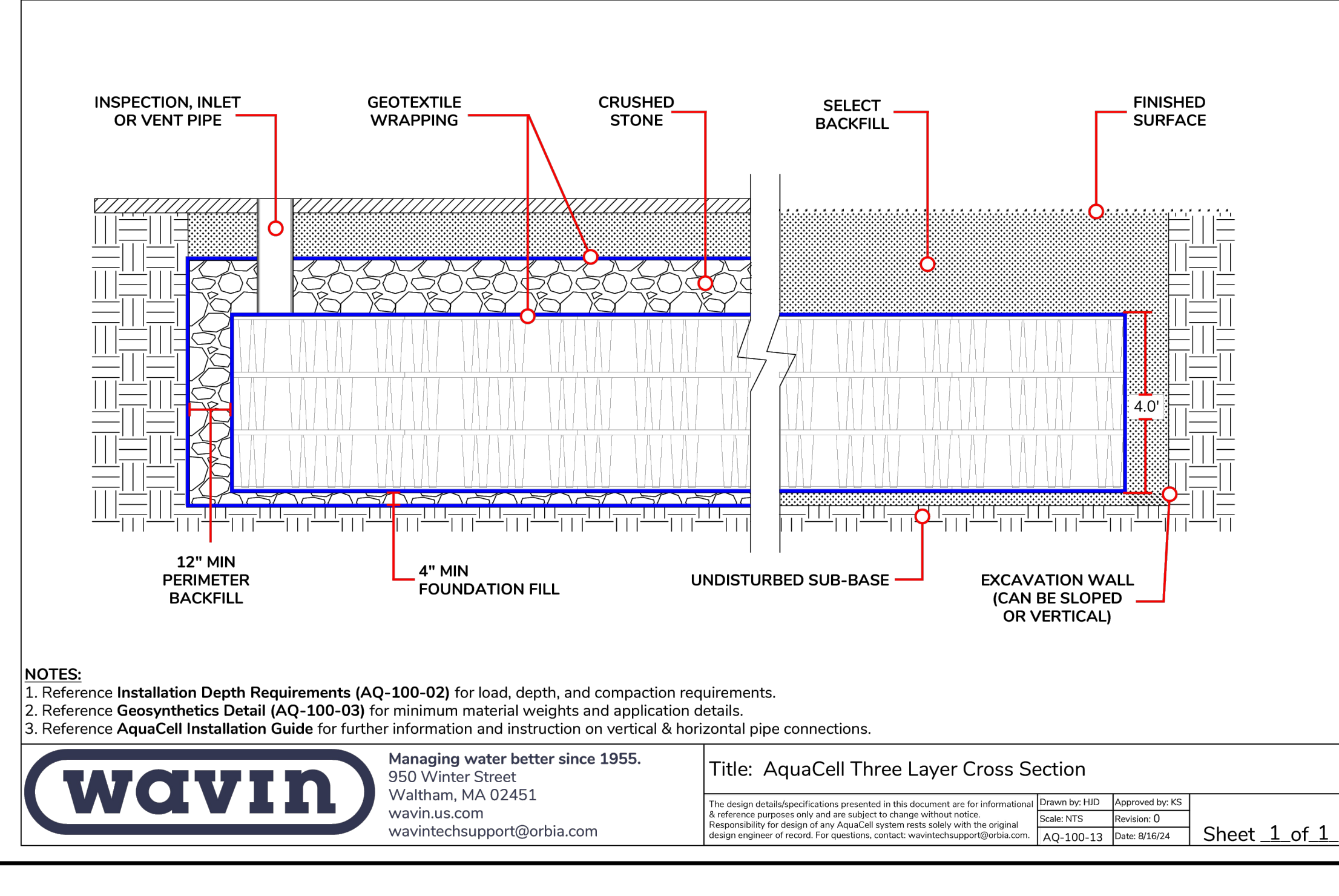
wavin Managing water better since 1955.
950 Winter Street
Waltham, MA 02451
wavin.us
wavintechsupport@orbis.com

Title: AquaCell Design Details
The design details/specifications presented in this document are for informational & reference purposes only and are subject to change without notice.
Scale: Variable
Drawn by: HED
Approved by: KS
Revision: 0
Date: 4/29/2024
Sheet 1 of 2



wavin Managing water better since 1955.
950 Winter Street
Waltham, MA 02451
wavin.us
wavintechsupport@orbis.com

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950 Winter Street
Waltham, MA 02451
wavin.us
wavintechsupport@orbis.com

Title: AquaCell Three Layer Cross Section
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Scale: Variable
Drawn by: HED
Approved by: KS
Revision: 0
Date: 8/16/2024
Sheet 1 of 1

PROJECT
DOWNTOWN NORCROSS PARKING IMPROVEMENTS
65 LAWRENCEVILLE STREET
NORCROSS, GA 30071

CLIENT
CITY OF NORCROSS
345 LIVELY AVE
NORCROSS, GA 30071

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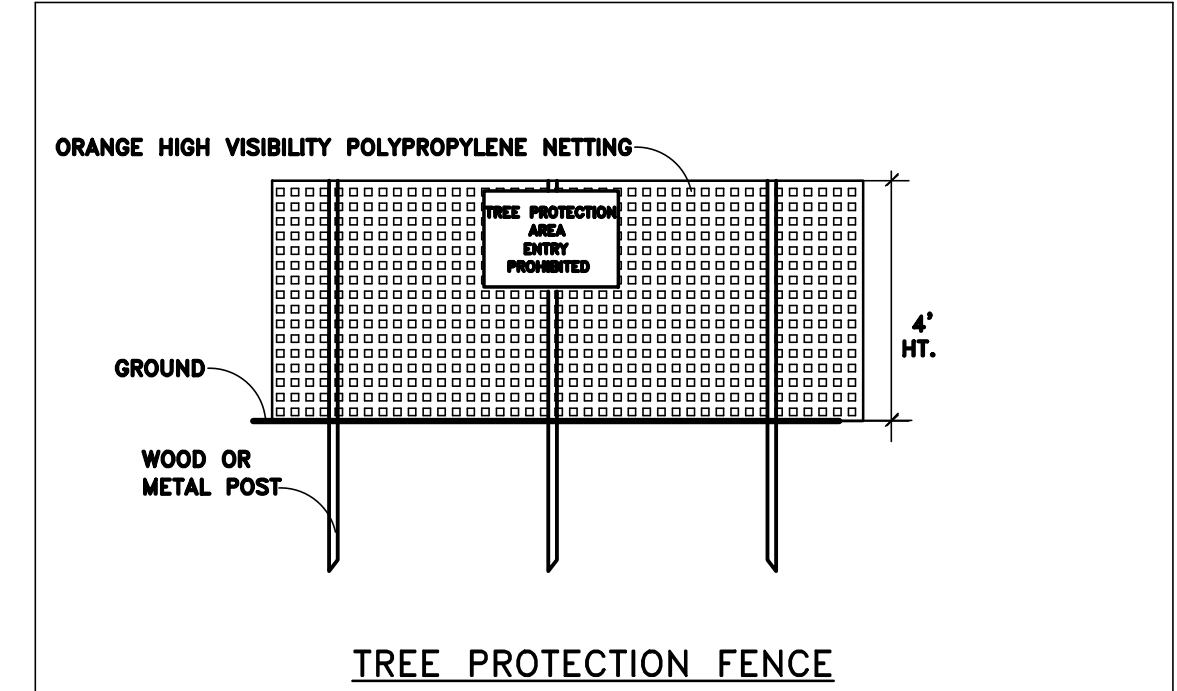
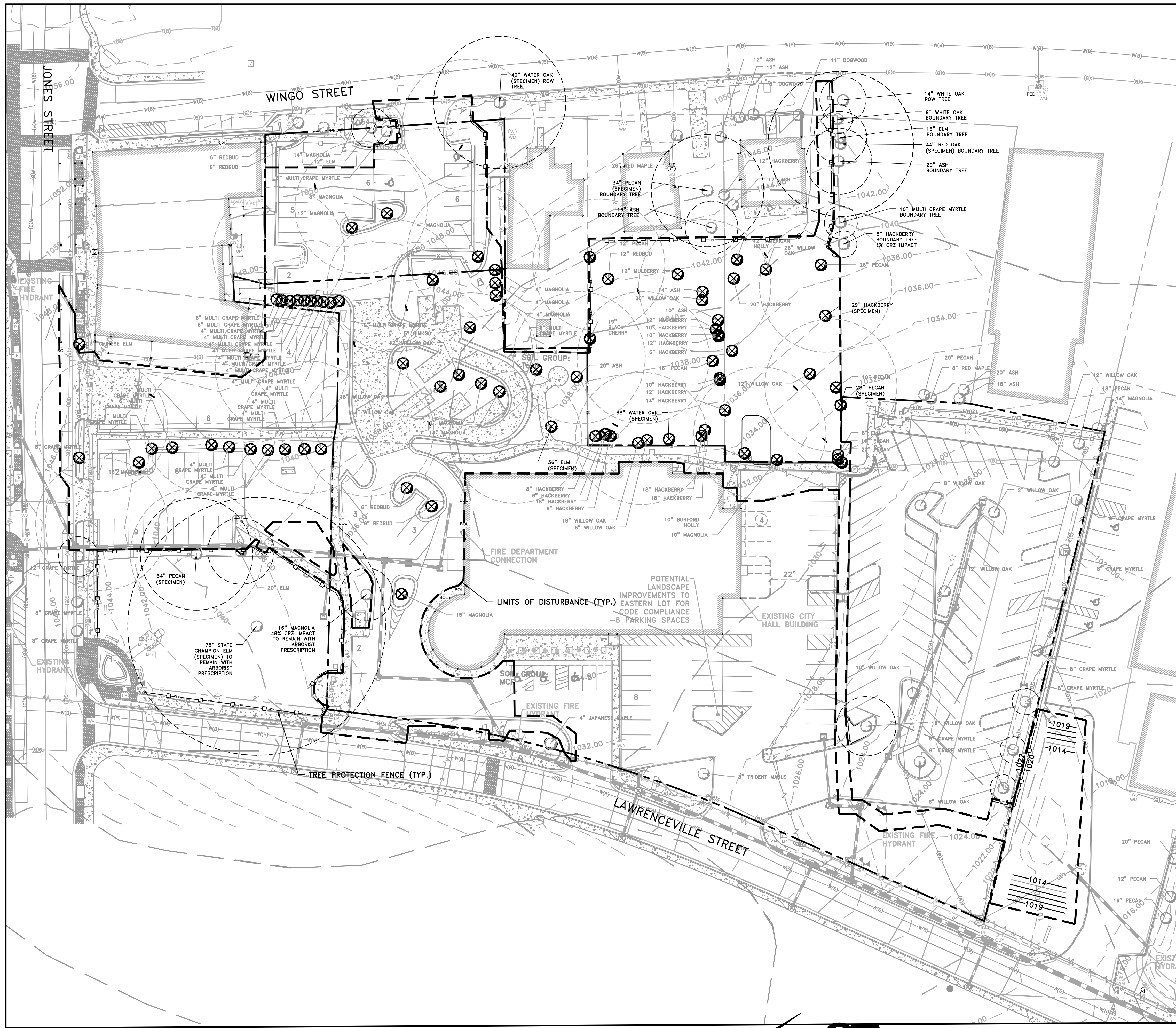
REVISIONS	DATE

DRAWING TITLE
DETAILS

DRAWING FILE: G:\6170 (2)DRAWING\CIVIL\6170 (2) DWG
DRAWN BY: KG
DRAWING NO.:
DATE: 02/11/26
PROJECT NO: 6170.02
C-7.8

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DETAILS

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DRAWN BY: KG
DRAWING NO.:
DATE: 02/11/26
PROJECT NO: 6170.02
C-7.8



- TREE PROTECTION FENCE DETAIL NOTES:**
- ALL TREE PROTECTION DEVICES ARE TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE ACTIVITIES AND SHALL ONLY BE REMOVED AFTER THE FINAL PLAT OR CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.
 - TREE PROTECTION FENCING SHALL BE INSTALLED IN LOCATIONS SHOWN ON PLAN.
 - TREE PROTECTION FENCING SHALL BE INSPECTED DAILY AND REPLACED OR REPAIRED AS NEEDED.
 - TREE PROTECTION FENCES MUST HAVE WATERPROOF SIGNAGE OF A STURDY MATERIAL THAT READS "TREE PROTECTION AREA, ENTRY PROHIBITED", MINIMUM OF 8.5" X 11" SIZE, MOUNTED ON POSTS AT LEAST 30" OFF THE GROUND, SPACED AT A MAXIMUM OF 50' APART.
 - ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION. INSTALL SILT FENCE ALONG TREE PROTECTION FENCING WHEREVER GRADING OCCURS ON THE UPHILL SIDE OF THE TREE PROTECTION ZONE.
 - NO PARKING, STORAGE OR OTHER CONSTRUCTION SITE ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
 - ANY ROOTS WHICH MUST BE CUT SHALL BE CUT WITH A SHARP TOOL. THE TEARING OF ROOTS WITH HEAVY MACHINERY COULD RESULT IN EXTENSIVE ROOT AND STEM DECAY. NEAR TREES, USE A DITCHWITCH TO CUT A 2 FOOT DEEP MINIMUM TRENCH ALONG LAND DISTURBANCE LIMITS TO ACCOMPLISH A CLEAN CUT.
 - WHERE NOTED ON THE PLANS, THE CRITICAL ROOT ZONE WITHIN THE TREE PROTECTION AREA SHALL BE MULCHED WITH A MINIMUM OF 3" AND A MAXIMUM OF 5" OF ORGANIC MULCH SUCH AS PINE STRAW, WOOD CHIPS, TREE LEAVES, OR COMPOST, FOR A MINIMUM OF 3 YEARS, OR PRIOR TO ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THE PROJECT, WHICHEVER OCCURS LAST.

TREE SURVEY DATA	
TOTAL TREES SURVEYED*	132
TOTAL TREES TO BE REMOVED*	79
TOTAL TREES TO REMAIN*	54
SPECIMEN TREES SURVEYED	7
78" AMERICAN ELM (53.0 TDU)	
34" PECAN (9.0 TDU)	
36" AMERICAN ELM (11.0 TDU)	
38" WATER OAK (13.0 TDU)	
28" PECAN (6.2 TDU)	
29" HACKBERRY (6.4 TDU)	
44" RED OAK (19.0 TDU-OFFSITE/BOUNDARY)	
40" WATER OAK (15.0 TDU-OFFSITE/BOUNDARY)	
SPECIMEN TREES TO BE REMOVED	4
36" AMERICAN ELM (11.0 TDU)	
38" WATER OAK (13.0 TDU)	
28" PECAN (6.2 TDU)	
29" HACKBERRY (6.4 TDU)	
RECOMPEMENT REQUIRED: 36.6 TDU	
TOTAL TREES TO REMAIN FOR CREDIT IN PROJECT AREA	4
78" AMERICAN ELM (53.0 TDU)	
34" PECAN (9.0 TDU)	
20" AMERICAN ELM (4.6 TDU)	
16" SOUTHERN MAGNOLIA (3.6 TDU)	
TOTAL EXISTING SPECIMENS TOWARDS DENSITY: 70.2 TDU	
X DENOTES EXISTING TREE TO BE REMOVED	
NOTES: EXISTING TREE LOCATIONS ARE TAKEN FROM SURVEY BY COLUMBIA ENGINEERING, 2025. SPECIES, AND SIZE ARE VERIFIED BY ARBORIST IN FIELD VISIT 2/5/26.	
MINIMUM SIZE TREE SURVEYED	4" DBH
* SURVEYED TREES, TREES TO REMAIN/REMOVE INCLUDE ALL DEPICTED TREES ON THIS PLAN INCLUDING ON SITE&OFF SITE	

ROGER G. GRANT,
 ISA CERTIFIED ARBORIST
 #50-6686A
 [Signature] 2/11/26

CONTRACTOR TO PROVIDE 3 SETS OF "AS-BUILT" PLANS TO OWNER.

IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

CIVIL ENGINEERS * LAND PLANNERS
 LANDSCAPE ARCHITECTS * SURVEYORS

PROJECT: DOWNTOWN NORCROSS PARKING IMPROVEMENTS
 65 LAWRENCEVILLE STREET
 NORCROSS, GA 30071

CLIENT: CITY OF NORCROSS
 345 LIVELY AVENUE
 NORCROSS, GA 30071

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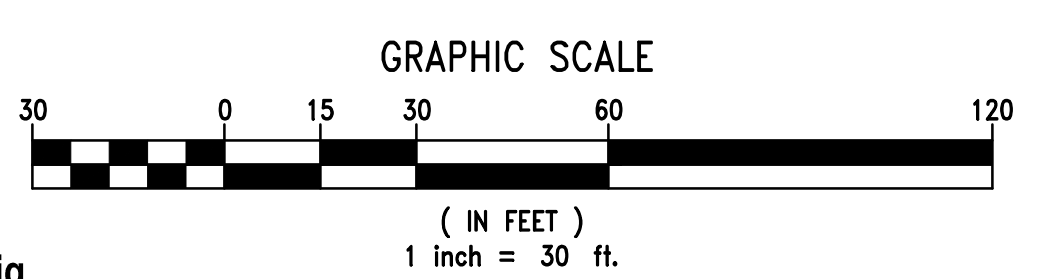
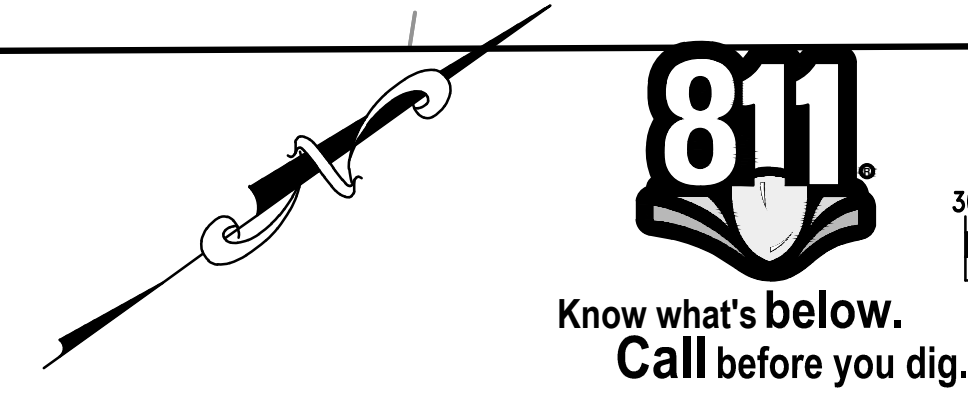
APPROVED FOR CONSTRUCTION
 NOT APPROVED FOR CONSTRUCTION

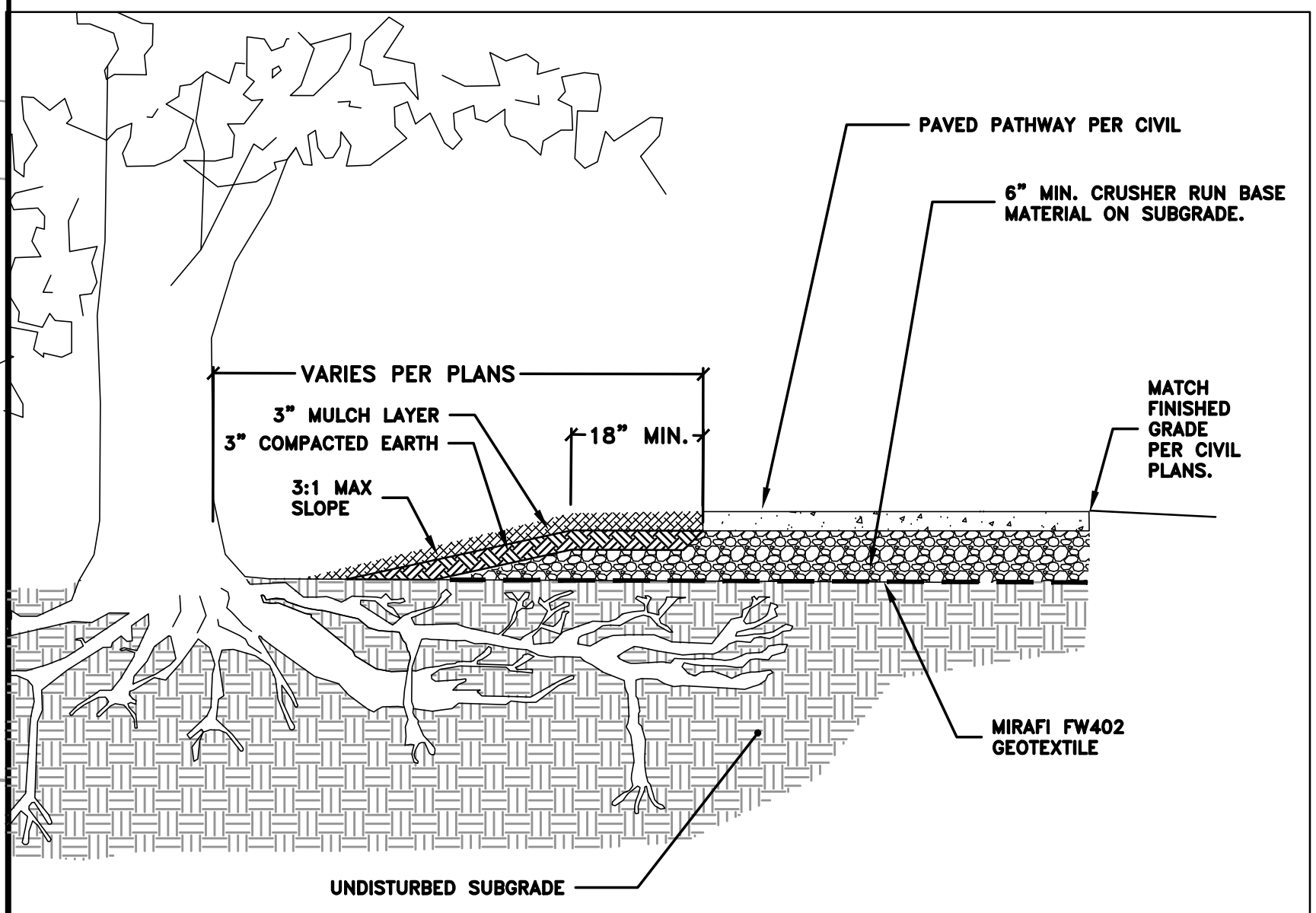
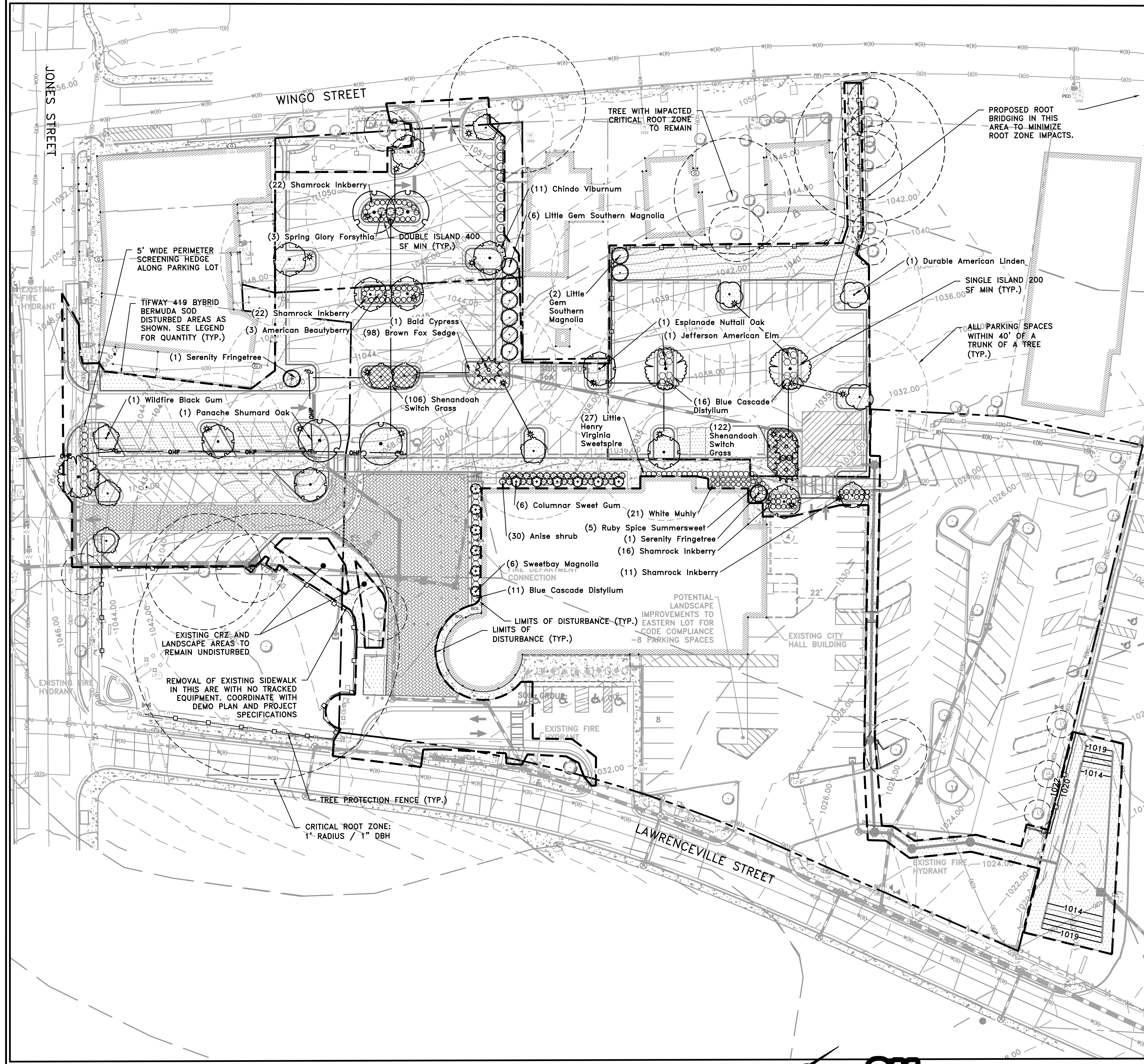
REVISIONS	DATE

DRAWING TITLE: TREE PROTECTION PLAN

DRAWING FILE: TP-1.0

DRAWN BY: RG
 DATE: 2/11/26
 PROJECT NO: TP-1.0





NOTES:

- CONTRACTOR SHALL UTILIZE RUBBER TRACKED EQUIPMENT ONLY WITHIN THE ROOT BRIDGING AREA.
- SOIL CUTS AND/OR ROOT DISTURBANCE SHALL ONLY OCCUR UNDER THE DIRECT SUPERVISION OF THE PROJECT ARBORIST.

ROOT BRIDGING DETAIL
N.T.S.

LANDSCAPE CALCULATIONS

PROJECT AREA	±2.13 ACRES
TREE DENSITY REQUIRED	16 UNITS/ACRE = 34.08 TDU
EXISTING TREE DENSITY	70.2 TDU
SPECIMEN TREE RECOMPENSE REQUIRED	36.6 TDU
SPECIMEN TREE RECOMPENSE PROVIDED	36.6 TDU
SPECIMEN TREE RECOMPENSE PROVIDED**	24.0 TDU
REMAINDER OF SPECIMEN RECOMPENSE	12.6 TDU
	12.6 X \$500 = \$6,300

PARKING ISLANDS MIN 200 SF (SINGLE) 400 SF (DOUBLE)
PROVIDED PER PLAN
EACH PARKING SPACE WITHIN 40' OF A TREE TRUNK PROVIDED PER PLAN
LANDSCAPE ISLANDS EVERY 8 SPACES PROVIDED PER PLAN
MAX 30% TREES OF ONE GENUS
14 QUERCUS = 26.4%
MAX 30% TREES UNDERSTORY SPECIES
2 FRINGETREE, 8 LITTLE GEM MAGNOLIA, 6 SWEETBAY MAGNOLIA
16 UNDERSTORY TOTAL = 30%
** REFER TO SHEET TP-2.0 FOR TDU CALCULATIONS

GENERAL LANDSCAPE NOTES

- PLANT LIST QUANTITIES ARE FOR REFERENCE ONLY. KEYED PLANS SHALL GOVERN OVER PLANT LIST.
- ALL PLANTS AND PLANT BEDS SHALL RECEIVE A 3" LAYER OF PINESTRAW. APPLY PRE-EMERGENT TO ALL BEDS AND TREE RINGS PER MANUFACTURER'S RECOMMENDATIONS. APPLY PRE-EMERGENT TO ALL SOD AREAS PRIOR TO INSTALLATION.
- IN AREAS WHERE PROPOSED VEGETATION IS SHOWN, EXISTING VEGETATION IS TO BE REMOVED. WHERE TREES AND LARGE SHRUBS ARE REMOVED, STUMPS SHALL BE GROUND. SEE DEMO SHEET C-2 FOR ADDITIONAL DEMOLITION INFORMATION
- THE GENERAL CONTRACTOR SHALL SUPPLY ROUGH GRADES +\ -0.2 FEET, WITH POSITIVE DRAINAGE PATTERNS ESTABLISHED. THE LANDSCAPE CONTRACTOR WILL FINE GRADE FOR PLANTING OPERATIONS.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED BY THE GRADING CONTRACTOR. STOCKPILED TOPSOIL WILL BE SPREAD BY THE GRADING CONTRACTOR TO A MINIMUM DEPTH OF 4 INCHES IF QUANTITIES ARE SUFFICIENT. IF STOCKPILED TOPSOIL IS INSUFFICIENT IN QUANTITY, GENERAL CONTRACTOR SHALL PROVIDE TOPSOIL TO SUPPLEMENT STOCKPILED TOPSOIL. TOPSOIL SHALL CONSIST OF A MINIMUM OF 10% ORGANIC MATERIAL. STONE BASE COURSE MATERIAL SHALL NOT BE CONSIDERED AS SUITABLE TOPSOIL FOR PLANTING AREAS, AND SHALL BE AMENDED WITH 4 INCHES OF TOPSOIL PRIOR TO PLANTING. ALL STONES LARGER THAN 1" SHALL BE CLEARED FROM LANDSCAPED AREAS.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED SIZE AND SHAPE RELATIONSHIPS SPECIFIED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL SIZES SPECIFIED REFER TO SIZE AT TIME OF PLANTING.
- AN AUTOMATED IRRIGATION SYSTEM IS TO BE DESIGNED AND INSTALLED TO PROVIDE IRRIGATION FOR PROPOSED PLANTINGS.

CONTRACTOR TO PROVIDE 3 SETS OF "AS-BUILT" PLANS TO OWNER.

IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

PROJECT
DOWNTOWN NORCROSS PARKING IMPROVEMENTS
65 LAWRENCEVILLE STREET
NORCROSS, GA 30071

CLIENT
CITY OF NORCROSS
345 LIVELY AVENUE
NORCROSS, GA 30071

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APPROVED FOR CONSTRUCTION
 NOT APPROVED FOR CONSTRUCTION

REVISIONS	DATE

PRELIMINARY 60%

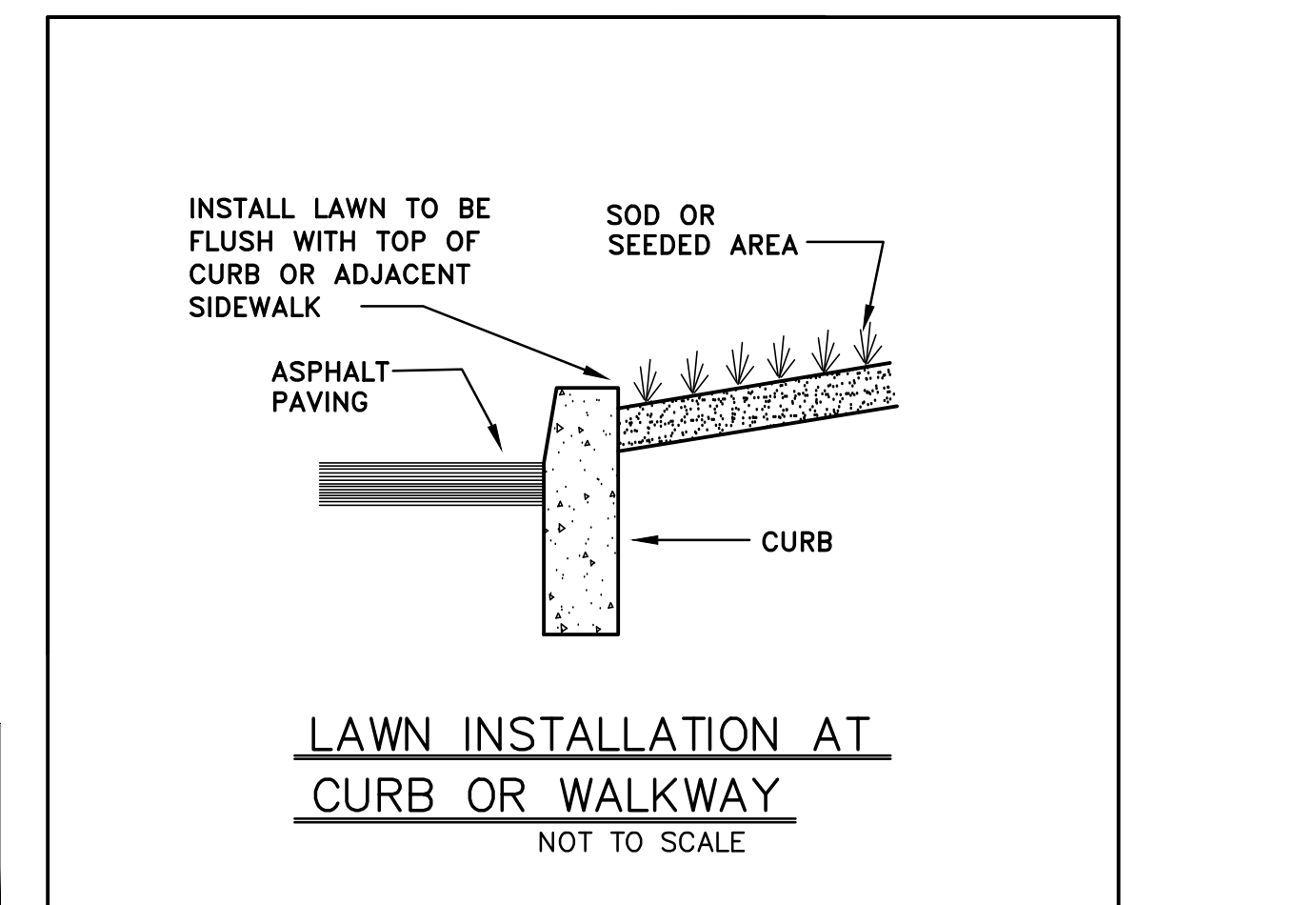
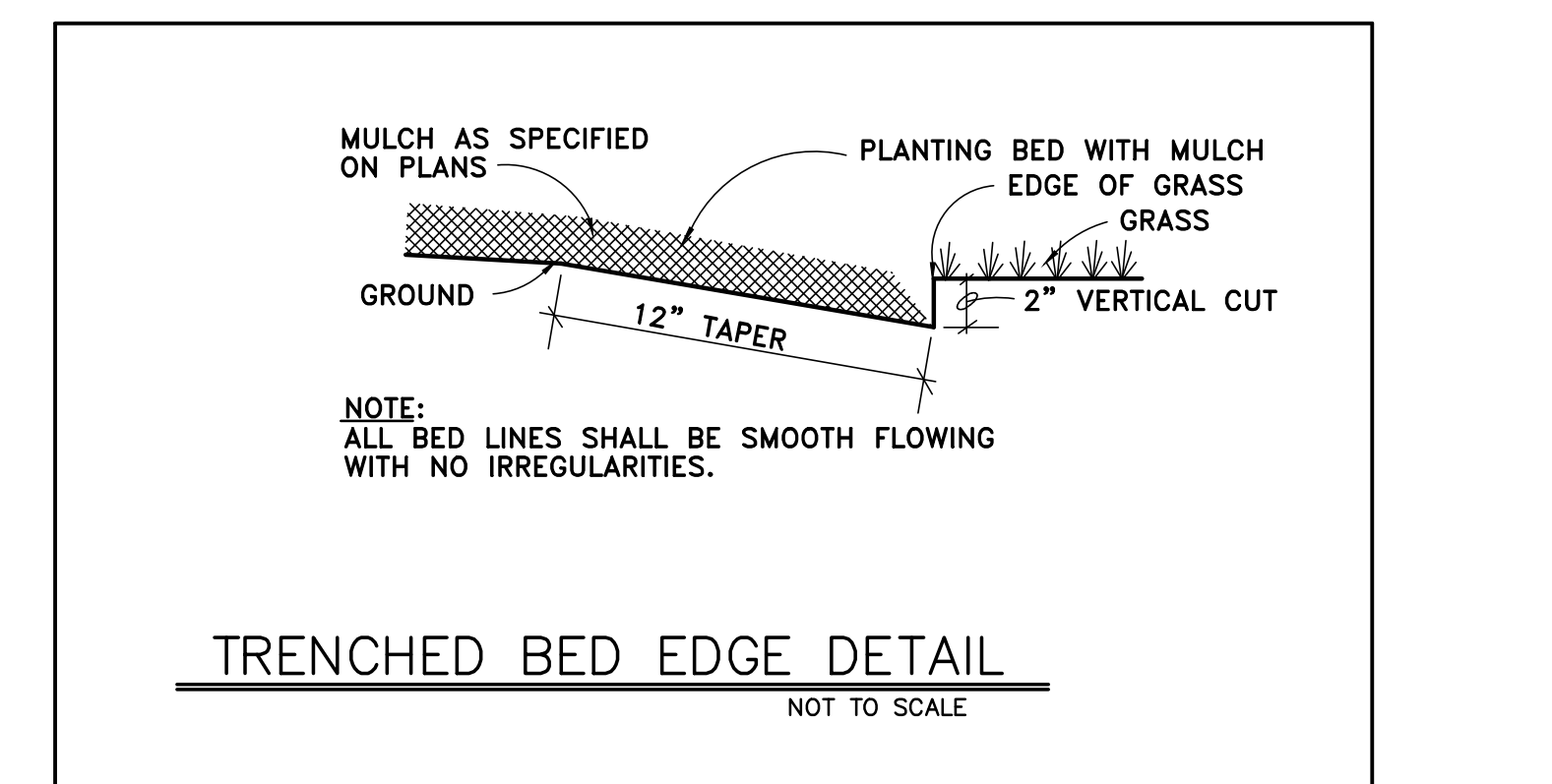
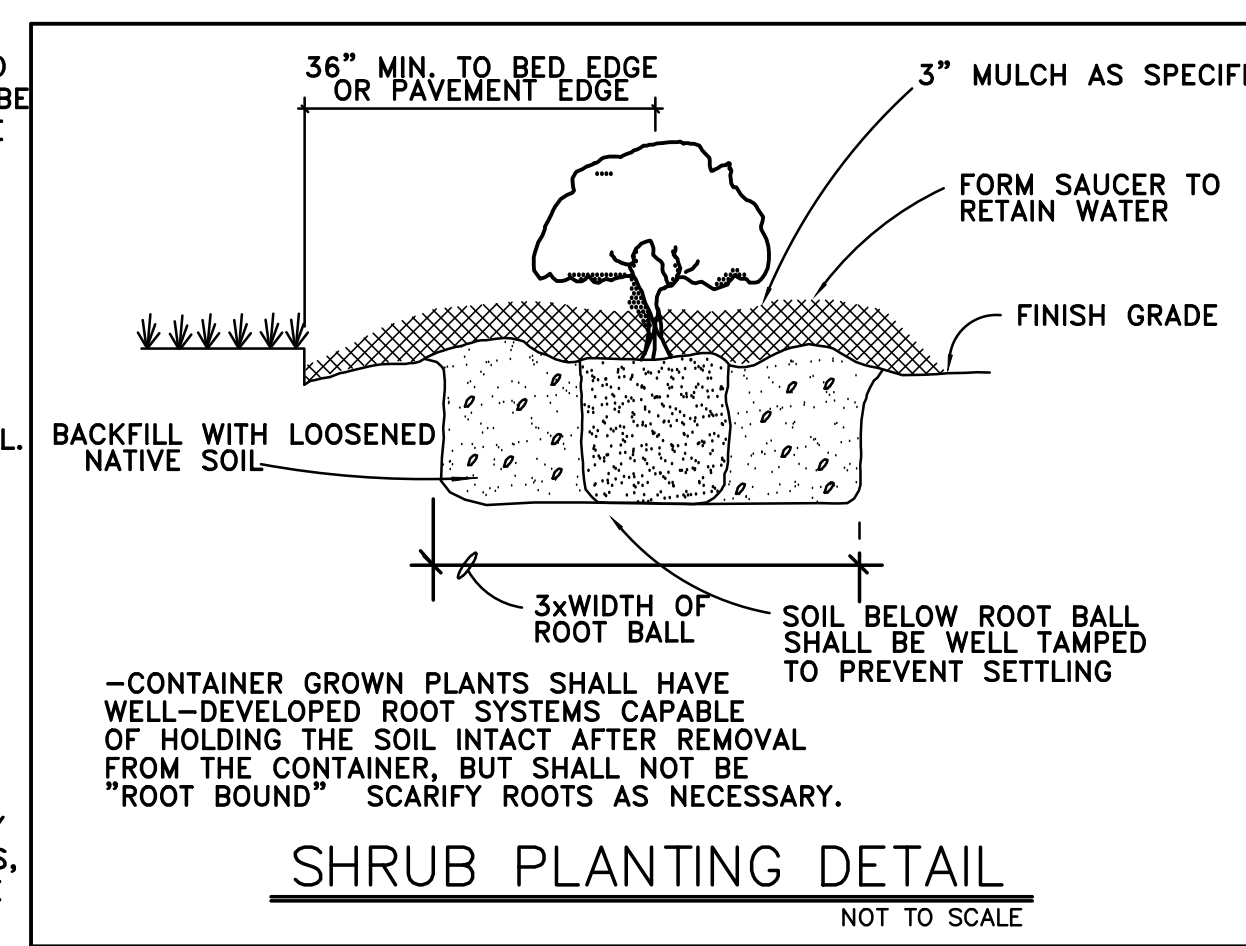
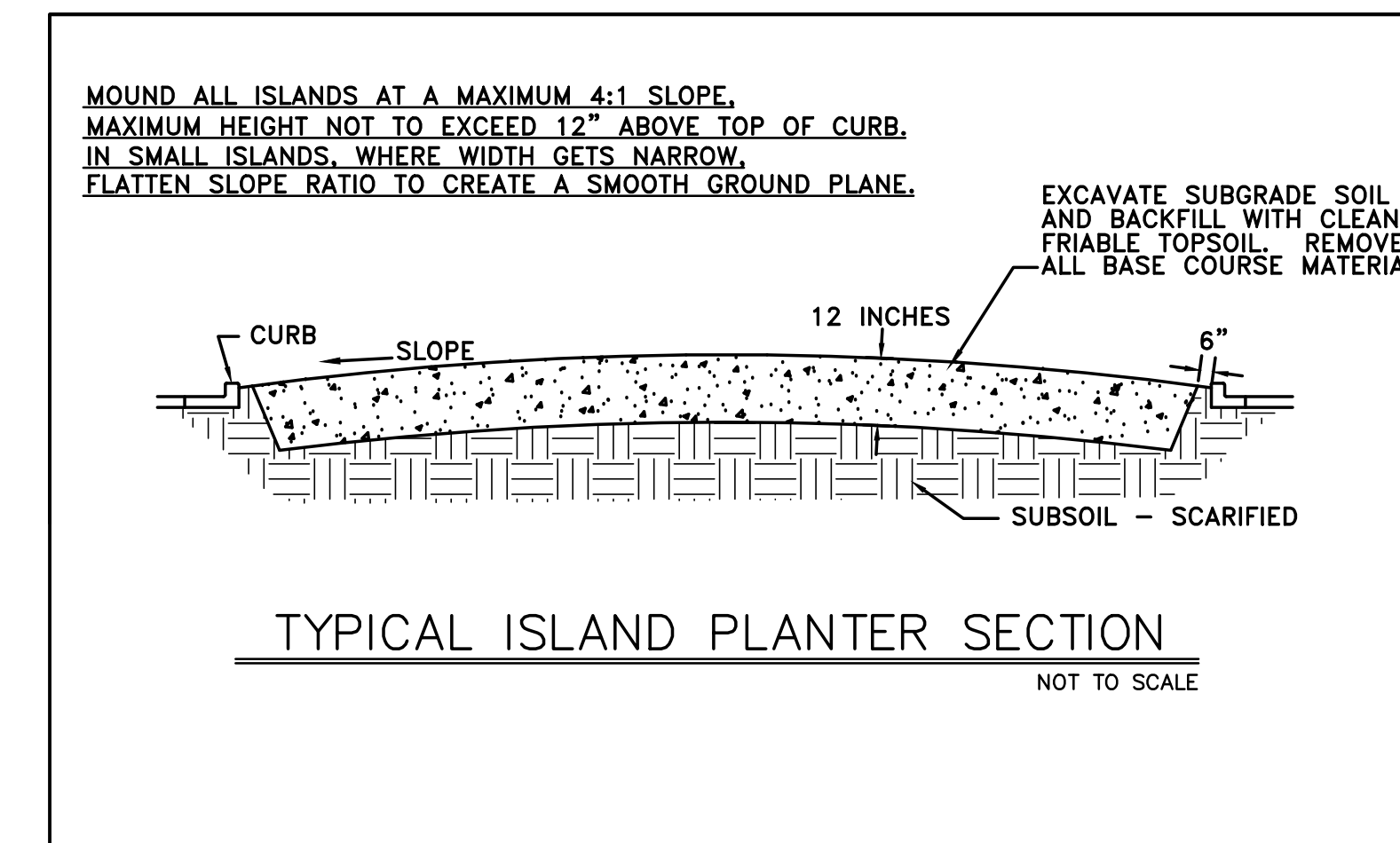
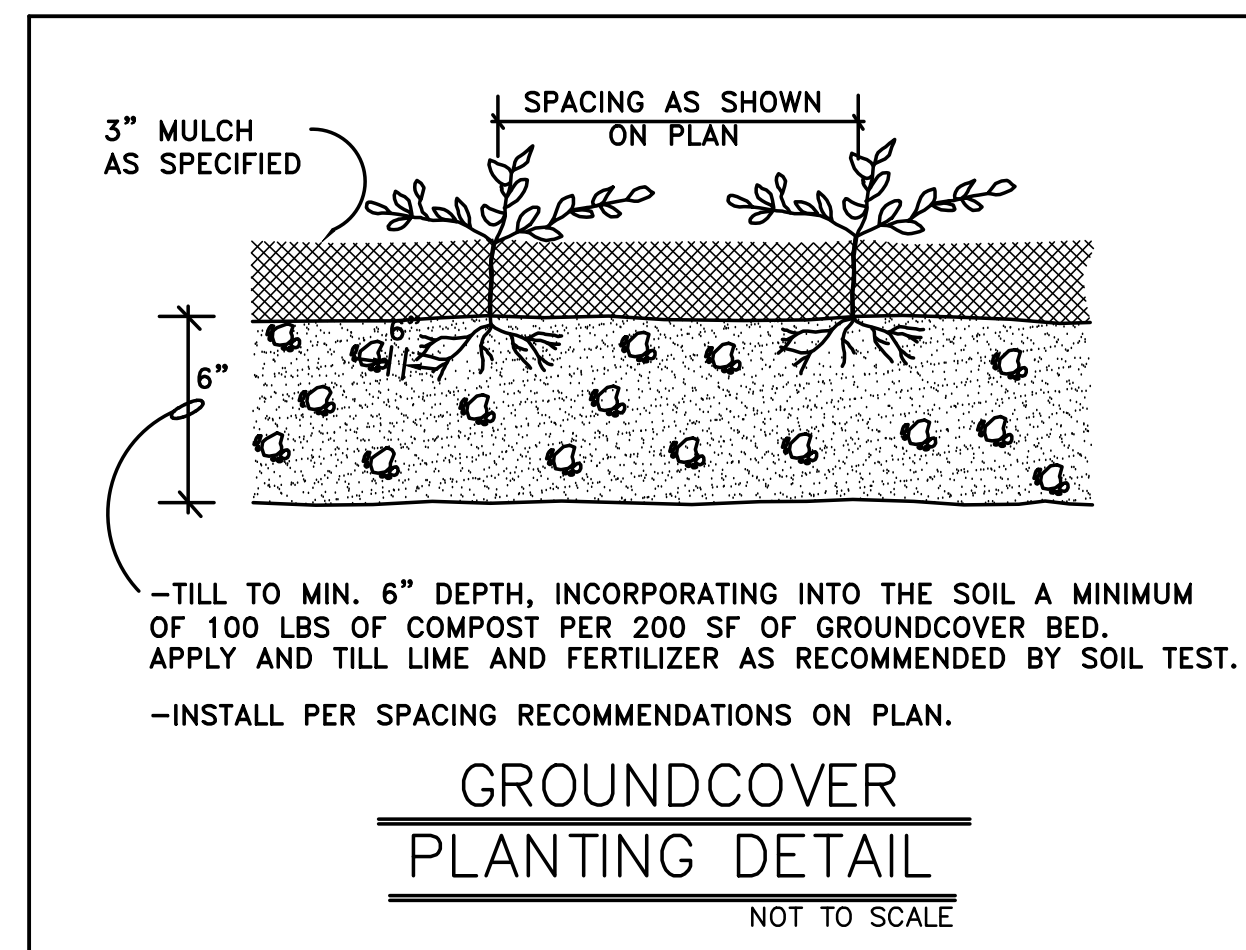
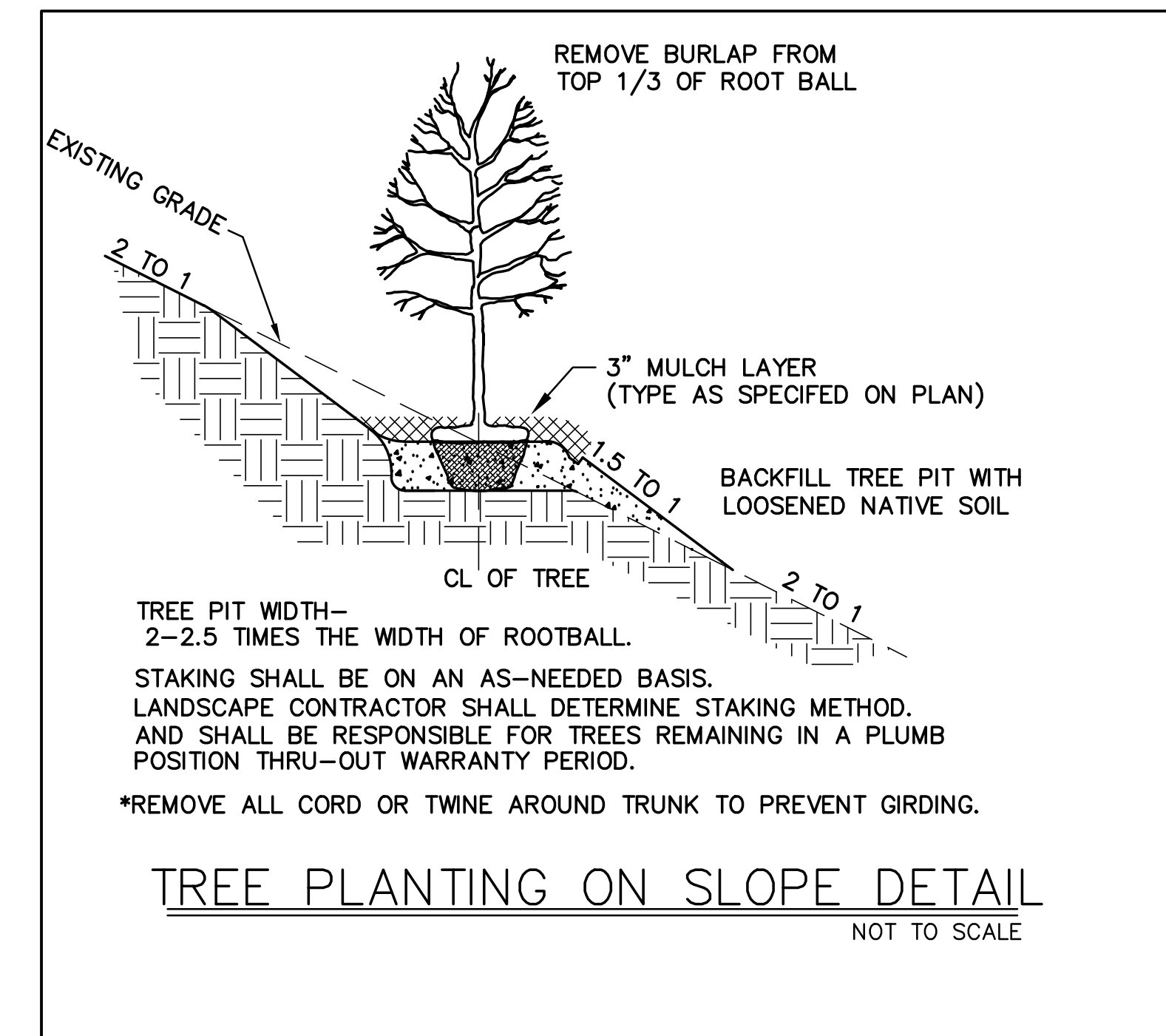
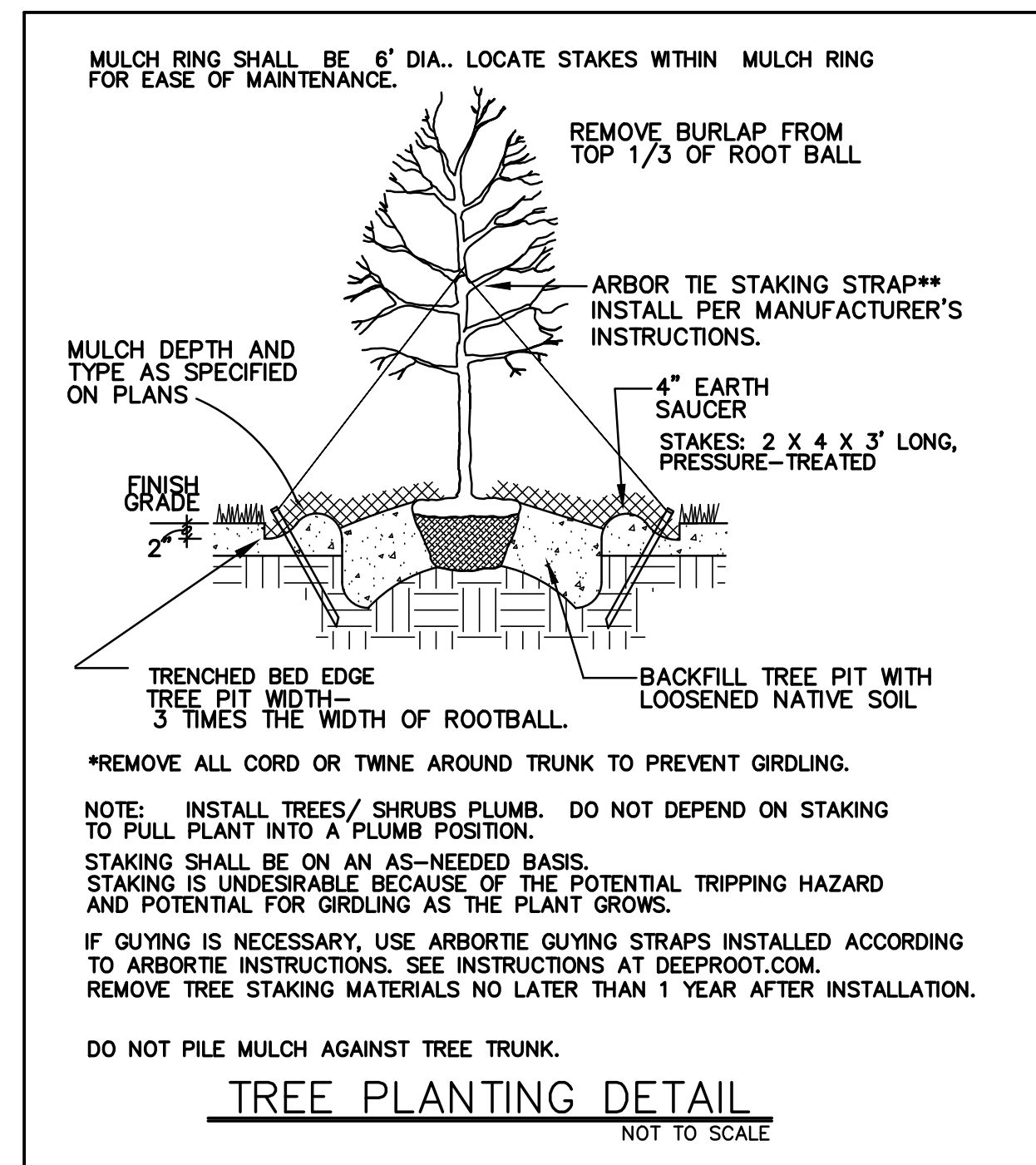
DRAWING TITLE
LANDSCAPE PLAN

DRAWING FILE:
DRAWN BY: RG
DATE: 02/11/26
PROJECT NO: LA-1.0

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TDU	TOTAL
TREES							
+	WK	2	CHIONANTHUS VIRGINICUS 'SERENITY'	SERENITY FRINGETREE	3" CAL.	0.4	0.8
+	LS2	6	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	COLUMNAR SWEET GUM	3" CAL.	0.4	2.4
+	MB	8	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM SOUTHERN MAGNOLIA	3" CAL.	0.4	3.2
+	MB2	6	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	3" CAL. STANDARD	0.4	2.4
+	NS	8	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE BLACK GUM	4" CAL.	0.5	4.0
+	UP	10	QUERCUS NUTTALLII 'QNSTC'	ESPLANADE NUTTALL OAK	4" CAL.	0.5	5.0
+	QSP	4	QUERCUS SHUMARDII 'QSFTC'	PANACHE SHUMARD OAK	4" CAL.	0.5	2.0
+	TD	3	TAXODIUM DISTICHUM	BALD CYPRESS	4" CAL.	0.5	1.5
+	DAM	3	TILIA AMERICANA 'DURABLE'	DURABLE AMERICAN LINDEN	3" CAL.	0.4	1.2
+	UA	3	ULMUS AMERICANA 'JEFFERSON'	JEFFERSON AMERICAN ELM	4" CAL.	0.5	1.5
+	SHRUBS						
+	CA	3	CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY	3 GAL, 2' HT MIN		AS SHOWN
+	CAR	5	CLETHRA ALNIFOLIA 'RUBY SPICE'	RUBY SPICE SUMMERSWEET	3 GAL.		
+	DA	27	DISTYLUM X 'PIIDIST-II'	BLUE CASCADE DISTYLUM	3 GAL., 18" HT MIN.		AS SHOWN
+	FS	3	FORSYTHIA X INTERMEDIA 'SPRING GLORY'	SPRING GLORY FORSYTHIA	3 GAL.		
+	SI	71	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	3 GAL, 2' HT MIN		
+	IP3	30	ILICIVM PARVIFLORUM	ANISE SHRUB	3 GAL., 24" HT MIN		AS SHOWN
+	IV2	27	ITEA VIRGINICA 'LITTLE HENRY'	LITTLE HENRY VIRGINIA SWEETSPIRE	3 GAL., 24" HT MIN		AS SHOWN
+	MP	21	MUHLBERGIA CAPILLARIS 'WHITE CLOUD'	WHITE MUHLY	1 GAL.		AS SHOWN
+	VC	11	VIBURNUM AWABUKI 'CHINDO'	CHINDO VIBURNUM	7 GAL.		
+	GROUND COVERS						
+	CV	98	CAREX VULPINOIDEA	BROWN FOX SEDGE	1 GAL.		
+	CL2	18,130 SF	CYNODON DACTYLON X 'TIFWAY 419'	TIFWAY 419 SOD	SOD		
+	PS2	228	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	1 GAL.		24" O.C.

TOTAL TDU PROVIDED: 24.0



CONTRACTOR TO PROVIDE 3 SETS OF "AS-BUILT" PLANS TO OWNER.

IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

SPECIFICATIONS:
GENERAL:

BEFORE BEGINNING ANY WORK, ALL UTILITIES AND UNDERGROUND CONSTRUCTION SHALL BE LOCATED BY THE LANDSCAPE CONTRACTOR SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE ANY SUBSURFACE IMPROVEMENTS. WHERE PUBLIC UTILITIES ARE PRESENT, THE LANDSCAPE CONTRACTOR SHALL REQUEST ON-SITE LOCATIONS BY ALL UTILITY COMPANIES AND CONFIRM THAT SUCH LOCATIONS HAVE BEEN COMPLETED. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MAKING, AT HIS OWN EXPENSE, ALL REPAIRS TO DAMAGED UTILITIES RESULTING FROM WORK COVERED BY THIS CONTRACT.

THE LANDSCAPE CONTRACTOR SHALL TAKE MEASURES TO PREVENT DUST, MUD, EQUIPMENT MARKS, ETC FROM SOILING AND DAMAGING IMPROVEMENTS. ANY DAMAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

PLANTS SHALL BE WATERED PRIOR TO TRANSPORTATION AND SHALL BE KEPT MOIST UNTIL PLANTED. ALL PLANTS SHALL BE PROTECTED FROM DESICCATION DURING DELIVERY WITH A PROTECTIVE COVERING OR ENCLOSED TRUCK.

ALL PLANTING AND PLANT MATERIAL REQUIRED BY THIS CONTRACT SHALL BE IN A SATISFACTORY AND ACCEPTABLE CONDITION WHEN THE CONTRACTOR APPLIES FOR PAYMENT.

INSTALL TREES PLUMB. DO NOT DEPEND ON STAKING TO PULL PLANTS TO PLUMB POSITION. STAKING SHALL BE ON AN AS-NEEDED BASIS.

AFTER PLANTS ARE INSTALLED, ALL PLANT BEDS AND TREE RINGS SHALL RECEIVE TREATMENT WITH PRE-EMERGENT TO PREVENT WEED GERMINATION.

INSPECTION:

THE OWNER'S REPRESENTATIVE SHALL INSPECT THE TOTAL WORK FOR ACCEPTANCE UPON REQUEST OF THE LANDSCAPE CONTRACTOR. ANY UNSATISFACTORY ITEMS SHALL BE NOTED AND MUST BE REMEDIATED BY THE LANDSCAPE CONTRACTOR PRIOR TO ACCEPTANCE. UPON SATISFACTORY COMPLETION OF ALL WORK, THE OWNER'S REPRESENTATIVE SHALL CERTIFY IN WRITING ACCEPTANCE OF THE WORK. PAYMENT FOR CONTRACT WORK TO THE CONTRACTOR PURSUANT TO ISSUANCE OF ACCEPTANCE SHALL BE DEEMED THE FINAL PAYMENT FOR SAID WORK.

WARRANTY:

THE WARRANTY PERIOD SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. ALL PLANT MATERIAL SHALL BE WARRANTED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL REPLACE, AT NO EXPENSE TO THE OWNER, UNHEALTHY PLANTS WITHIN 15 DAYS. THIS ASSUMES THAT NO SUCH REPLACEMENTS ARE NECESSITATED BY NEGLIGENCE OR ABUSE BY OWNER, BY VANDALISM OR BY ACTS-OF-GOD DAMAGE.

REPLACEMENT SIZES SHALL BE COMPARABLE TO THOSE ATTAINED BY ADJACENT THRIVING PLANTS. ALL REPLACEMENT STOCK WILL BE SUBJECT TO THE SAME WARRANTY REQUIREMENTS AS THE ORIGINAL STOCK. REPLACEMENT WARRANTY BEGINS ON DAY OF INSTALLATION.

THE LANDSCAPE CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS TO GRADES, VEGETATIVE COVER AND PAVING REQUIRED BECAUSE OF PLANT REPLACEMENTS. SUCH REPAIRS SHALL BE DONE AT NO EXTRA COST TO THE OWNER.

GRASSING:

PREPARE AREAS TO BE GRASSED BY REFINED GRADING TO INSURE PROPER DRAINAGE AND DISCOURAGE EROSION. ELIMINATE UNDESIRABLE GRASS AND WEED GROWTH IN AREAS TO BE GRASSED AND TAKE MEASURES AS NECESSARY TO PREVENT RE-GROWTH OF UNDESIRABLE PLANTS. SOIL SHALL BE TILLED OR LOOSENED TO 4" MIN. DEPTH, INCORPORATING FERTILIZER, LIME AND OTHER APPROPRIATE ADDITIVES AS INDICATED BY SOIL TEST INTO THE TOP 2" TO 3".

FOR SEEDDED AREAS:

UNLESS HYDROSEEDDED, AFTER SEED IS PLACED, FIRM SEEDS INTO THE TOP 1/4" OF SOIL. MULCH IMMEDIATELY WITH EITHER WEED-SEED-FREE DRY STRAW, OR WOOD CELLULOSE FIBER.

WATER AS NEEDED TO ESTABLISH SEEDLINGS. RE-SEED AT INTERVALS UNTIL ALL SEEDDED AREAS SHOW 95% COVER.

FOR SODDED AREAS:

SOD SHALL BE STRONGLY ROOTED, 2 YEAR OLD STOCK. THE SOD SHALL BE TOP QUALITY CERTIFIED SOD, FREE OF WEEDS, UNDESIRABLE NATIVE GRASSES, INSECTS AND DISEASES, AND UNIFORM IN THICKNESS. PROVIDE CERTIFICATION TAG TO OWNER. ALL SOD SHALL BE MACHINE CUT AND VIGOROUSLY GROWING (NOT DORMANT)

LAY SOD WITHIN 24 HOURS FROM TIME OF STRIPPING. DO NOT PLANT DORMANT SOD OR IF GROUND IS FROZEN.

LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP.

IN SLOPING AREAS, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOURS AND WITH JOINTS STAGGERED.

SOD SHALL BE SECURED IN-PLACE WITH STAPLES ON SLOPES GREATER THAN 3:1.

STAPLES FOR SOD STAKING SHALL BE NO. 11 GAUGE STEEL WIRE, U-SHAPED WITH LEGS 12 INCHES IN LENGTH AND 1" CROWN. STAPLES SHALL BE PLACED AT INTERVALS NO GREATER THAN 2' ON CENTER. TOP OF STAPLES SHALL BE DRIVEN FLUSH WITH SOD AS NOT TO INTERFERE WITH MOWING OPERATIONS.

TAMP OR ROLL TO INSURE CONTACT WITH SOIL. WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOD. REMOVE EXCESS SOIL TO AVOID SMOTHERING OF ADJACENT GRASS.

SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING.

APPLY PRE-EMERGENT TO ALL AREAS TO BE SODDED PRIOR TO INSTALLATION.

REVISIONS	DATE



Norcross Downtown Parking
City of Norcross
6170.02

2/11/2026

Construction Specifications - 60% Submittal

01 General Requirements	
011000	Summary of Work
012500	Substitution Procedures
013100	Project Management and Coordination
013200	Construction Progress Documentation
013233	Photographic Documentation
013300	Submittal Procedures
013330	Structural Submittals
014000	Quality Requirements
014100	Regulatory Requirements
014525	Structural Testing
015100	Temporary Utilities
015526	Traffic Control
015626	Temporary Fencing
016000	Product Requirements
017123	Field Engineering
017300	Execution
017419	Construction Waste Management and Disposal
017700	Closeout Procedures
017836	Warranties
017839	Project Record Documentation
02 Existing Conditions	
020100	Maintenance of Existing Conditions
023200	Geotechnical Investigation
024100	Demolition
024113.23	Utility Line Removal
03 Concrete	
031000	Concrete Forming and Accessories
031500	Concrete Accessories
032000	Concrete Reinforcing
033000	Cast-In-Place Concrete
034000	Precast Concrete
036200	Non-Shrink Grout
04 Masonry	
040110	Concrete Forming and Accessories
042000	Concrete Accessories
042613	Masonry veneer
05 Metals	
055000	Metal Fabrications
055213	Pipe Handrails
07 Thermal and Moisture Protection	
071000	Damp Proofing and Waterproofing
071113	Bituminous dampproofing
072500	Weather barriers
072600	Vapor retarders
079200	Joint Sealants

09 Finishes

- 099113 Exterior Painting
- 99653 Elastomeric coatings

10 Specialties

- 101423 Panel Signage
- 101453 Traffic Signage

12 Furnishings

- 129300 Site Furnishings

31 Earthwork

- 311100 Site Clearing
- 311300 Tree Protection
- 312200 Grading
- 312300 Excavation and Fill
- 312500 Erosion and Sedimentation Controls
- 313116 Termite control

32 Exterior Improvements

- 321216 Asphalt Paving
- 321313 Concrete Paving
- 321410 Brick Pavers
- 321613 Curbs and Gutters
- 321723 Pavement Markings
- 323213 Cast-In-Place Retaining Wall
- 329000 Landscaping

33 Utilities

- 334211 Stormwater Gravity Piping
- 334913 Storm Drainage Structures

Costs for 100% Design-Expanded Downtown Parking

100% Civil+LA plans	\$45,000
AIA or MasterSpec Project Specifications, modified from Norcross Standards or provided by Columbia Engineering	\$7,000
Complete Hydrology report	\$7,000
Meetings, Council presentations, exhibits, renderings	\$10,000
Site Lighting and electrical Plan and photometrics	\$5,000
Retaining walls Design (±5' detention pond walls):	\$5,000
NPDES Phases (Erosion Control Plans)	\$4,000
Manage bidding process(draft bid notice, hold meetings, review bids, call references, make recommendations)	\$15,000

TOTAL \$98,000

Finance Department Budget Adjustment Entry

	Purpose: Appropriate \$98,000 for additional spending for P&E for Expanded Downtown Parking		
	Item Number: 26-021626-3		
	Effective Date: 3/2/2026		
Description	Account Number	Increase/Debit	Decrease/Credit
Capital Funds - Property	310-5.4100.541000	98,000	
Mayor & Council - Contingency	100-5.1310.579000		98,000
	Totals	98,000	98,000



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

AGENDA REPORT

To: Mayor and Council
From: Len Housley, Director of Public Works
Meeting Date: February 16, 2026 – Policy Work Session (PWS)
Item No.: 2026-60
Title: Thrasher Park Lighting Enhancements Update
CC: Eric Johnson, City Manager

Recommendation

Authorize staff to proceed with proposal for Thrasher Park lighting enhancements provided by TheOutdoorLights, Inc.

Background

Following approval by Mayor & Council at the November regular meeting, city staff issued a Request for Proposals for Thrasher Park Lighting Enhancements (RFP PW 26-03). The scope included general installation of lighting enhancements with special attention to the inclusion of string/bistro lighting for the amphitheater lawn. Submissions were due on Friday, February 6, 2026, at 12:00pm; however, the city did not receive any proposals. Interested firms cited reasons such as internal scheduling constraints and incompatibility between available services and the advertised scope of work.

Due to the lack of submissions in response to the RFP and in light of recent adopted changes to the city's Purchasing policy, city staff recommends proceeding with the quote for services and proposed enhancements provided by TheOutdoorLights, Inc. in October 2025. Alternatively, city staff may re-issue the Request for Proposals, though an increase in responses is not guaranteed. The project is currently unfunded.

Financial Impact

\$38,952.79 (\$24,060 for lighting throughout park + \$15,121 for string lighting) one-time

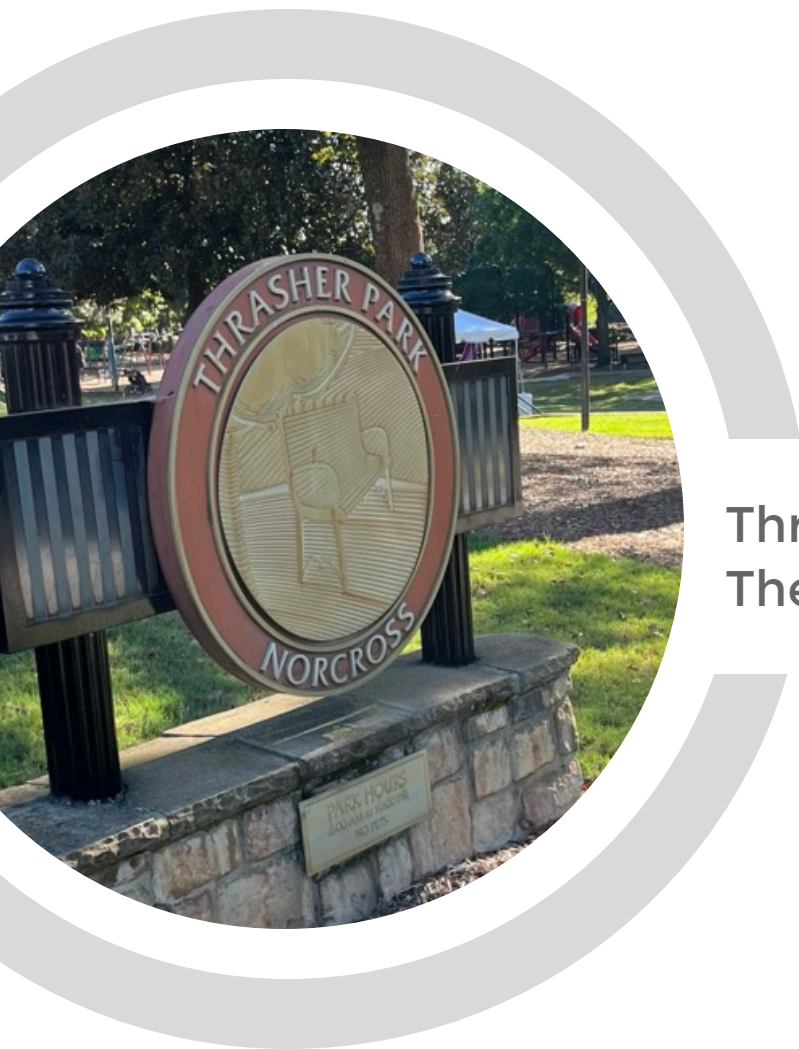
Consistent with Comprehensive Plan? (If applicable, please select which goal applies)

1. Continues to define Norcross' sense of place
2. Continues to Strengthen Norcross as a Livable, Inclusive, and Safe Environment

Attachments

1. Lighting Concept Layout – TheOutdoorLights, Inc.
2. Cost Proposal – TheOutdoorLights, Inc.
3. Cost Proposal and Lighting Concept Layout – Firefly Lighting
4. RFP Packet – RFP PW 26-03
<https://app.box.com/s/ojxquoggrf7srkvg17yto09c6m9uqfwt>

Update



Thrasher Park Lighting Proposal TheOutdoorLights, Inc.



Thrasher Park Lighting Enhancements Concept Draft



Proposed concept by
TheOutdoorLights

● Sign wash light (2)



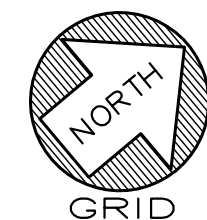
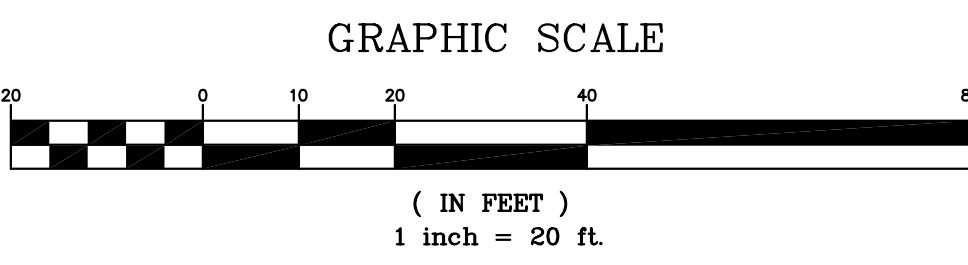
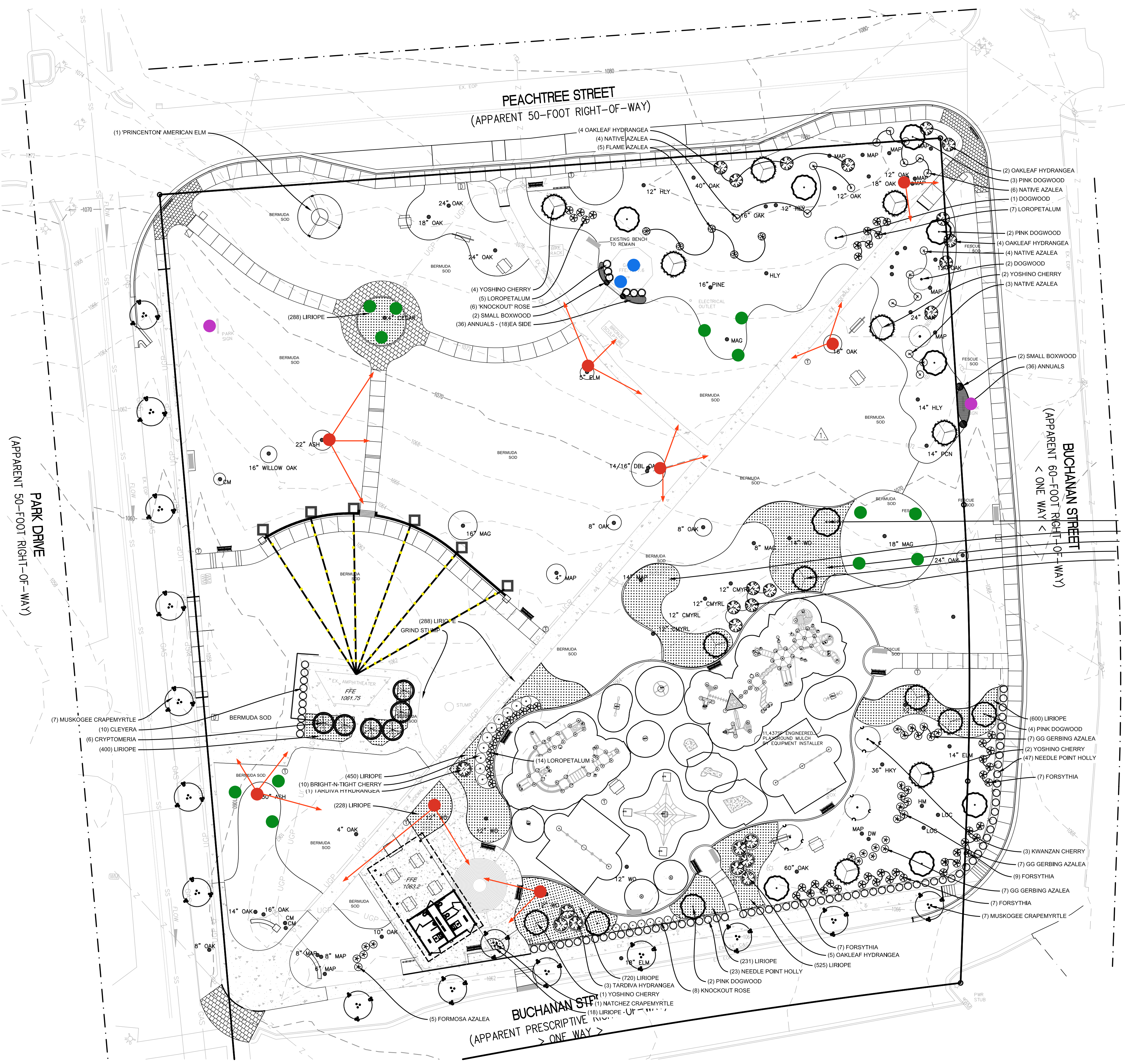
● Flush well light (13)



● Tree down light (20)



● Structure down light (2)



Park Sign Lighting

Single wash lights located at Park Dr park sign and Buchanan St park sign



Amphitheater String Lighting

String lights over amphitheater lawn. Six 12'x1.5" black steel poles installed above retaining wall and 460' of string lights, 230 bulbs, fanning over the lawn to the stage



Pavilion Willow Oak Lighting

Four down lights, two in each willow oak near pavilion for lighting paths, seating, and art mosaic



Buchanan St Entry Oak Lighting

Two down lights in oak near picnic table along Buchanan St entry path and two down lights in oak near Buchanan St entry for lighting paths



Magnolia Lighting

Three recessed well lights under Magnolia near gazebo and four recessed well lights under Magnolia off Buchanan St near playground



Gazebo Lighting

Two down lights inside gazebo for seating area and steps



Deodar Cedar Lighting

Three up lights around Deodar cedar



Service Drive Green Ash Lighting

Three down lights and three recessed well lights for green ash off Park Dr along service drive for lighting paths, drive, tree and picnic bench



Near Gazebo Chinese Elm Lighting

Three down lights for Chinese elm lighting paths and bronze frog sculpture near gazebo



Central Water Oak Lighting

Three down lights for central water oak for lighting paths



Path To Stage Green Ash Lighting

Three down lights in green ash lighting path and steps to stage



TheOutdoorLights



TheOutdoorLights

The Down DN



The Well

W4





The Wash

BW4





The Copper Down

CDN

TheOutdoorLights, Inc.
 3335A Hutchinson Road,
 Cumming, GA 30040

770-844-1760 ER101991 LVG105193

Proposal

Proposal Date: 10/14/2025

Proposal #: 20267

Ship To:

93 Park Dr.
 Norcross, GA 30071

Bill To:

City of Norcross
 345 Lively Ave
 Norcross, Ga 30071

TERMS	70% Down & 30% Upon
--------------	---------------------

Qty	Description
	Lighting Project For: Thrasher Park 93 Park Dr. Norcross, GA 30071
	Lighting to illuminate walkways and tree canopies throughout the park
10	Well Light - Aged Brass (Shield) with LED 7 Watt MR16 3000K 60 deg bulb bulb to accent mature tree canopies throughout the park and create depth of the space.
2	Wash Light, Aged with 5 watt LED, 3000K 120 deg bulb to accent Park signs.
3	Well Light - Aged Brass (Shield) with LED 7 Watt MR16 3000K 60 deg bulb to accent the Cedar tree located in the island at the walkway close to the Amphitheater
2	Copper Down Light w/ Straight Shield, LED 4Watt MR16 3000K 60degree bulb with surface mount to mount inside the Gazebo to illuminate the seating area and steps leading to the Gazebo.
20	Down Light with Angled Shield, LED 7watt 3000K 60 Deg Bulb to illuminate the walkways in wooded areas that are not illuminated by the street lamps
3	300 Watt Stainless Steel Transformer
3	Timer Astronomical
1	Electrical Hook Up
	Project Total: \$24,060.00
	If paying by Credit Card, please add 3% convenience fee.
	Our terms are Due Upon Completion of Project. Accounts paid after 30 days from invoice date will be subject to a 1.5% monthly finance charge until balance is paid in full.

Check Policy: For your convenience, if your check is dishonored or returned for any reason, we will electronically debit your account for the amount of the check plus a \$30.00 processing fee.

3335A Hutchinson Road . Cumming, GA 30040 . P 770-844-1760 . F 770-844-1747 . www.TheOutdoorLights.com
 Design Build - Installation - Maintenance

Total

Proposal

Proposal Date: 10/14/2025

Proposal #: 20267

Ship To:

93 Park Dr.
 Norcross, GA 30071

Bill To:

City of Norcross
 345 Lively Ave
 Norcross, Ga 30071

TERMS	70% Down & 30% Upon
--------------	---------------------

Qty	Description
1	<p>CONTRACTOR AGREEMENT This agreement made the 14th day of October 2025 by and between The Outdoor Lights, Inc. & City of Norcross/ Hunter Rawls hereinafter called the Contractor and the Owner. Witnessed, that the Contractor and the Owner for the considerations named agree as follows:</p> <p>Contract Price The Owner shall pay the Contractor for the material and labor to be performed under the contract the sum of Twenty Four Thousand Sixty & 00 /100 Dollars (\$24,060.00) subject to additions and deductions pursuant to authorized change orders.</p> <p>Contractor Work The Contractor shall furnish all of the materials and perform all work shown on Proposal #20267 as annexed hereto as it pertains to work to be performed on property at 93 Park Dr. Norcross, GA 30071.</p> <p>This is an estimate only and the price is subject to change if our crew encounters any unforeseen conditions which could not be reasonably anticipated ahead of time.</p> <p>Progress Payments The contract price shall be paid in the manner following, 70% down and the remaining 30% upon completion of project. Accounts paid after 30 days from invoice date will be subject to a 1.5% monthly finance charge.</p> <p>By: Chris Wakefield, President Contractor</p> <p style="margin-left: 300px;">By: _____ Owner</p> <p>IMPORTANT NOTE: We are happy to request a utility locate which will indicate if there are underground utilities on your property to ensure we do not disturb them during the installation process. These include lines from the power, cable TV, gas and phone companies. This usually requires a minimum of 72 hours to complete, however, there is no cost to you. TheOutdoorLights, Inc. is not responsible for accidental damage to any other below ground utilities such as invisible fences, irrigation, water, or sewer lines. It should be noted that the cable sites will be marked with orange paint which may take time to fade completely. Would you like us to make the call to schedule a utility locate for you at this time? ___ Yes or ___ No.</p> <p>Warranty of low voltage lighting is for one year on parts, and one year labor. After one year, we charge labor and support manufacture warranties. Warranty is lifetime on Up Light fixtures and Transformers. Warranties on other fixtures are 5 to 10 years, per manufacture warranty. Warranties will not be honored if damaged by an act of nature, lightning, flood, tornado, etc. They are also not covered if we did not install the fixture. We don't warranty other companies work.</p> <p>Warranty for high voltage system is for one year on labor, workmanship, fixtures, ballast, timers, and bulbs.</p> <p>If payment is not received in full according to contract terms the customer will agree to pay 1.5% interest per month until the open balance is collected. If The Outdoor Lights, Inc. has to pursue legal action to collect payment the customer will be required to cover all lawyer fees, court cost or other cost incurred during collection process.</p> <p>Pricing represented in this proposal is valid for 30 days from the proposal date only.</p> <p>If you have questions regarding this proposal contact Victor Porter at 678.780.9030</p>

Check Policy: For your convenience, if your check is dishonored or returned for any reason, we will electronically debit your account for the amount of the check plus a \$30.00 processing fee.

3335A Hutchinson Road . Cumming, GA 30040 . P 770-844-1760 . F 770-844-1747 . www.TheOutdoorLights.com
 Design Build - Installation - Maintenance

Total	\$24,060.00
--------------	--------------------

TheOutdoorLights, Inc.
 3335A Hutchinson Road,
 Cumming, GA 30040

770-844-1760 ER101991 LVG105193

Proposal

Proposal Date: 10/8/2025
Proposal #: 20160

Ship To:

93 Park Dr.
 Norcross, GA 30071

Bill To:

City of Norcross
 345 Lively Ave
 Norcross, Ga 30071

TERMS	70% Down & 30% Upon
--------------	---------------------

Qty	Description
	Lighting Project For: Thrasher Park 93 Park Dr. Norcross, GA 30071
	Proposal to install café lights over the amphitheater green space
460	Festive String Lights, with Medium Base Socket (no bulbs). Sold by the foot. lights to fan over the green space from the amphitheater. There will be six café poles behind the stone retaining wall the café lights will tie into
230	LED Festive Bulb Medium Base
6	12FT x 1.5in black steel custom festive light pole to secure cafe lighting
1	IHOOK 1/4 x 3
1	Weatherproof Switch
12	Concrete by the bag
1	Electrical Hook Up
	Project Total: \$14,892.79
	If paying by Credit Card, please add 3% convenience fee.
	Our terms are Due Upon Completion of Project. Accounts paid after 30 days from invoice date will be subject to a 1.5% monthly finance charge until balance is paid in full.

Check Policy: For your convenience, if your check is dishonored or returned for any reason, we will electronically debit your account for the amount of the check plus a \$30.00 processing fee.

3335A Hutchinson Road . Cumming, GA 30040 . P 770-844-1760 . F 770-844-1747 . www.TheOutdoorLights.com
 Design Build - Installation - Maintenance

Total

Proposal

Proposal Date: 10/8/2025
Proposal #: 20160

Ship To:

93 Park Dr.
 Norcross, GA 30071

Bill To:

City of Norcross
 345 Lively Ave
 Norcross, Ga 30071

TERMS	70% Down & 30% Upon
--------------	---------------------

Qty	Description
	<p>CONTRACTOR AGREEMENT This agreement made the 8th day of October 2025 by and between The Outdoor Lights, Inc. & City of Norcross / Hunter Rawlins hereinafter called the Contractor and the Owner. Witnessed, that the Contractor and the Owner for the considerations named agree as follows:</p> <p>Contract Price The Owner shall pay the Contractor for the material and labor to be performed under the contract the sum of Fourteen Thousand Eight Hundred Ninety Two & 79 /100 Dollars (\$14,892.79) subject to additions and deductions pursuant to authorized change orders.</p> <p>Contractor Work The Contractor shall furnish all of the materials and perform all work shown on Proposal #20160 as annexed hereto as it pertains to work to be performed on property at 93 Park Dr. Norcross, GA 30071</p> <p>This is an estimate only and the price is subject to change if our crew encounters any unforeseen conditions which could not be reasonably anticipated ahead of time.</p> <p>Progress Payments The contract price shall be paid in the manner following, 70% down and the remaining 30% upon completion of project. Accounts paid after 30 days from invoice date will be subject to a 1.5% monthly finance charge.</p> <p>By: Chris Wakefield, President Contractor</p> <p>By: _____ Owner</p> <p>IMPORTANT NOTE: We are happy to request a utility locate which will indicate if there are underground utilities on your property to ensure we do not disturb them during the installation process. These include lines from the power, cable TV, gas and phone companies. This usually requires a minimum of 72 hours to complete, however, there is no cost to you. TheOutdoorLights, Inc. is not responsible for accidental damage to any other below ground utilities such as invisible fences, irrigation, water, or sewer lines. It should be noted that the cable sites will be marked with orange paint which may take time to fade completely. Would you like us to make the call to schedule a utility locate for you at this time? ___Yes or ___ No.</p> <p>Warranty of low voltage lighting is for one year on parts, and one year labor. After one year, we charge labor and support manufacture warranties. Warranty is lifetime on Up Light fixtures and Transformers. Warranties on other fixtures are 5 to 10 years, per manufacture warranty. Warranties will not be honored if damaged by an act of nature, lightning, flood, tornado, etc. They are also not covered if we did not install the fixture. We don't warranty other companies work.</p> <p>Warranty for high voltage system is for one year on labor, workmanship, fixtures, ballast, timers, and bulbs.</p> <p>If payment is not received in full according to contract terms the customer will agree to pay 1.5% interest per month until the open balance is collected. If The Outdoor Lights, Inc. has to pursue legal action to collect payment the customer will be required to cover all lawyer fees, court cost or other cost incurred during collection process.</p> <p>Pricing represented in this proposal is valid for 30 days from the proposal date only.</p> <p>If you have questions regarding this proposal contact Victor Porter at 678.780.9030</p>

Check Policy: For your convenience, if your check is dishonored or returned for any reason, we will electronically debit your account for the amount of the check plus a \$30.00 processing fee.

3335A Hutchinson Road . Cumming, GA 30040 . P 770-844-1760 . F 770-844-1747 . www.TheOutdoorLights.com
 Design Build - Installation - Maintenance

Total	\$14,892.79
--------------	--------------------



325 South Atlanta St. Bldg. 3 Roswell, GA 30075 P: 404-275-4368

Lighting Proposal for Thrasher Park:

- Up light the two columns at the corner of Park with (1) LED fixture each.
- Up light the two large trees between the steps and Park with (2) 10w in-grade fixtures each.
- Up large Crape Myrtle behind bench along Park with (2) LED wash lights.
- Up the two Oak trees along North Peachtree between the art sculpture and the park bench with (2) in-grade LED fixtures each.
- Install (12) LED strip lights under the cap of the stone wall in front of the pavilion.
- Up light Elm and Oak trees near the gazebo with (2) in-grade LED fixtures each.
- Install a pole light head on camera pole to take care of the dark area.
- Install (2) LED Moonlight down lights in canopy of the Oak tree that is between the Magnolias on the N. Peachtree side of the playground, Install (2) LED in-grade fixtures to up light the canopy.
- Install (2) LED Moonlight down lights in the canopy of the large Oak tree that is along the walkway from Buchanan. These will take care of the under lit areas. Install (2) LED in-grade fixtures to up light the canopy.
- Up light the two stone columns at the Buchanan entrance with (1) LED fixture each.
- Up light the large Oak tree by the NW corner of bathroom building with (2) LED in-grade fixtures.
- Up light the large Maple type tree adjacent to the service driveway with (3) LED in-grade fixtures each.
- Up light the Maple tree on South side of bathroom building with (2) in-grade fixtures.
- Up light the two old stone columns at the SE corner of the park with (1) LED fixture each.
- Install (3) 300-watt stainless steel transformers controlled by photocells.

Cost: \$29560.00

Pavillion Festoon-

- Install (8) runs of commercial grade 24” spaced LED festoon lights between (4) steel poles and the pavilion. Install Stainless steel guide wires to secure light strings between the pavilion and poles and between the poles.
- Install 20’ square direct bury poles above the stone wall.
- Install a switch at the pavilion to control the lighting.

Cost: \$15121.00

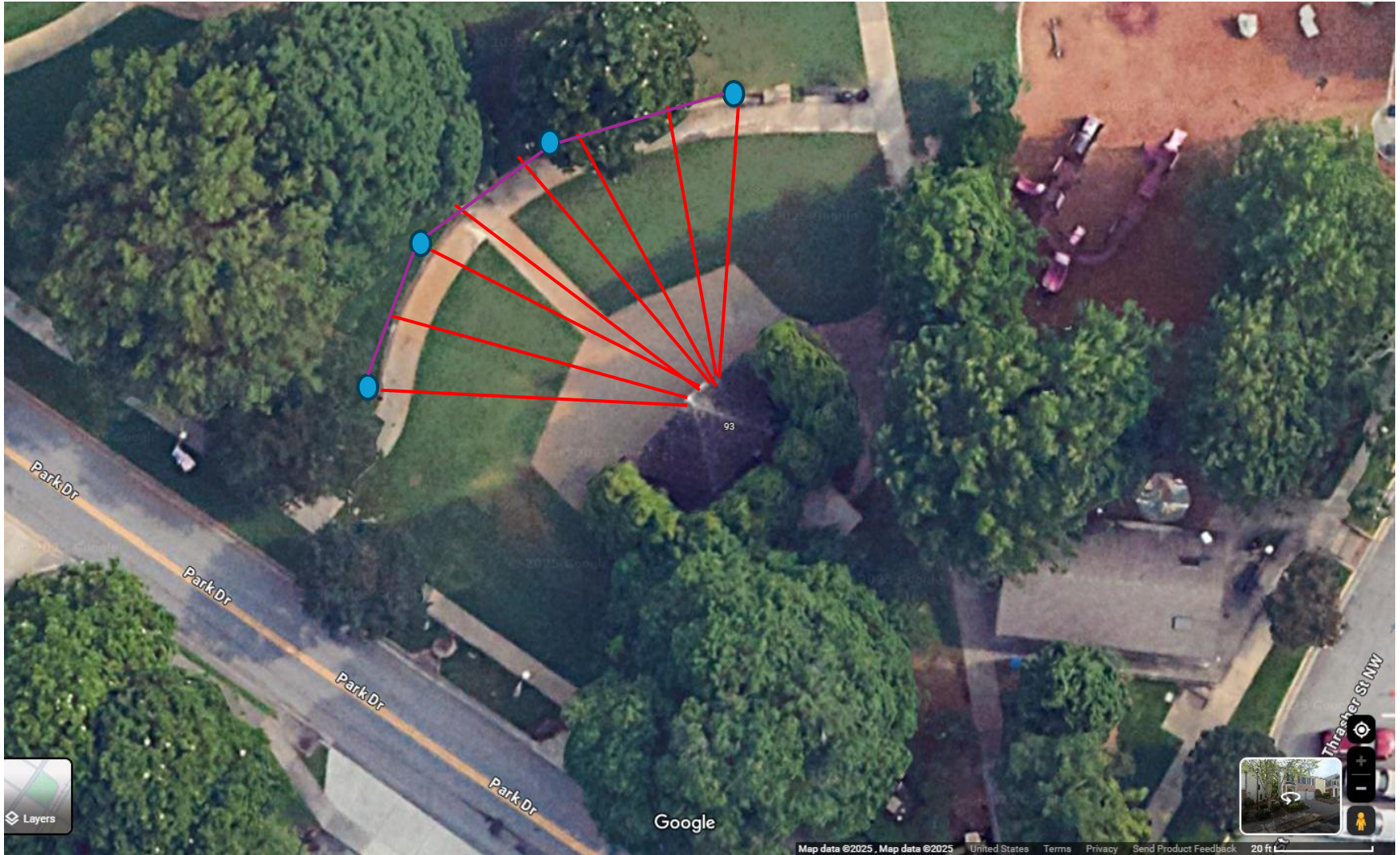
Price includes all materials and labor for proposed work.

All fixtures come with a 10-year warranty.

Firefly Lighting LLC requires that a 50% deposit be made prior to installation with the remainder due upon completion.

Draft Concept-Thrasher String Lighting

- Poles
- Guidewires
- String lights



PROJECT: _____

TYPE: _____

CAT #: _____

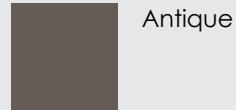
DESCRIPTION

Accessory, Brass - Antique, Macro, Recessed, Circular, Flush

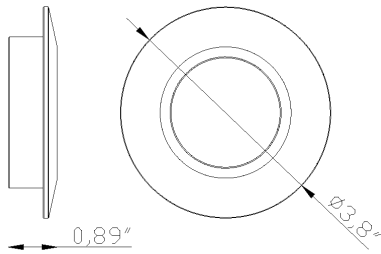
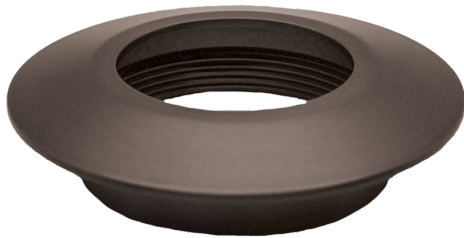
SPECIFICATIONS

Construction	Brass
Finish	Antique
Light Warranty	Lifetime

FINISHES



NOTES



Lumien Lighting

☎ 770-485-9002
 ✉ orders@lumienlighting.com
 🌐 www.lumienlighting.com

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MODULE TYPE (required)	WATTS	COLOR TEMP	BEAM SPREAD	FINISH	ACCESSORIES
---------------------------	-------	---------------	----------------	--------	-------------

LAB-128

+

CORE: Z4B1

- - - -

10W 2700K
3000K A

+

Mounts - Ground (Optional)

LAP-009 Plastic, PVC for Macro Modules

Mounts - Recessed (Optional)

LAB-187 Stainless Steel, Macro, Spring-Loaded

Accessories - Lens (Optional)

LAB-145 BK Aluminum, Macro, Banded Hex

Accessories - Pro Series (Optional)

LP-REMOTE LumienPRO Remote

LAB-128

+

PRO: Z7B1

- - - -

10W 2700-5700K 40° A

+

LAB-128

+

PRO: Z9B1

- - - -

10W 2700-5700K 40° A

+

CORE

PRO

PRO

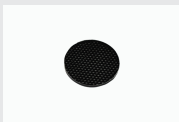
	Z4B1-10W-27K-A Z4B1-10W-30K-A	Z7B1-10W-A	Z9B1-10W-A
Construction	Brass	Brass	Brass
Finish	Antique	Antique	Antique
Input Voltage	10-15V	10-15V	10-15V
Wattage (Volt Amps)	10W (10.77)	10W (14.87)	10W (14.6)
Module Lumens	800 Lm	610 Lm	445 Lm
Color Temperature	2700K, 3000K	2700-5700K	2700-5700K
Beam Spread	40°	40°	40°
Lead Wire Length	6'	6'	6'
CRI	80+	80+	80+
RGB	No	No	Yes
Dimmable	Primary Dimming	With LumienPRO Remote	With LumienPRO Remote
Rated Life	50,000 Hrs	50,000 Hrs	50,000 Hrs
Warranty	10 Years	10 Years	10 Years
Core Drill Size	-	-	-

Mounts - Ground**LAP-009**

Accessory, Plastic, PVC for
Macro Modules

Mounts - Recessed**LAB-187**

Accessory, Stainless Steel,
Macro, Spring-Loaded
Soffit Bracket

Accessories - Lens**LAB-145**

Accessory, Aluminum -
Black, Macro, Banded Hex
Louver

Accessories - Pro Series**LP-REMOTE**

LumienPRO Remote
(Functionality determined
by the Light Fixture)

LumienPRO

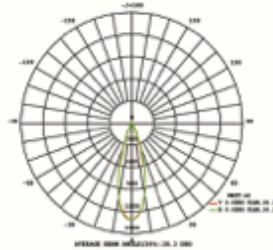
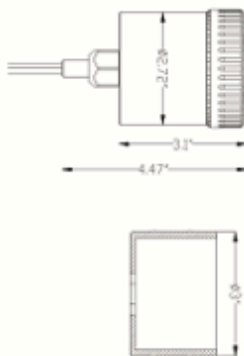
Z9B1-10W-A

Macro Module
LumienPRO (RGBWW - 2700-5000K)
IP68 Rated (waterproof)



SPECIFICATIONS

Fixture Type	Fixture Components	Fixture Material	Fixture Style	Watts	Color Temperature	Finish
Z (Macro)	9 (LumienPRO RGBWW-Color + 2700-5000K)	B (Brass)	1 (ML)	10W (10W)	RGBWW (2700-5000K)	A (Antiqued)



Construction: Brass
Finish: Antique Brush
Lead Wire: 6ft long
Light Source: Modular LED
Wattage: 10W
Operating Voltage: 10-15V
Lumens: 445 LM
Beam Spread: 40°
Color Temperature: RGBWW - 2700-5000K
Volt Amps: 14.60
RGB: Yes
CRI: 80+
Rated Life: 50,000 Hrs
Dimmable: With LumienPRO Remote

ACCESSORIES



WARRANTY

Lifetime Warranty on the Housing,
10 Year Warranty on the LED Light Source

CERTIFICATION

UL Listed I File #E501872

Lumien Lighting reserves the right to modify the design of our products at any time and data listed on spec sheets is subject to change.

Lumien**CORE**

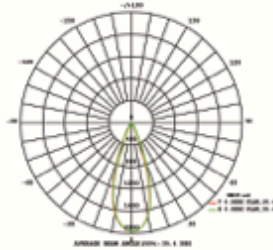
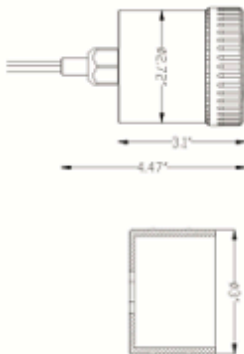
Z4B1-10W-27K-A
Z4B1-10W-30K-A

Macro Module
IP68 Rated (waterproof)



SPECIFICATIONS

Fixture Type	Fixture Components	Fixture Material	Fixture Style	Watts	Color Temperature	Finish
Z (Macro)	4 (Integrated Modular)	B (Brass)	1 (ML)	10W (10W)	27K (2700K) 30K (3000K)	A (Antiqued)



Construction: Brass
Finish: Antique Brush
Lead Wire: 6ft long
Light Source: Modular LED
Wattage: 10W
Operating Voltage: 10-15V
Lumens: 800 LM
Beam Spread: 40°
Color Temperature: 2700K or 3000K
Volt Amps: 10.77
RGB: No
CRI: 80+
Rated Life: 50,000 Hrs
Dimmable: Primary Dimming Capable

ACCESSORIES



WARRANTY

Lifetime Warranty on the Housing,
10 Year Warranty on the LED Light Source

CERTIFICATION

UL Listed I File #E501872

Lumien Lighting reserves the right to modify the design of our products at any time and data listed on spec sheets is subject to change.

LumienPRO

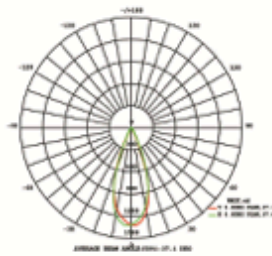
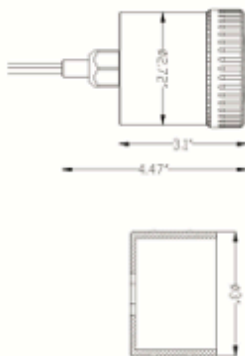
Z7B1-10W-A

Macro Module
LumienPRO (WW - 2700-5000K)
IP68 Rated (waterproof)



SPECIFICATIONS

Fixture Type	Fixture Components	Fixture Material	Fixture Style	Watts	Color Temperature	Finish
Z (Macro)	7 (LumienPRO WW - 2700-5000K)	B (Brass)	1 (ML)	10W (10W)	2700-5000K	A (Antiqued)



Construction: Brass
Finish: Antique Brush
Lead Wire: 6ft long
Light Source: Modular LED
Wattage: 10W
Operating Voltage: 10-15V
Lumens: 610 LM
Beam Spread: 40°
Color Temperature: WW - 2700-5000K
Volt Amps: 14.87
RGB: No
CRI: 80+
Rated Life: 50,000 Hrs
Dimmable: With LumienPRO Remote

ACCESSORIES



WARRANTY

Lifetime Warranty on the Housing,
10 Year Warranty on the LED Light Source

CERTIFICATION

UL Listed I File #E501872

Lumien Lighting reserves the right to modify the design of our products at any time and data listed on spec sheets is subject to change.



Moon Visions R38 22W LED Bullet Series

Housing (BR40): 380 Aluminum alloy die cast.

Downshields: Required for use as a downlight.

(DSA10): Fabricated steel material, angle-cut 10" in length.

(DST10): Fabricated steel material, straight tube shield 5.75" in length.

Upshields: Required for use as an uplight. Die cast aluminum with heat resistant crystal tempered convex glass lens. Sealed with 50 year-life silicone solution and high temperature silicone sponge gaskets. Positive stainless screw mount attachment.

(USR40): Angled upshield 3.9" tall.

(UST40): Straight Tube upshield 5" tall with debris guard.



Socket:

- **12V Bullet** = Unique 12V GU24 Twist-Lock base allows for maximum pin contact as well as "locked" socket to insure lamp security. GU24 Base is known for high vibration tolerances (a must for fixtures mounted high in trees) and high heat tolerances.
- **120V Bullet** = Leviton 4KV Pulse rated 600V porcelain lampholders with 25% more lamp contact area than Chinese sockets.

Knuckle: Forward placement for better balance. Adjustable in 7.5° increments for precise aiming. 1/2" NPSM threaded arm with stainless hardware.

Finish: Super polyester Duracoat™ powder coat with 5 year warranty. South Florida exposure rating for 5 years. Powder coated inside and outside with additional **DuraLune™ Electro-Coating** application underneath. Standard textured finishes are Hartford Green (HGT) and Bronze (BZT).



Electrical Assembly:

- **12V Lamp** = Low voltage (12V) system requires magnetic or electronic transformer, sold separately. Electronic transformers must be within 25 feet of LED lamp.
- **120V Lamp** = Direct lamp replacement design; therefore, no separate driver needed.



LED MV120V R38 22W 5K FL

LED Lamp Included: 18 Low heat-emitting LEDs with no UV light radiation, paired with excellent heat sinks, provides a 50,000 hr. expected lamp life and 3 year warranty. Solid state LED direct lamp replacement technology. LED Lamp is not dimmable. PAR38 light engine contains built-in fan for maximum heat dissipation. Available in 25° (NFL) and 40° (FL) beam spreads in Cool White, and 40° (FL) in Warm White.

LED Lamp Accessories:

Overall Spread Lens—doubles beam spread of lamp.

Mercury Vapor Lens—corrects color temperature to 5500K.

Moon Visions R38 22W LED Bullet Series Ordering Guide

Fixture Series	Voltage	Shield	Mount*	Color
BR40	12V	DSA10	TM	HGT
	120V	DST10	TMB	BZT
		USR40	S3	
		UST40		

BR40	12V	DSA10	TM	BZT
-------------	------------	--------------	-----------	------------

Example: BR40-12V-DSA10-TM-BZT = 12V R40 Bronze Downlight

LED Lamp Series	Voltage	Size	Wattage	Color and Beam Spread	Spread Lens	5500K Lens
LED MV	12V	R38	22W	3500K 40° FL	OSL	MV
	120V			5000K 25° NFL		
				5000K 40° FL		

LEDMV	12V	R38	22W	5000K 40°	MV
--------------	------------	------------	------------	------------------	-----------

Example: LED MV12V R38 22W 5000K 40° FL MV = 22W 12V LED PAR38 FL with MV lens

*Mounting Accessories-



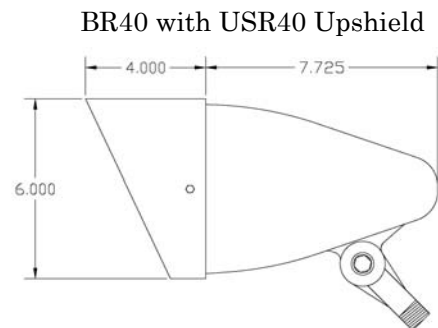
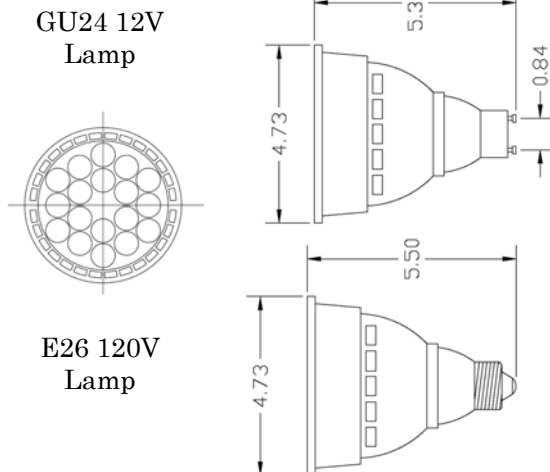
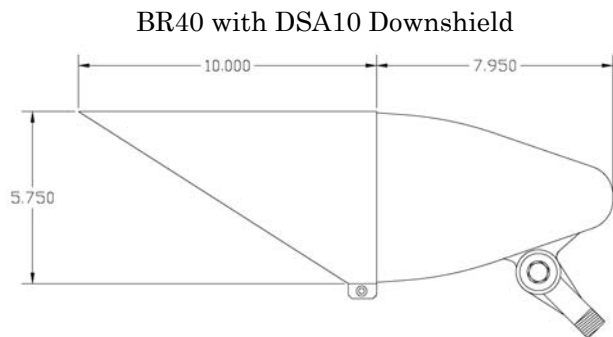
Tree Mount



Tree Mount Box



S3
(12V or 120V)





Mayor: Craig Newton • Mayor Pro Tem: Bruce Gaynor • Councilmember: Andrew Hixson • Councilmember: Josh Bare
Councilmember: Matt Myers • Councilmember: Marshall Cheek • City Manager: Eric Johnson • City Clerk: Monique Philip

AGENDA REPORT

To: Mayor and Council
From: Maurice Shepherd, Court Administrator/Chief Clerk of Court
Meeting Date: February 16, 2026 – Policy Work Session (PWS)
Item No.: 2026-61
Title: Pay Increase for Judge and Solicitor
CC: Eric Johnson, City Manager

Recommendation

Approve pay increases for Judge and Solicitor to remain competitive in the current job market.

Background

The Judge and Solicitor have not received a pay increase in the past 2–3 years, despite a roughly 25% increase in citations issued over the last three years. Contracted staff have also been asked to work an additional three hours per month to help maintain the high level of efficiency our court provides to the public and our citizens. To better understand current market rates, four cities were surveyed about their 2025 pay rates and the number of cases processed, and many have increased hourly rates to remain competitive in today's job market.

Financial Impact

To increase the rate of pay for the Judge to \$900 per day for Arraignments and Inmate Court.

To increase the rate of pay for the Solicitor to \$650 for arraignments and \$450 for Inmate court.
Total financial increase will be \$43,200 for FY25-26.

Consistent with the Comprehensive Plan? (If applicable, please select which goal applies.)

6. Furthers the City's Tradition of Strong Leadership and High Level of Quality Services

Attachments

2025 Municipal Pay Rates

Budget Amendment Item 26-021626

Pay Rate & Case Count

Johns Creek

Pay Rate- Judge \$200 per hour; Solicitor \$200 per hour

Court Duration- 2-4 hours depending on case load

2025 Ticket Count- 7,460

Lawrenceville

Pay Rate- Judge \$450 per day; Solicitor \$250 per hour

Court Duration- 2-4 hours depending on case load

2024 Ticket Count- 9,660

Snellville

Pay Rate- Judge \$850 per day; Solicitor \$750 per day

Court Duration- 2-4 hours depending on case load

2025 Ticket Count- 17,536

Finance Department Budget Adjustment Entry

	Purpose: Budget Amendment to increase Pay increases for Judge and Solicitor for FY2030		
	Item Number: 26-021626		
	Effective Date: 3/2/2025		
Description	Account Number	Increase/Debit	Decrease/Credit
Budgeted Fund Balance	210-389500		43,200
Professional Services - Judge	210-5.3210.521220	21,600	
Professional Services - Solicitor	210-5.3210.521220	21,600	
	Totals	43,200	43,200



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

AGENDA REPORT

To: Mayor & Council

From: David Versel, Economic Development Director

Meeting Date: February 16, 2026 – Policy Work Session

Item No.: 2025-360

Title: Amendment to the 2045 Comprehensive Plan

CC: Eric Johnson, City Manager
Tracy Rye, Assistant City Manager

Recommendation

Approval of the proposed amendment to the Comprehensive Plan to present a refined vision for growth and development in Norcross that will provide guidance to Mayor & Council when considering future development proposals.

Background

The City of Norcross retained Kimley-Horn in May 2025 to amend its 2045 Comprehensive Plan. Unlike the 2024 update, this amendment was not intended to be a complete overhaul of the plan. The intent was to review Character Area boundaries and narratives to identify how they could be in better alignment with the City's vision. A key part of Kimley-Horn's work was citizen and stakeholder engagement, including direct public engagement at four community events, a Community Survey that generated more than 500 responses, and interviews with key civic and business leaders. Summaries of results from the public engagement process are included as attachments.

Kimley-Horn completed a full draft of the plan amendment on November 17, 2025. No substantive changes have been recommended to the Visions, Goals, and Policies section of the plan. Instead, the plan amendment is focused on the boundaries and narratives of some of the character areas and minor adjustments to the recommended land uses.

A public hearing on the amendment was held at the December 3, 2025, Planning & Zoning (P&Z) Board meeting, and the P&Z Board voted 4-0 to recommend approval of the proposed amendment as presented by Staff. The plan amendment was presented to Mayor & Council by Kimley-Horn at the December 15, 2025, Policy Work Session. Kimley-Horn revised the draft plan document based on direction from Mayor & Council at this meeting.

A second public hearing on this item was held at the January 5, 2026, Regular Council Meeting. No action was taken by Mayor & Council, pending review by the Atlanta Regional Commission and Georgia Department of Community Affairs (see Updates section).

Updates

The draft plan amendment and supporting documents were transmitted to the Atlanta Regional Commission (ARC) on January 13, 2026. This was done so ARC and the Georgia Department of Community Affairs (DCA) could conduct a review of the document to ensure that it is in compliance with the Minimum Standards and Procedures for Local Comprehensive Planning as defined in DCA Rules.

On February 3, 2026, DCA staff wrote a letter to ARC staff stating: "Our staff has reviewed the comprehensive plan amendment for the City of Norcross and determined that it adequately addresses the Minimum Standards for Local Comprehensive Planning." DCA staff did provide minor comments on the plan related to formatting and presentation – these comments have been incorporated into the full plan document (see Attachments section).

As part of ARC's review process, the plan document was shared with regional agencies and nearby municipalities. Two responses were received: one from ARC's housing team regarding the Metro Atlanta Housing Strategy Toolkit, and one from the City of Doraville. These responses, which are provided for advisory purposes only, are included as attachments.

Financial Impact

N/A

Consistent with Comprehensive Plan? (If applicable, please select which goal applies)

NA – this agenda item pertains to the Comprehensive Plan itself.

Next Steps

None

Attachments

1. Full Comprehensive Plan Document- Tracked Changes from Adopted 2024 Plan. Document is attached and can also be accessed here:

https://www.norcrossga.net/DocumentCenter/View/8803/20251125_Norcross-2045-CP-2---Vision_Updates-Incorporated_DRAFT

Full Comprehensive Plan Document with Amendments Incorporated is not attached but can be accessed here:

https://www.norcrossga.net/DocumentCenter/View/8822/20251210_Norcross-2045-CP-2---Vision---Changes-Incorporated_DRAFT_Spread-FULLY-INTEGRATED

2. Atlanta Regional Commission Plan Review Letter 02-03-26
3. Metro Atlanta Housing Strategy Toolkit Comments
4. Doraville Comments on Norcross Plan



COMPREHENSIVE PLAN

DRAFT

AMENDED
FEBRUARY 5, 2026

DRAFT



NORCROSS

IMAGINE OUR FUTURE

Comprehensive Plan

AMENDED
FEBRUARY 2026





ACKNOWLEDGEMENTS

This plan is a result of the City’s collaborative efforts to imagine the future of Norcross, including contributions from community members, the Steering Committee, City Staff, elected officials, and the planning team:

Mayor & City Council

- Craig Newton, Mayor*
- Bruce Gaynor, Mayor Pro Tem*
- Josh Bare, Councilmember*
- Andrew Hixson, Councilmember*
- Matt Myers, Councilmember*
- Marshall Cheek, Councilmember*

Steering Committee

- Chelsea Youmans*
- Bob Grossman*
- Josh Bare*
- JT Wu*
- Kathleen Allen*
- Kevin Hill*
- Layla Gunn*
- Lauren Summers*
- Luis Fernandez*
- Marshall Cheek*
- Maria Okpeh*
- Ralph White*
- Ryan Jones*
- Sandy Bui*
- Tameka Black*
- Tanya Gilmer*
- Troy Newland*
- Bruce Gaynor*
- Catherine Muth*
- Elaine Puckett*
- Jim Erye*
- Marlene Janos*

Steering Committee members listed above participated in the 2024 plan update.

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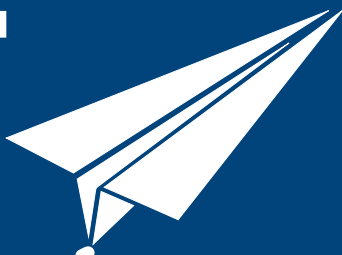
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EXECUTIVE SUMMARY

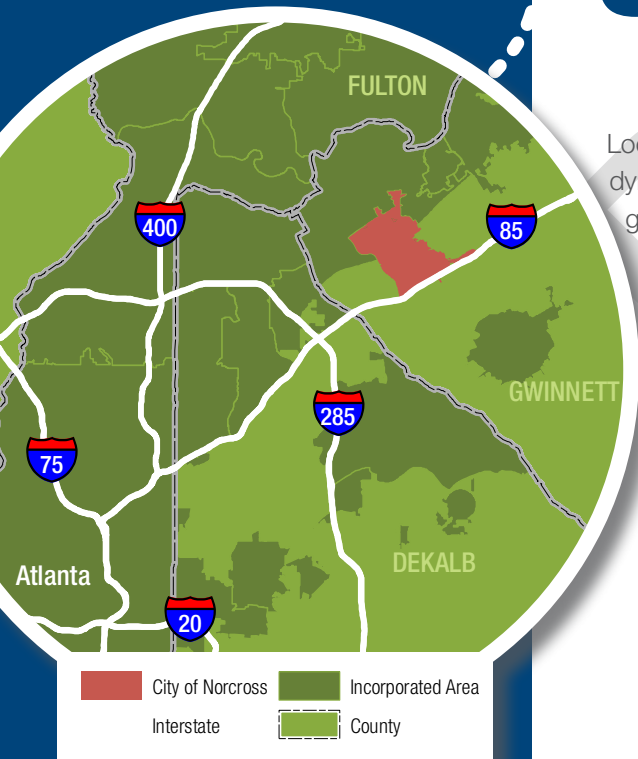


EXECUTIVE SUMMARY

Located northeast of Atlanta in Gwinnett County, Norcross is a thriving, dynamic city of about 17,000 residents. Over the past decades, the city has grown to become a major employment destination in the region, as well as an increasingly attractive place to settle down and raise a family.

Norcross 2045 is an update to the City's previous comprehensive plan completed in 2018. The plan has three main components:

- 1 Community Vision** lays out the future vision and goals that the community wants to achieve in text, maps and graphics
- 2 Needs and Opportunities** an overview of Norcross today and changes since the last plan; also includes a list of priority needs and opportunities
- 3 Community Work Program** a five-year work program of distinct activities, initiatives, programs, and administrative systems that are recommended to implement the plan



This plan not only builds on previous planning efforts, but is the product of a concerted effort to engage Norcross's diverse community. The public outreach effort launched for this plan update included the following types of engagement:

- Stakeholder Interviews
- Steering Committee meetings
- Online Survey
- Pop-Up Events
- Community Open House

COMMUNITY VISION

The Norcross vision is supported by overarching goals that will help shape the City's direction. These goals are based on both analysis of existing conditions and trends, and the priorities voiced by the community.

Goal 1: Continue to define Norcross' unique sense of place, where nature-based and cultural assets are conserved and enhanced.

Goal 2: Continue to Strengthen Norcross as a Livable, Inclusive, and Safe Environment

Goal 3: Increase Opportunities for Travel via Different Modes within and Outside Community

Goal 4: Maintain a Vibrant Economy and Facilitate Job Growth

Goal 5: Ensure that Norcross Residents have a Variety of Attainable, Quality Housing Options

Goal 6: Further the City's tradition of strong representational leadership and a high level of quality services.

Each of these six goals is supported by a series of more detailed policies that provide additional direction for City staff and officials for future decision-making.



“ Norcross will be a dynamic and welcoming community in which generations of diverse people can engage, create, contribute, and flourish.

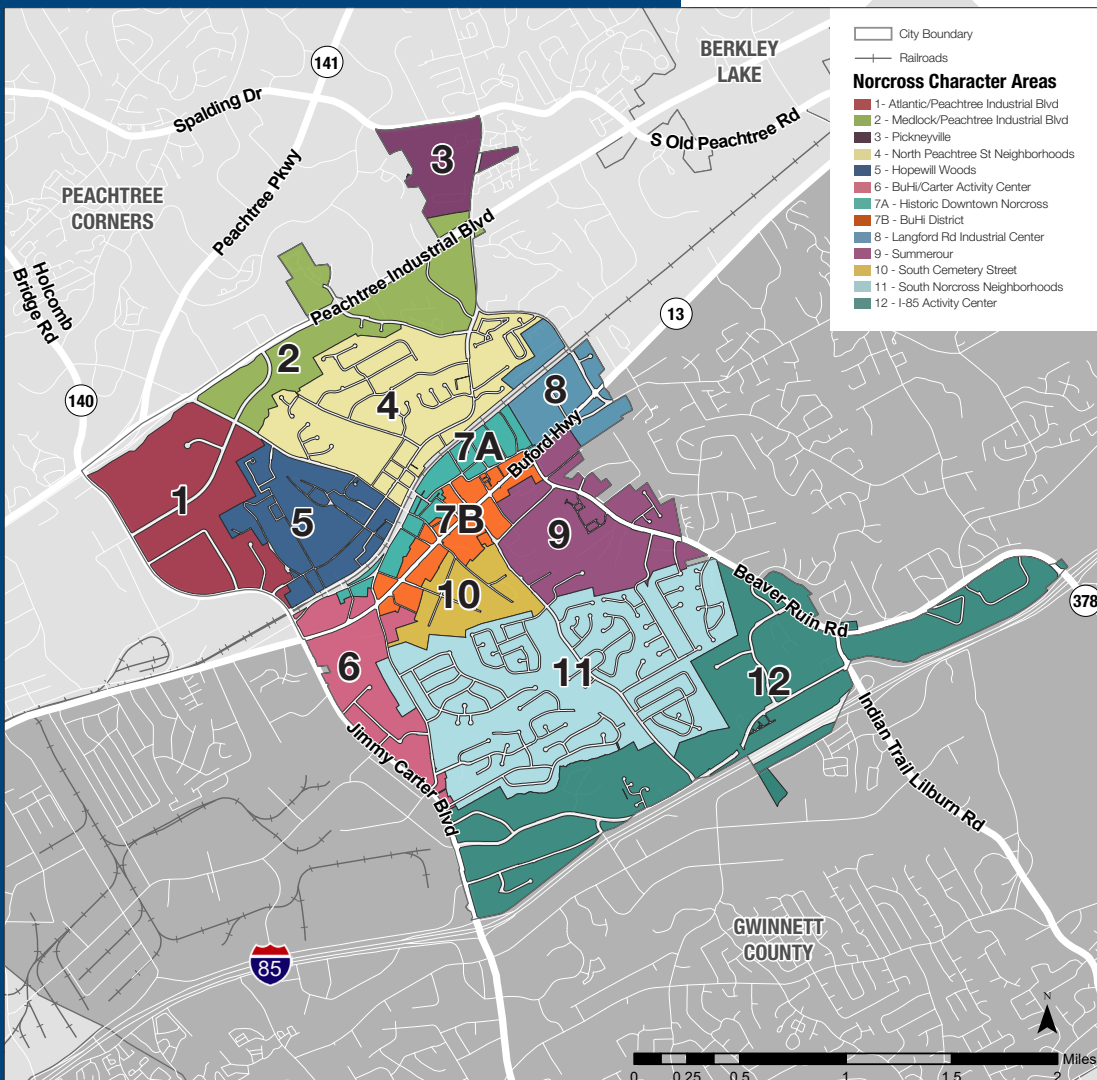
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WHAT'S CHANGED SINCE THE 2040 PLAN?

- The Town Center Character Area extended west to maintain the charm of S Peachtree Street.
- The Buford Highway / Jimmy Carter Boulevard Activity Center and the former Jimmy Carter/N Norcross Tucker Activity Center combined to form one Character Area.
- The Summerour Character area expanded north to Buford Highway.

In addition to the vision statement, goals, and policies, there is one more tool to help communicate the direction of Norcross: the Future Development Map. The Future Development map is essentially a location-based version of the vision, goals, and policies. It acknowledges that not every part of the City is the same and will develop in the same direction. As such, it delineates twelve character areas, each with their own visions, goals, and key implementation actions.



Notes

¹Future annexations will maintain the same character area policies and designations as those adopted by Gwinnett County for a period of at least one year following the effective date of the annexation. After which point, City Council may consider changes.

²The Future Land Use Map and corresponding policy framework were amended in 2026. These changes included minor revisions to character area boundaries and narratives and adjustments to recommended land uses. No substantive changes were recommended to the overall Vision Statement, Goals, or Citywide Policies sections.

NEEDS & OPPORTUNITIES

Understanding the existing conditions of Norcross today, and the needs and opportunities that they present, is an important step in the comprehensive planning process. The Needs and Opportunities Element looks at six major aspects of the city: population, land use, transportation, housing, economic development, and sustainability and quality of life.

Norcross Today: A Snapshot

Population

With 16,876 residents, Norcross is a city with a young, diverse population. Based off population projections from the Atlanta Regional Commission, the city is expected to grow to about 26,000 residents by 2050.

Notably, Norcross is one of the most diverse cities in the Atlanta region. However, the city is often perceived as two places: the Norcross northwest of Buford Highway and the Norcross southeast of Buford Highway. This divide is one of the main challenges that the city is working to overcome.

Land Use

The city is slightly over 6 square miles in size, with significant amounts of space devoted to business: 17 percent of the city's land use is industrial, and 12 is office/professional or commercial/retail. Although the City's annexations in 2011 and 2012 greatly increased the amount of low-density residential (today it is only 15 percent of total land use), this is still a smaller proportion of land use than most communities in the Atlanta region. This is also true of medium density and high density residential, which only make up 8 percent of the total land use, see Table 3.1 on page 50.

Land use planning for the city is managed by the City's Community Development Department, and is regulated under recently updated zoning and land development

regulation. Most of the city has been the subject of detailed small area studies, including four Livable Centers Initiative Studies, including the Town Center, Buford Highway, Jimmy Carter Boulevard, and Beaver Ruin/ Indian Trail Road. This plan supports the implementation of these small area studies and calls for their update and revision.

Transportation

From a transportation perspective, Norcross has an excellent location in the region with direct access to I-85 and close proximity to I-285. Roadway connectivity is further enhanced by a number of prominent streets in the city including Buford Highway (US 23/SR 13), Peachtree Industrial Boulevard (SR 141), Beaver Ruin Road (SR 378), Jimmy Carter Boulevard (SR 140), and Holcomb Bridge Road. Because of the large amount of warehousing in the city, freight traffic is an important consideration.

Alternative modes of transportation are less prominent in Norcross, but growing. The City's main transit hub is the Indian Trail Park and Ride, which is served by two express bus routes. Four local bus routes provide transit options in other parts of the city, and all provide access to the Doraville MARTA station. Outside of downtown, sidewalks and bicycle facilities are scant, but the City has improved this network with the Safe Routes to School program of sidewalks around Summerour Middle School and plans for the Beaver Ruin Creek Greenway.

A number of County transportation plans and Livable Centers Initiative (LCI) plans have proposed an extensive list of transportation projects in Norcross, including new rapid bus service; three regional-level trail corridors; and a series of roadway widenings and intersection improvements.

Housing

Housing in Norcross has high rates of occupancy. Only about half of the homes in the city are single-unit, detached residences—a percentage that is significantly lower than typical Atlanta suburban communities.

Although housing in Norcross is more affordable than other parts of the region, housing costs are still a major challenge for many residents—over 56% of renters are considered rent burdened (paying more than 30 percent of household income on rent). Another way to measure affordability is the ratio of median home value to household income; in 2020, this number in Norcross was 2.8, which is higher than Gwinnett County (2.5).

New-construction housing developments that have recently come online in Norcross are primarily high-end infill development like Parkside and Seven Norcross. These homes are out of reach financially for most existing residents, but are a draw for bringing in new residents that can afford the higher price points.

Economic Development

The city is economically healthy, with strong growth rates and low vacancy rates. Norcross is also the headquarters of several large companies, including Waffle House and Hyundai. The city is a significant employment destination in the region, with 20,980 people working in Norcross—nearly double the city’s residential population. The most prominent industries in the City are Professional, Scientific, and Technical Services and Wholesale Trade. In general, the commercial and industrial real estate markets are strong, with Norcross being especially attractive to enterprises that have smaller warehouse operations.

Looking to the future, the city is currently in the process of updating and refining its target industries for the City to pursue. This exercise is anticipated to be completed in Spring 2024.

Sustainability & Quality of Life

Norcross is making great strides in improving its sustainability and enhancing quality of life. In recent years, Norcross:

- Was recognized by ARC as a Platinum Green Community
- Has a new Science, Technology, Engineering and Math (STEM) High School

- Two new school facilities: one for Summerour Middle School, and a new elementary school (Baldwin Elementary)
- Opened Discovery Garden Park Phase 2, and Pinnacle Park
- Established a Historic Preservation Commission

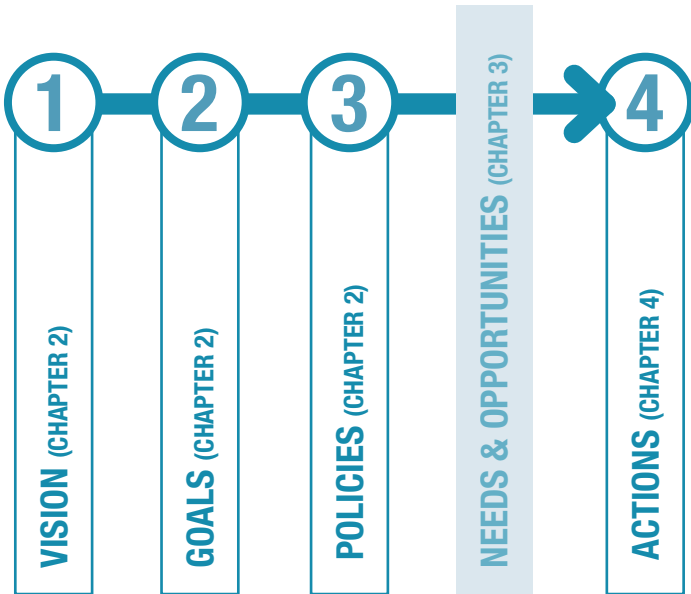
More quality of life and sustainability initiatives are afoot: a new library branch adjacent to Lillian Webb Park has been completed. The City also has more detailed plans for the future Beaver Run Creek Greenway, a significant park and green space project in the southern section of the city.

Priority Needs & Opportunities

From the existing conditions analysis and input from public engagement exercises, the planning team identified the following thirteen priority needs and opportunities, here posed as questions that community through this planning effort is working toward addressing:

1. How can the city maintain and enhance a sense of community, small town feel, and level of community services as new development comes online?
2. What can be done to ensure quality, long-term housing is available to all residents and newcomers at attainable price points?
3. Can the community be united across cultural backgrounds and socio-economic status?
4. How can we build strong neighborhoods with unique public amenities like parks and family-friendly activities in all parts of the city?
5. How can we attract young families?
6. How can we partner with schools to offer holistic services and improve perceptions?
7. What projects should the City support to address our multimodal transportation needs and traffic congestion?
8. How should we prepare for and leverage a potential transit station near I-85 and Jimmy Carter Boulevard?

TOP IMPLEMENTATION ACTIONS, 2025-2029



9. How can we grow local businesses and attract new ones, particularly within our target industry clusters?
10. Can we increase and enhance the selection of unique local shops and restaurants?
11. What sustainable practices can we implement to improve our quality of life over time?
12. Can we leverage emerging technology through smart city strategies to improve public service delivery?
13. How can we provide excellent city services and engagement opportunities for people of all linguistic and cultural backgrounds?

These needs and opportunities are essentially the bridge between Norcross 2045's goals and policies, and the actions listed in the Community Work Program. The actions in the work program are items that need to be implemented in order to capitalize on opportunities or address community needs as they relate to the city's vision of the future.

COMMUNITY WORK PROGRAM

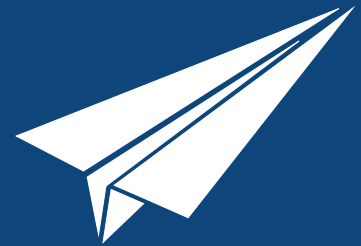
The purpose of the Community Work Program is to provide Norcross with a blue print for achieving its vision. At its core is a list of projects and recommended policies to be implemented over the next five years. Long range projects are also included in the Work Program, but are noted to occur after the five-year implementation horizon.

1. Improve pedestrian and bicycle safety along Buford Highway and in the Town Center through Implementation Norcross Town Center LCI Plan and Buford Highway Master Plan. Establish sidewalk connectivity program and dedicate annual funding to sidewalk improvements
2. Improve parking in the Town Center
3. Construct Norcross Greenway
4. Implement Target Industry Study
5. Establish a Task Force to address Homelessness
6. Maintain Green Community Platinum Status
7. Identify new opportunities to partner in hosting regular multi-cultural events in the city, both in and outside of downtown
8. Continue to work closely with the Gateway85 CID to expand transportation options and improve the aesthetics of the community



1

PLAN OVERVIEW



1

PLAN OVERVIEW

PURPOSE

The Minimum Standards and Procedures for Local Comprehensive Planning, adopted by the Georgia Department of Community Affairs (DCA) establishes the requirements of any comprehensive plan prepared in Georgia. The latest version of these standards and procedures can be found in O.C.G.A Chapter 110-12-1, and was amended with changes that went into effect October 1, 2018. This plan update meets and exceeds these Minimum Standards. In doing so, the city is able to maintain its Qualified Local Government Status, making it eligible to receive certain types of state funding.

The City of Norcross Comprehensive Plan is a living document that is continually updated and shaped by its leadership, staff, and community members. It is a policy guide for making rezoning and capital investment decisions and sets policies for city officials and staff concerning the future development of the City. Prior to this planning effort, the last update of the plan was adopted on March 4, 2019, and amended March 2, 2020.

This update reassesses where Norcross stands today and how it intends to develop in the future. It presents an updated enhanced community vision, corresponding goals, and a work program designed to make that vision a reality.



SCOPE

In keeping with the requirements of the DCA standards and procedures, this plan is presented **in three major components:**

COMMUNITY VISION

which lays out the future vision and goals that the community wants to achieve in text, maps and graphics;

NEEDS & OPPORTUNITIES

which provides a list of the various needs and opportunities that the community will address;

COMMUNITY WORK PROGRAM

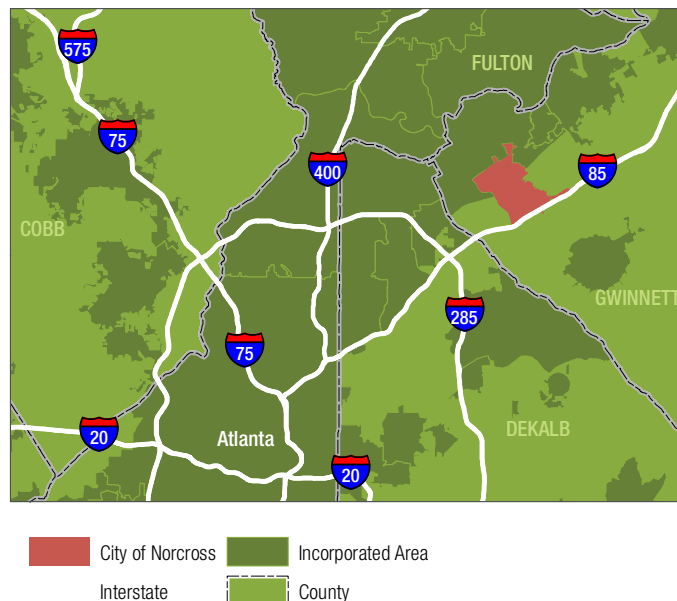
which provides a five-year Short Term Work Program designed to address the needs and opportunities. This program includes activities, initiatives, programs, ordinances, and administrative systems to be put into place or maintained in order to implement the plan.

In addition, the plan incorporates five planning elements. These elements are primarily addressed in the plan's assessment of needs and opportunities, and include the following:

1. Land Use
2. Transportation
3. Economic Development
4. Housing
5. Sustainability and Quality of Life

The geographic area covered by this plan is that which is encompassed by the current incorporated boundaries of the City of Norcross. The city is located just 20 miles north of Atlanta along I-85 in Gwinnett County, and covers approximately six square miles of area

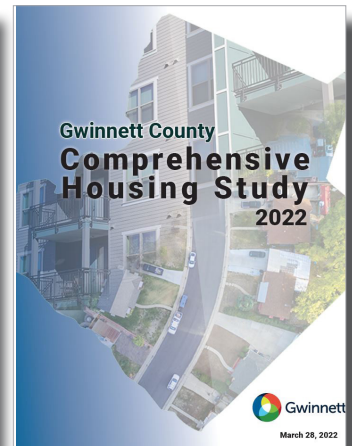
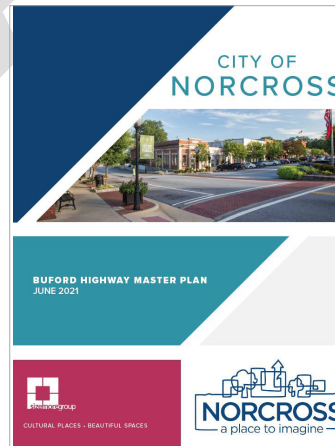
Figure 1.1 Context Map



METHODOLOGY

This plan update is the product of the previous comprehensive plan, multiple planning efforts undertaken by the City since the previous plan’s adoption, and a 9-month long public outreach effort. The previous plan, the City of Norcross 2040 Comprehensive Plan, laid the foundation for this effort, and where relevant, the findings and recommendations of the previous plan were incorporated and updated. In addition, this plan incorporates and updates the recommendations of several planning studies, including:

- Norcross LCI - which was updated concurrently with this Comprehensive Plan, and lays out a Master Plan for Town Center area
- Norcross Unified Development Ordinance
- Norcross Parks Master Plan Update
- Atlanta Regional Commission Green Communities Program (Norcross-specific goals & initiatives)
- Norcross Parking Study
- Target Industry Study
- Norcross Architecture and Design Standards – a guide that recommends materials and configurations of various exterior elements for buildings in throughout Norcross
- Buford Highway Master Plan
- Destination2050 – The Gwinnett County Comprehensive Transportation Plan
- Gwinnett County Transit Development Plan
- Gwinnett County Master Trails Plan
- Gwinnett County Service Delivery Strategy
- Gwinnett County Comprehensive Housing Study





The public outreach effort launched for this plan update included:

- Stakeholder Interviews
- Steering Committee
- Online Surveys
- Pop-up Events
- Community Open House

Documentation of these public outreach efforts can be found in the Technical Addendum of this plan.

To help direct the formulation of the plan update, a Steering Committee was formed comprised of 22 members. These members represented a cross-section of the community including elected officials, local business interests, key staff, and residents.

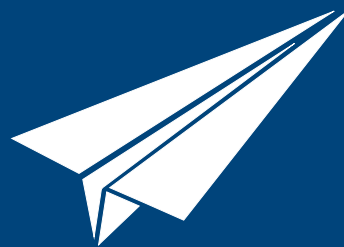
The goals of the Steering Committee were to:

- Seek agreement on key issues
- Establish common vision for the future
- Decide actions needed to achieve that vision
- Set Priorities for continued planning efforts



2

VISION



DRAFT

FEBRUARY 5, 2026

2

VISION

INTRODUCTION

The City of Norcross, Georgia is a diverse, engaged, and thriving community. It is a place that is proud of what it has achieved and where it wants to go. City leaders are committed to setting and meeting a realistic agenda that reflects the energy, passion, and endeavors that the community has for the future. Doing so has allowed Norcross to achieve and maintain a vibrant town center, competitive business environment, a desirable residential community, and an increasingly diverse population that feels included and welcome. People are happy to call Norcross home.

The strong history of planning for the City's future has strengthened this approach – beginning with the City's first iteration of its Comprehensive Plan, developed in the early 1990s, and extending through the numerous other studies and plans that have shaped the City's direction. The community's vision for the future is a function of its success to date in plan implementation.

This chapter illustrates the community's hope for Norcross' future through three elements:

- 1. Vision Statement**
- 2. Goals**
- 3. Policies**
 - Citywide Policies
 - Character Area Narratives



VISION STATEMENT

This plan is inspired by the City’s vision statement, which was co-created by community members to set an aspirational, inspirational idea of what Norcross is working to become. This big idea is brought down to earth by associated goals, policies, and action items to address the priority needs and opportunities and bring the vision to life.

1

“ Norcross will be a dynamic and welcoming community in which generations of diverse people can engage, create, contribute, and flourish. ”

2

GOALS

Building on the vision, there are six overarching goals that will help shape the City’s direction. These goals are based on both analysis of existing conditions and trends, as well as the priorities voiced by the community, captured in a series of stakeholder interviews, Steering Committee meetings, and workshops.

3

POLICIES

The City’s policies provide direction for its general operating procedures. They describe how elected officials and staff should make ongoing decisions and prioritize resources in line with the community’s vision. They not only inform the types of projects the City needs to plan for now, but they also help decision-makers know how to proceed as new issues and opportunities arise that were not in play at the time this plan was written. The numbered policies on the following pages apply to the entire city. Character area narratives provide detailed guidance for each sub-area within Norcross.

PRIORITY NEEDS AND OPPORTUNITIES (CHAPTER 3)

4

ACTIONS

Near-term actions that can be taken to make progress on the City’s goals have been organized into a Community Work Program in Chapter 4. They apply the guidance of the policies through the lens of specific, priority needs and opportunities that should be addressed over the next five years.

GOAL 1

Goal 1: Continue to define Norcross' unique sense of place, where nature-based and cultural assets are conserved and enhanced.

Norcross is a vibrant small city like no other in the Atlanta metropolitan region; residents and visitors know when they're in Norcross. Higher intensity employment focused developments along the city's edges give way to well-maintained neighborhoods, attractive commercial nodes, and a quaint historic downtown. Monumental gateway signage, attractive landscaping, streetscaping and context sensitive building design allow the city's distinctive districts to complement one another.

Policy 1-1: Protect the valued community character and aesthetics of existing neighborhoods by discouraging drive-through services, excessive signage, and inadequate screening near residential areas.

Policy 1-2: Redevelop and enhance existing commercial and industrial areas.

Policy 1-3: Support opportunities for infill development that reflects the neighborhood character.

Policy 1-4: Encourage mixed-use development and pedestrian-oriented design standards.

Policy 1-5: Encourage greenspace in all new development.

Policy 1-6: Regularly review the UDO in the light of new court rulings, best practices, and issues that may have arisen for possible amendment.

Policy 1-7: Support and promote the city's diversity through special events.

Policy 1-8: Protect natural resources, mature tree canopy, environmentally sensitive areas, and valuable historic, archaeological or cultural resources from human encroachment through land development regulations and/or incentives.

Policy 1-9: Add value to our community through landscaping, lighting, signage, underground utilities, and building design.

Policy 1-10: Pursue strategic land acquisition in support of the Parks, Greenspace and Trails Master Plan implementation.

Policy 1-11: Use gateway monuments, signage, and corridor improvements to reinforce the sense of place.

Policy 1-12: Reduce the adverse visual impact of the automobile and auto-related services.

Policy 1-13: Preserve and complement the traditional historic, architectural and landscape character of the Downtown core and surrounding neighborhoods, while guiding reasonable growth.

Policy 1-14: Regularly review code enforcement procedures and training to maintain and improve the community's appearance and overall quality of life.

Policy 1-15: Continue and expand a progressive code enforcement program in residential neighborhoods.

Policy 1-16: Expand and support the volunteer community and city partnership to organize volunteer assistance days for low-income residents facing code violations.

GOAL 2

Continue to Strengthen Norcross as a Livable, Inclusive, and Safe Environment

Norcross is a welcoming community where all citizens thrive regardless of age, income or ethnicity. There is a wide variety of housing, shopping, recreation, and employment options in the city. Residents and visitors are safe and secure in their homes and on the go in the city.

Policy 2-1: Encourage transit-oriented development, or compact mixed-use areas, near transit routes.

Policy 2-2: Support existing neighborhoods through regular public investment in recreational amenities and maintenance programs.

Policy 2-3: Promote walkable, bicycle friendly, safe neighborhoods.

Policy 2-4: Encourage walkability, interaction among businesses, clear visibility of entryways and centralized open space.

Policy 2-5: Provide pleasant, accessible public gathering places.

Policy 2-6: Encourage new parks and community facilities to be located as focal points in neighborhoods.

Policy 2-7: Support the increased availability of affordable, local, healthy food.

Policy 2-8: Integrate educational opportunities into parks and recreational services, public libraries, museums, and other cultural amenities.

Policy 2-9: Ensure adequate supplies of quality water through protection of ground and surface water sources.

Policy 2-10: Mitigate potential impacts from industrial development on nearby residential areas.

Policy 2-11: Encourage and incentivize the construction of publicly accessible plazas and greenspace through redevelopment.

GOAL 3

Increase Opportunities for Travel via Different Modes within and Outside the Community

Norcross is connected! Safe pedestrian and bicycle routes, including sidewalks, crosswalks, and multi-use trails provide connections between the city's activity hubs. The city's development policies and political leadership are supportive of increasing efficient transit services connecting Norcross with destinations throughout the Atlanta region.

Policy 3-1: Promote safe and efficient transportation for pedestrians, cyclists, transit riders, and drivers.

Policy 3-2: Support the expansion of regional transit access in Norcross.

Policy 3-3: Coordinate transportation improvements with existing and planned development.

Policy 3-4: Enhance the existing roadway network to improve safety and limit congestion.

Policy 3-5: Encourage parking to be located behind and to the side of buildings.

Policy 3-6: Improve pedestrian and bicycle access to existing facilities.

Policy 3-7: Create pedestrian-friendly streetscapes through public investment, zoning regulations and design guidelines.

Policy 3-8: Balance the needs of freight traffic with minimizing impacts to the community.

Policy 3-9: Support the Gateway85 CID's investment in local transportation improvements.

Policy 3-10: Work with Gwinnett County and Georgia DOT regarding congestion on major corridors.

Policy 3-11: Apply smart city technologies in a practical and fiscally responsible manner, such as the adoption of smart parking in the downtown area, as new technologies and best practices emerge.

GOAL 4

Maintain a Vibrant Economy and Continue to Facilitate Job Growth

City staff and leaders are responsive to the needs of current businesses and work with owners to support their growth. The wide variety of development options available in Norcross – spaces for lease, purchase, and properties for development and redevelopment are aggressively marketed. City staff and leaders continually work to recruit businesses that support the city’s vision and development goals.

Policy 4-1: Support programs for retention, expansion and creation of businesses that enhance our economic well-being, particularly those in target industries.

Policy 4-2: Find opportunities to connect firms (especially those in target industries) to Norcross high schools.

Policy 4-3: Partner with local schools and community organizations to support students and their parents so they can fully engage in the Norcross economy.

Policy 4-4: Encourage the development of downtown as a vibrant center for culture, government, dining, residential, and retail diversity.

Policy 4-5: Provide ongoing support for Business Retention, Recruitment and Expansion.

Policy 4-6: Target reinvestment in declining, existing neighborhoods to further encourage private sector redevelopment and accommodate future growth.

Policy 4-7: Accommodate new development while enhancing existing local assets.

Policy 4-8: Prepare Norcross residents to be work-ready employees.

Policy 4-9: Support local entrepreneurs in building future-ready businesses.

Policy 4-10: Invest in parks and open space to encourage private reinvestment.

Policy 4-11: Maintain and support citywide access to broadband services.

GOAL 5

Ensure that Norcross Residents have a Variety of Attainable, Quality Housing Options

Policy 5-1: Accommodate the housing needs of a diverse population by supporting the development of a variety of residential types and densities based on land use patterns.

Policy 5-2: Support the construction of workforce housing to help ensure that all those who work in the community have a viable option to live in the community without spending more than a third of their net income on housing costs.

Policy 5-3: Protect residential areas through continued, targeted code enforcement.

Policy 5-4: Encourage residential development downtown to activate and diversify the area.

Policy 5-5: Collaborate with other jurisdictions to address affordable housing and regional location efficiency needs.

Policy 5-6: Assist residents in keeping their existing homes safe and free from hazards.

Policy 5-7: Support the development of equitable housing that is safe, and free from health hazards through the application of National Healthy Housing standards.

Policy 5-8: Enable and encourage mixed income affordable housing concurrent with new, high-standard design development.

Policy 5-9: Ensure that new high-density/multi-family developments are in keeping with the desired vision for the City through a transparent rezoning and permitting process that provides opportunities for public comment and review.

Policy 5-10: Seek grant opportunities for owner-occupied rehabilitation of homes such as Community Home Investment Program (CHIP) grant for owner-occupied rehabilitation of homes.

GOAL 6

Goal 6: Further the City's tradition of strong representational leadership and a high level of quality services.

Norcross is a well-managed city that works cooperatively with adjacent governments to reach common goals. The city maintains an open-door government that actively strives to positively engage all citizens and community groups. City services not only maintain health, safety and welfare but also promote a well-rounded community.

Policy 6-1: Continue efforts to reach out to the diverse population within Norcross through existing community groups and local businesses

Policy 6-2: Maximize the use of existing facilities and services.

Policy 6-3: Do not over commit to long-term operation and maintenance costs in making capital investments.

Policy 6-4: Coordinate public facilities and services with land use planning to promote efficient public investments.

Policy 6-5: Regularly coordinate with adjacent local governments to ensure residents, property owners, and business owners are receiving top tier public services

Policy 6-6: Support existing schools and encourage new opportunities to expand access to education.

Policy 6-7: Use technology to simplify and expedite city applications and processes for community members.

Policy 6-8: Welcome all members of the community to engage by translating materials in multiple languages.

Policy 6-9: Lead by example with efficient and resilient City-owned buildings.

Policy 6-10: Ensure comprehensive and convenient recycling opportunities are available to residents and businesses.

Policy 6-11: Contribute to Regional Water Management Plan and enforce plan.

Policy 6-12: Coordinate infrastructure planning with the County for sewer and road improvements.

Policy 6-13: Partner with Norcross school cluster to maximize community access to school sports fields.

Policy 6-14: Continue to support community watch and safety programs such as the Business Watch Program, the Child Safety Seat Program, the Copper theft Initiative, the Citizen Police Academy, the Senior Citizen Check in program, and the Vacation Security Request Program.

Policy 6-15: Continue to support local arts and cultural events through the provision of facilities, logistics and marketing efforts.

Policy 6-16: Evaluate the Comprehensive Plan on an annual basis and use it as a tool in prioritizing the budget and annual work program.

CHARACTER AREA AMENDMENTS

The Future Land Use Map and corresponding policy framework are being amended in 2026 to better align with the city’s vision. The project team conducted a comprehensive public engagement process, including a survey that received over 500 responses, four pop-up events held at the beginning and end of the planning process, and stakeholder meetings with City Council members, the Downtown Development Authority, and a panel of Norcross developers.

No substantive changes have been recommended to the Visions, Goals, and Policies section of the plan. Recommended changes instead focus on the boundaries and narratives of some of the character areas and minor adjustments to the recommended land uses. The plan has also been amended to reference the Parks, Greenspaces, Trails & Green Infrastructure Master Plan. A high-level summary of these changes follows.

Character Area Changes

Throughout the document, appropriate building heights have been modified to suggest that new development should match allowable heights in the zoning district and be compatible with the heights of existing structures in the area. The language has also been revised to reference bicyclists where pedestrians have been mentioned. The following summaries note amendments made in each Character Area.

Character Area 1 - Atlantic/Peachtree Industrial Boulevard

- The boundary of this character area has been amended to shift parcels located south of Holcomb Bridge Road from Character Area 2 into this area.
- Proposed changes to the narrative for this character area would lower allowable densities to the areas adjacent to single-family residential neighborhoods in Character Areas 4 and 5. The changes would also call for any high-density residential uses to be part of planned developments that include both commercial spaces and a mix of residential housing types that support a diversity of ages.

Character Area 2 - Medlock/Peachtree Industrial Boulevard

- As noted above, parcels to the south of Holcomb Bridge Road have been shifted to Character Area 1.
- Along the north side of Holcomb Bridge Road, the lower density residential and commercial properties to the west of Queens Court have been shifted from this area into Character Area 4.
- Proposed narrative changes would encourage the retrofitting and infill of developed sites in this area

rather than complete redevelopment.

Character Area 3 - Pinckneyville

- References to M1 have been removed as this is not a desired use in this area.

Character Area 4 - North Peachtree Street Neighborhoods

- As previously noted, some parcels along the north side of Holcomb Bridge Road have been shifted from Character Area 2 into this area.
- The medium-density residential and industrial properties along Langford Drive north of Cole Court have been shifted from this area into Character Area 8.
- Proposed narrative changes remove reference to property values in the area and encourage the use of Accessory Dwelling Units (ADUs) to promote flexibility for property owners without altering the overall low-density character of this area.

Character Area 5 - Hopewell Woods

- Proposed narrative changes for this area would remove the prohibition on multifamily development to the west of West Peachtree Street but would still limit new residential development to medium density levels (below to 12 units/acre).

Character Area 6 - BuHi/Carter Activity Center

- This area has been expanded to shift properties outside of the historic district along South Peachtree Street from Character Area 7A into this area. As noted below, parcels fronting on Buford Highway to the north of Norcross-Tucker Road have been shifted into Character Area 7B.

Character Area 7 - Town Center

- This area has been split into two subareas to better reflect the distinction between the city's historic downtown core and the redeveloping Buford Highway corridor. For each of these recommended sub-areas, the following adjustments to their boundaries are proposed:

Character Area 7A - Historic Downtown Norcross

- As noted above, this area has been adjusted to better align with the historic district, with several commercial parcels along South Peachtree Street to the south of Norcross-Tucker Road shifted into Character Area 6
- The narrative emphasizes the importance of maintaining the historic, small-town character of this area and limits residential development to medium density levels (below 12 units per acre).

Character Area 7B - BuHi District

- Parcels fronting on Buford Highway between Norcross-Tucker Road and Beaver Ruin Road have been shifted from Character Areas 6 and 9 into this area.
- The narrative clarifies that this district is intended to promote mixed-use development with higher densities along Buford Highway but lower densities closer to the historic downtown core.
- The narrative also includes text aimed at preserving legacy businesses that are compatible with the city's vision for Buford Highway while transitioning away from auto-oriented uses.

Character Area 8 - Langford Road Industrial Center

- As previously noted, the medium-density residential and industrial properties along Langford Drive north of Cole Court have been shifted from Character Area 4 into this area.
- The narrative removes previous references to loft-style housing and live-work opportunities, as this area's industrial character is not compatible with residential uses.

Character Area 9 - Summerour

- As previously noted, parcels fronting on Buford Highway south of Beaver Ruin Road have been shifted into Character Area 7B from this area.

Character Area 10 - South Cemetery Street

- No changes

Character Area 11 - South Norcross Neighborhoods

- The narrative amends the vision for trails in the area, referencing the planned Beaver Ruin Creek Greenway.

Character Area 12 - I-85 Activity Center

- The previous narrative referenced proposals for high-capacity transit that had been planned by Gwinnett County and the proposed annexation and redevelopment of the OFS campus. Since these proposals are no longer active, the narrative for this area has been adjusted accordingly.
- The narrative has been amended to reference the need for stormwater evaluation in the area and coordination with regional partners on I-85 projects.

Changes to Recommended Land Uses and Definitions

The draft plan amendment recommends the following adjustments to the Land Uses by Character Area table and related definitions:

- The definition of Mixed-Use is proposed to be amended to allow this category to include adjacent uses on the same parcel and not just vertically-stacked mixed-use developments.
- The category of Skilled Nursing Facilities has been removed from the table, as it was deemed to be a too specific of a land use category to be considered as part of the Comprehensive Plan.
- In Character Area 1, Heavy Commercial uses are recommended to be allowed in the areas along Pacific Boulevard and Peterson Place that are currently zoned exclusively for industrial and commercial uses.
- Two changes are recommended for Character Area 7B to reflect its separation from Character Area 7A:
 - Regional-level commercial or office uses of 50,000 sq. ft. or more would be permitted, as they are compatible with the higher-intensity vision for Buford Highway.
 - Similarly, High-Density Residential uses in excess of 12 units per acre would be permitted throughout this character area.



CHARACTER AREAS

The Future Development Map is a location-based vision and policy statement to help guide Norcross's elected officials, staff, and planning boards in future development and policy decisions. The Future Development Map divides the City of Norcross among twelve unique character areas as shown in Figure 2.1.

The map and corresponding policy framework is a tool to help make planning, zoning, and development decisions that are consistent with the vision and goals for the future.

DEVELOPMENT TRANSITIONS

As development and redevelopment occur across Norcross, context-sensitive transitions between different development types and intensities are essential. The graphic to the right illustrates how higher-intensity development can transition to lower-density, existing single-family neighborhoods.

New development steps down from multi-story mixed-use and multifamily buildings along busier roadways to townhomes and attached single-family homes, and then to new detached single-family homes that abut existing single-family neighborhoods. These transitions are important for preserving the character of established single-family areas while also creating vibrant, walkable, mixed-use places for all Norcross residents to enjoy.

High-Intensity Residential Mixed-Use



Medium Density Residential



Single-Family Detached



Existing Single-Family

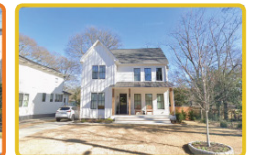
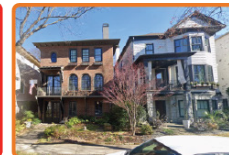


Figure 2.1. Future Development Map



Note

Future annexations will maintain the same character area policies and designations as those adopted by Gwinnett County for a period of at least one year following the effective date of the annexation. After which point, City Council may consider changes.

CHARACTER AREA 1

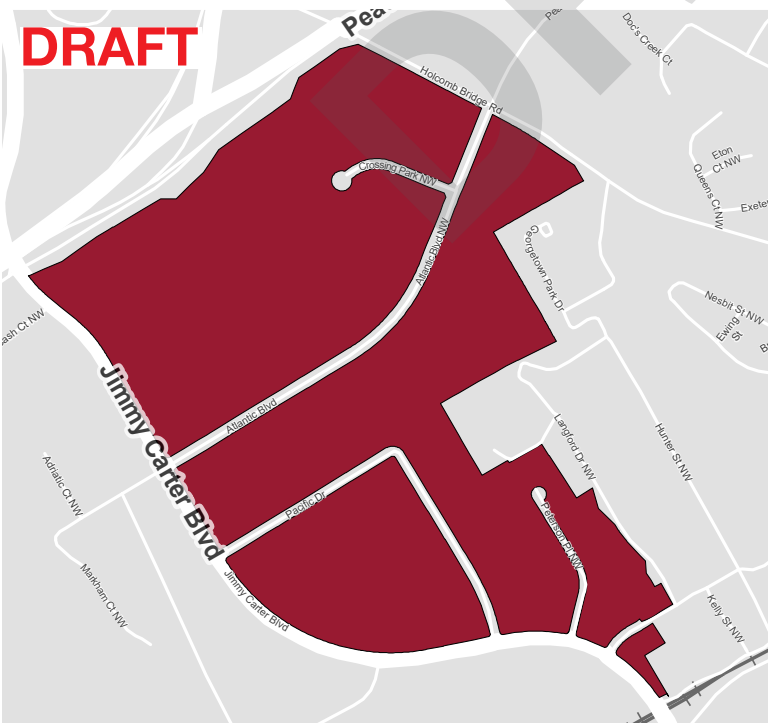
ATLANTIC/PEACHTREE INDUSTRIAL BOULEVARD



Vision

The Atlantic/Peachtree Industrial Boulevard gateway area is a welcoming entrance to the city and a major employment center focused on Jimmy Carter Boulevard:

- The area is known as a mixed-use employment center, with light industrial and flex space that round out the area as a dynamic business area
- Development intensity is highest along Jimmy Carter Boulevard and Peachtree Industrial Boulevard and should be lower in areas immediately adjacent to single-family residential neighborhoods
- High-density residential uses should be part of planned developments that include both commercial spaces and a mix of residential housing types
- The site of Stripling Elementary School in the area also serves as a focus of local community activities and is supported by housing in a mixed-use context that serves a diversity of ages within walking distance of the school
- As a gateway to the city at Jimmy Carter Boulevard and Peachtree Industrial Blvd a signature building/group of buildings will help define the character of the area
- A pedestrian and bicycle network provides connections both within this area and to adjacent residential neighborhoods and Historic Downtown



Appropriate Scale of development and land use policies

- Building heights should be consistent with the allowable heights in the zoning district and compatible with the heights of existing structures in the surrounding area
- Any residential uses should have good pedestrian and bicycle access to Stripling Elementary
- Limit new heavy commercial, auto-related or outdoor storage uses to properties fronting on Pacific Boulevard or Peterson Place
- Office, media (film, television, etc.), light manufacturing and related services are preferred uses



Implementation Measures

- Ensure adequate buffers to adjoining residential areas
- Improve sidewalk and pathway connections
- Maintain economic vibrancy of area
- Establish design standards for gateway areas
- Redevelopment of key sites



CHARACTER AREA 2

MEDLOCK/PEACHTREE INDUSTRIAL BOULEVARD



Vision

Oriented along Peachtree Industrial Boulevard, the Medlock/PIB area is a mix of professional and institutional uses creating an established and aesthetically pleasing boundary along Peachtree Industrial Boulevard, the City of Peachtree Corners and adjoining residential areas. This is also the location of Paul Duke STEM High School.

- The area is hub of activity and connecting point for surrounding areas
- A dense area of mid-scale (25-50K square feet) retail and offices with corporate-focused amenities including hotels and training/conference facilities, connected by a system of sidewalks or multi-use paths
- Community facilities and institution(s) of higher education infuse the area with civic character
- A consistent design theme expressed through signage, architectural style, and landscape palette unifies the area and provides a sense of place unique to Norcross, yet complementary to a corporate campus character found in Peachtree Corners' Technology Park



Appropriate Scale of development and land use policies

- Building heights should be consistent with the allowable heights in the zoning district and compatible with the heights of existing structures in the surrounding area
- Maintain visual buffers to help ensure compatibility with adjoining neighborhoods to the south
- Encourage location of small businesses and incubators, light industry and offices
- Consider first floor minimum heights in M1 to accommodate future industrial uses

Implementation Measures

- Retrofit and improve existing structures and consider infill site development where appropriate
- Coordination with Peachtree Corners and Gwinnett County on the physical design along the PIB Corridor
- Enhance the gateway signage at Medlock Bridge Road and Peachtree Industrial Boulevard
- Improved walkability through construction of sidewalks
- Implement landscape standards to establish desirable city edge
- Look for opportunities to better connect this area physically to Downtown Norcross



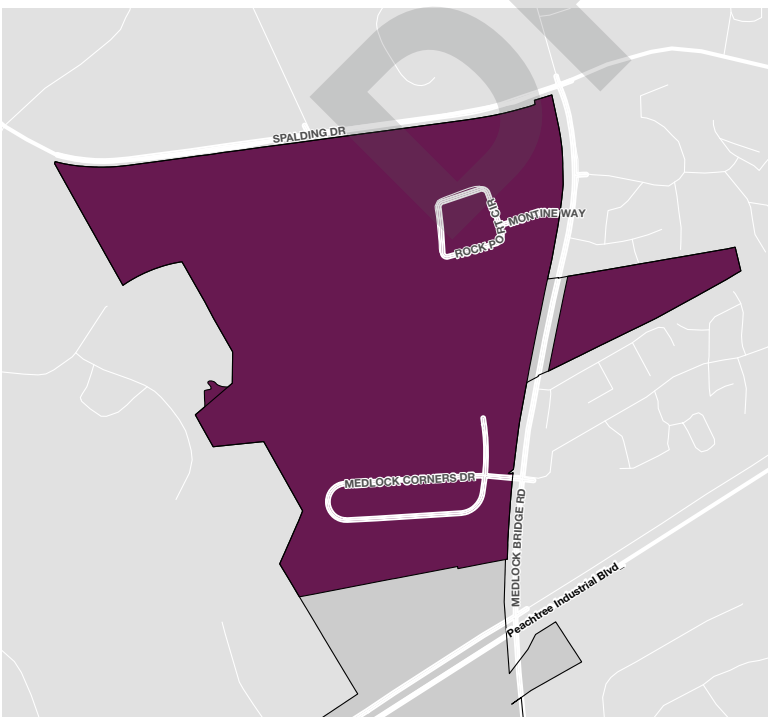
CHARACTER AREA 3 PINCKNEYVILLE



Vision

Norcross High School is the hub of this small activity center that has redeveloped as an accessible and safe location with a mix of residential, institutional, and small scale commercial and office uses:

- Norcross High School serves as the area's landmark and focus
- Residential uses predominate in proximity to the school
- A pedestrian and bicycle network physically connects area uses, supporting a multi-modal hub
- Consistent building scale and design characteristics connect the area aesthetically
- Regular coordination with Peachtree Corners ensures the compatibility of development along the city's border
- Potential for existing residential to redevelop



Appropriate Scale of development and land use policies

- Ensure compatibility between non-residential development/redevelopment and adjoining neighborhoods through the use of buffers and transitional land uses
- Low to medium density residential preferred supported by small scale office and neighborhood oriented commercial
- Building heights should be consistent with the allowable heights in the zoning district and compatible with the heights of existing structures in the surrounding area

Implementation Measures

- Coordinate with Peachtree Corners to ensure complete street development in area and compatible development and service provision
- Promote safe routes to schools policies in coordination with Gwinnett County Public Schools



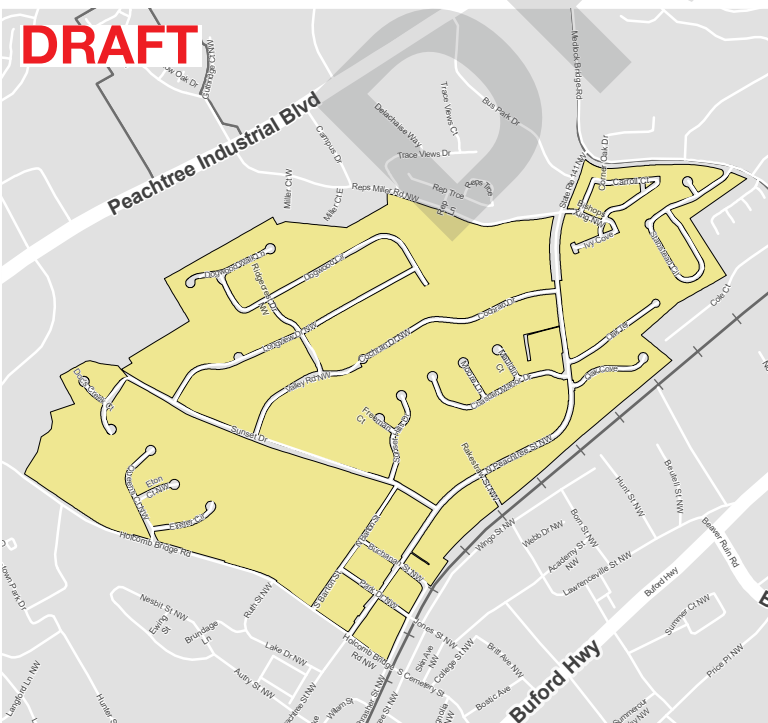
CHARACTER AREA 4 NORTH PEACHTREE STREET NEIGHBORHOODS



Vision

With a large concentration of historic homes and resources, this residential area remains a strong, stable residential location in the city:

- Established neighborhoods continue to give the area a strong single-family residential character
- Churches and parks contribute to the family-oriented nature of the area
- New parks and greenways enhance quality of life in the district, such as a path connecting the new STEM high school to nearby neighborhoods



Appropriate Scale of development and land use policies

- Building heights-should be consistent with the allowable heights in the zoning district and compatible with the heights of existing structures in the surrounding area
- Maintain historic character
- Bed and Breakfast establishments are allowed in the Historic District
- Redevelopment and infill housing should be Single Family Residential Detached with common access
- New multifamily housing should not be permitted
- Accessory Dwelling Units (ADUs) should be permitted to promote flexibility for property owners and diverse housing options that are consistent with the character of established residential neighborhoods



Implementation Measures

- Maintain the integrity of existing housing stock
- Protect and preserve the character of existing single-family neighborhoods
- Pursue greenway opportunities and sidewalk improvements that connect neighborhoods to downtown and other destinations as outlined in the Parks, Greenspaces, and Trails Master Plan
- Provide information resources for home improvements and maintenance for housing
- Work with Gwinnett DOT to discourage cut-through traffic from using Holcomb Bridge Road

CHARACTER AREA 5 HOPEWELL WOODS



Vision

Hopewell Woods continues to develop as a mixed-use area – with a diversity of housing types, institutional and office uses as well as limited commercial to support residents and area employees:

- Residential areas have a traditional neighborhood design
- A mix of housing types accommodate varied incomes and life stages (young singles, families, empty-nesters, etc.)
- High-end infill development provides housing options for working professionals
- Medium-density housing types create a transition from lower-density single-family neighborhoods



Appropriate Scale of development and land use policies

- Building heights should be consistent with the allowable heights in the zoning district and compatible with the heights of existing structures in the surrounding area
- Planned residential neighborhoods offering a variety of housing options are preferred
- Neighborhood scale mixed use allowed with supportive office and neighborhood commercial
- In areas west of West Peachtree Street, medium density housing should be allowed but should be consistent with the height and scale of surrounding residential neighborhoods



Implementation Measures

- Build on the success of the Hunter-Walker Trail by further improving the sidewalk network to enhance bike and pedestrian connectivity between neighborhoods
- Improve bicycle infrastructure to support alternative travel
- Develop landscaping and design standards for infill development and redevelopment
- Consider opportunities for public parks
- Provide appropriate landscaping in areas adjacent to historic downtown core



CHARACTER AREA 6

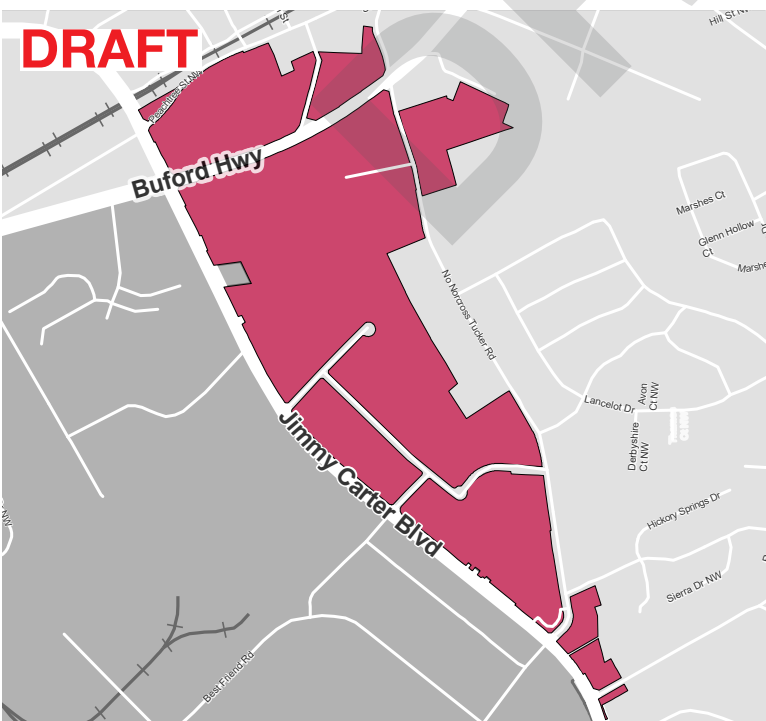
BUHI/CARTER ACTIVITY CENTER



Vision

A medium to high density mixed-use node, consistent with the Jimmy Carter Boulevard/Buford Highway Redevelopment Plan:

- Includes a mix of residential and commercial space
- Connections to Best Friend Park make it a desirable place to live and locate a business
- Development intensity is highest at the intersection of Buford Hwy and Jimmy Carter Boulevard



Appropriate Scale of development and land use policies

- Building heights should be consistent with the allowable heights in the zoning district and compatible with the heights of existing structures in the surrounding area
- Preferred mixed use developments
- Consider first floor minimum heights in M1 to accommodate future industrial uses
- Industrial and heavy commercial uses should be screened appropriately from adjacent single-family uses.



Implementation Measures

- Work with the Gateway85 CID to implement the Jimmy Carter Blvd LCI Study
- Create pedestrian and bicycle connections to Gwinnett County's Best Friend Park
- Encourage village concept – of mixed residential and residential over commercial and freestanding retail
- Implement gateway signage to direct people to community hubs
- Work with private entities and Gateway85 CID to encourage development of a mixed-use node at Buford Highway and Jimmy Carter Blvd
- Pedestrian and bicyclist safety improvements at Jimmy Carter Blvd and Buford Highway



CHARACTER AREA 7A HISTORIC DOWNTOWN NORCROSS



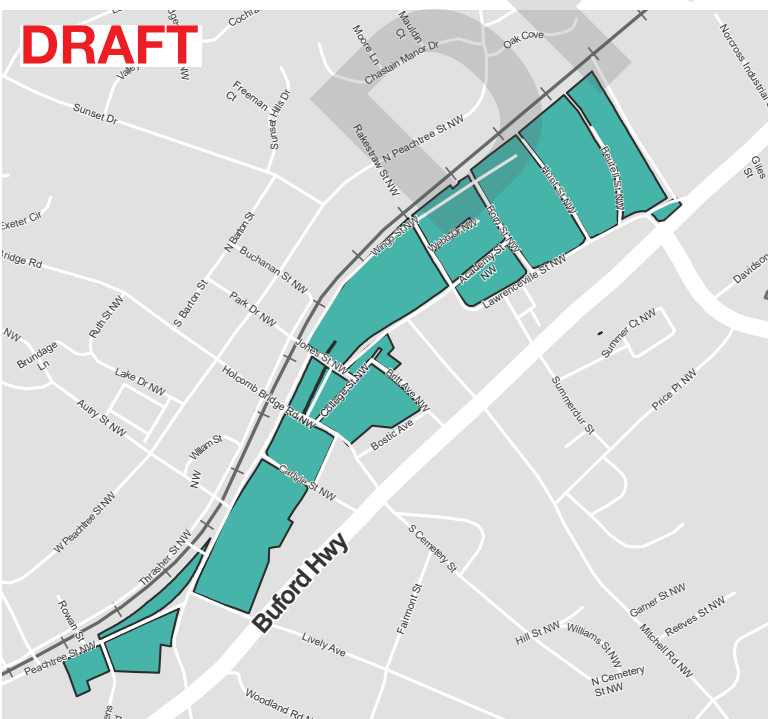
Vision

The civic and commercial heart of the community, Historic Downtown Norcross offers a wide variety of entertainment, dining, recreational and shopping options. Through redevelopment and public investment, the Historic Downtown Norcross character is a destination for the Greater Norcross community:

- Historically compatible buildings create an economically and environmentally sustainable place to live, work, and visit
- People from across the city and region visit Historic Downtown Norcross for retail, dining, and other entertainment options that serve all ages
- Redevelopment and new development maintain the historic, small-town character of the area
- From Town Center LCI: “a compelling destination” that “embraces its history while providing a forward-thinking, socially engaging, inclusive, economically and environmentally sustainable place to live, work and visit.”

Appropriate Scale of development and land use policies

- Maintain historic character of the downtown with building heights that are consistent with the allowable heights in the zoning district and compatible with the heights of existing structures in the surrounding area.



- Commercial uses are encouraged to be locally-owned restaurants, boutiques, and entertainment-oriented uses; regional and national chains are discouraged
- Planned residential communities are encouraged to be medium density residential and compatible with the scale and character of Historic Downtown Norcross, offering a variety of housing options
- All uses should emphasize pedestrian and bicycle access; no new auto-oriented or drive-through commercial uses should be permitted



Image: Woodstock, Georgia

Implementation Measures

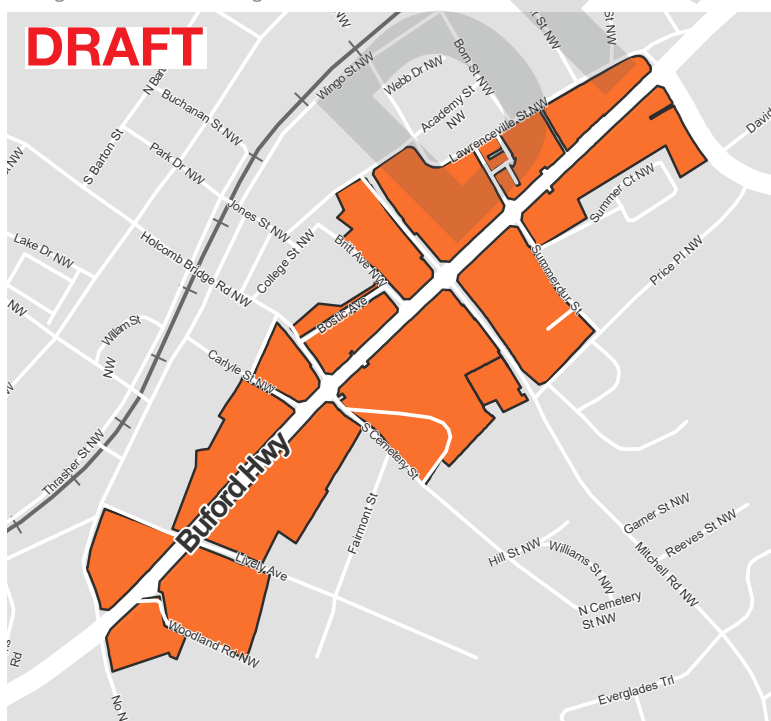
- Continue to program downtown events to support families, children, working professionals, and seniors
- Attract additional commercial uses to the Downtown district
- Identify opportunities to improve public spaces and amenities in alignment with the vision for the area
- Review the Norcross Architectural and Site Design Standards to ensure requirements align with the historic character of the area
- Enhance accessibility and safety for all transportation users, including pedestrians, cyclists, and vehicles, in Downtown Historic Norcross including the Skin Alley Extension
- Implement recommendations from the 2025 Downtown Norcross Parking Study



CHARACTER AREA 7B BUHI DISTRICT



Image: Milton, Georgia



Vision

The BuHi District is a vibrant, walkable, mixed-use corridor that serves as both a gateway to Norcross and a transition from higher intensity development along Buford Highway down to lower intensity to match the scale and character of the City’s historic downtown (Character Area 7A). The District offers a diverse mix of neighborhood-serving commercial, public amenities, and higher-intensity residential in direct proximity to Historic Downtown Norcross. The BuHi District provides safe and accessible transportation connections for pedestrians, bicyclists, and transit users, while continuing to accommodate a high volume of vehicular traffic.

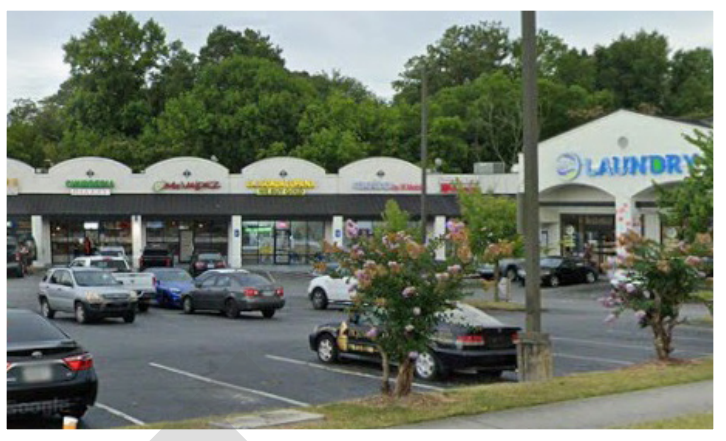
- Development intensity is highest along Buford Highway, transitioning down to lower intensity development near Historic Downtown Norcross
- From Town Center LCI: “a compelling destination” that “embraces its history while providing a forward-thinking, socially engaging, inclusive, economically and environmentally sustainable place to live, work and visit.”
- The area is a local and regional destination, featuring thriving, walkable, community-serving businesses supported by residential development that serves a diversity of ages

Appropriate Scale of development and land use policies

- Mixed-use and commercial developments are encouraged to incorporate diverse, community-serving retail like local restaurants, grocery stores, entertainment-

oriented uses, and other local businesses

- Development and redevelopment of commercial areas should transform existing auto-oriented commercial uses into more walkable, integrated development
- Building heights should be consistent with the allowable heights in the zoning district and compatible with the heights of existing structures in the surrounding area
- Planned residential communities offering a variety of housing options, including higher intensity residential, are appropriate for parcels fronting Buford Highway and those adjacent to these parcels
- No new auto-oriented commercial or drive-through uses



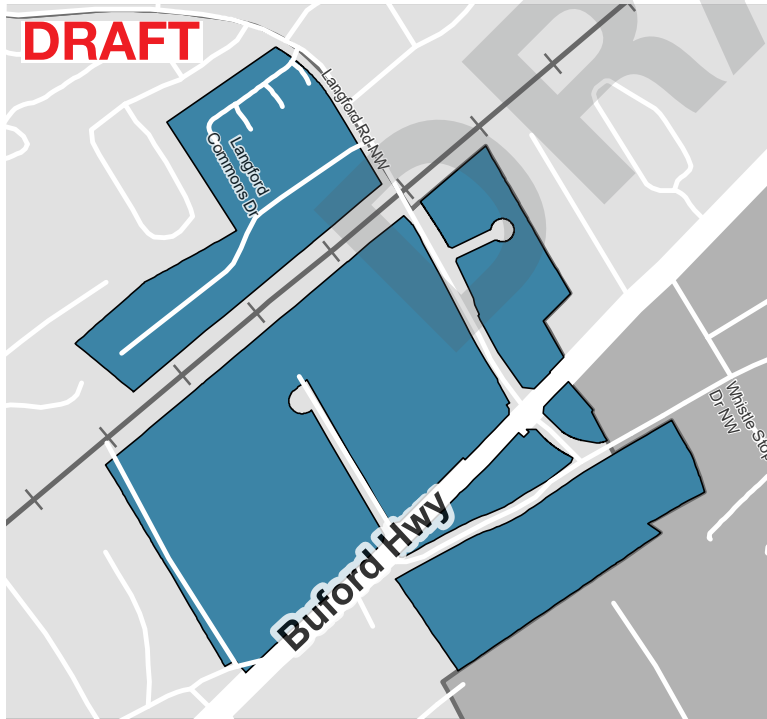
Implementation Measures

- Create better pedestrian and bicycle connections across Buford Highway
- Implement recommendations from the 2025 Downtown Norcross Parking Study
- Implement safe pedestrian and bicycle connections across Buford Highway and to nearby schools and residential neighborhoods
- Maintain a balance of commercial and residential uses
- As redevelopment occurs, look for ways to retain legacy businesses that are compatible with the vision for the BuHi District.
- Recruit desired commercial businesses to occupy new and existing mixed-use buildings
- Pursue targeted redevelopment sites identified in the Buford Highway Master Plan
- Encourage sustainable development measures present in the Buford Highway Master Plan



Image: Woodstock, Georgia

CHARACTER AREA 8 LANGFORD ROAD INDUSTRIAL CENTER



Vision

The area is a hub of business and industrial innovation and creativity:

- Maintain industrial tax base
- Small, affordable commercial spaces serve as an incubator for small and new businesses
- Aesthetically pleasing area with standards to maintain compatibility
- Provide walkability bicycle infrastructure along Buford Highway
- Corridor improvements and connections to the Town Center make the area attractive for new businesses

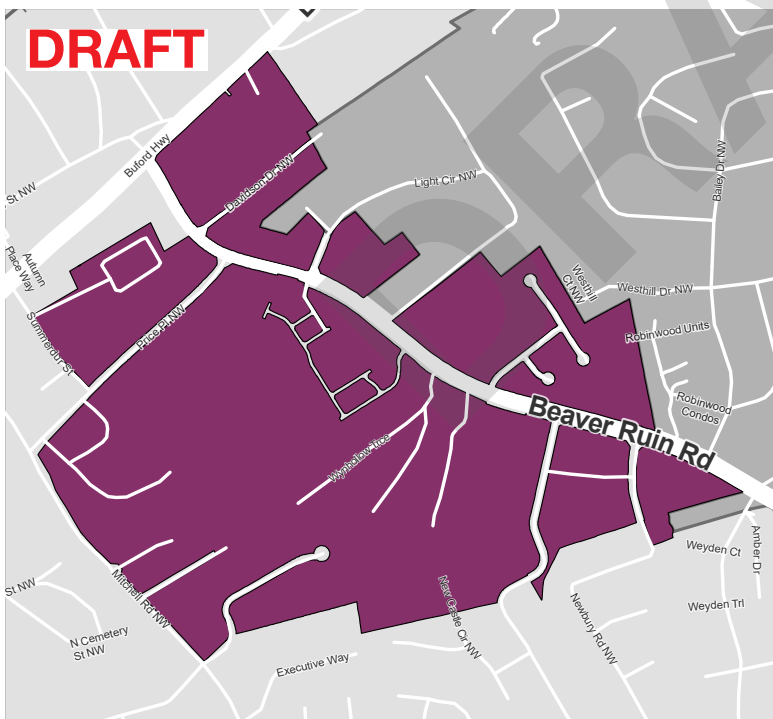
Appropriate Scale of development and land use policies

- Building heights should be consistent with the allowable heights in the zoning district and compatible with the heights of existing structures in the surrounding area
- Consider first floor minimum heights in M1 to accommodate future industrial uses
- Preferred location for general commercial and light industrial uses
- Industrial and heavy commercial uses should not be visible from Buford Highway, and screened appropriately
- Encourage the location of incubators and adaptive reuse of buildings

Implementation Measures

- Maintain and improve a safe and efficient transportation system for freight movement related to industrial uses
- Offer safe pedestrian and cycling opportunities

CHARACTER AREA 9 SUMMEROUR



Vision

An activity hub and gateway to the city serving the common needs of Norcross residents with education, recreation, retail.

- The new path through this area has created a link between the southeastern portion of the city and the central and northwestern sections
- Public and private investment has brought new civic facilities and small scale retail to support the surrounding neighborhood
- A traffic access management strategy and new transit opportunities have increased mobility and safety in the area
- Upgraded and new pedestrian and bicycle connections to Buford Highway and along Beaver Ruin Road have improved safety

Appropriate Scale of development and land use policies

- Building heights should be consistent with the allowable heights in the zoning district and compatible with the heights of existing structures in the surrounding area
- A variety of residential housing options are allowed, as part of a planned residential development
- Small scale office and neighborhood oriented commercial uses are allowed

Implementation Measures

- Pursue recommendations of the Norcross Activity Center LCI and pursue five-year update
- Implement Mitchell Road streetscape project, adding a 10-12-foot multi-use path to link Downtown
- Encourage higher scale, traditional residential development/redevelopment –including townhomes, narrow-lot housing, and cluster homes
- Continue to implement Safe Routes to School recommendations for the Summerour District
- Continue to pursue safe pedestrian and bicycle connections across Beaver Ruin Road
- Implement the Beaver Ruin Creek Greenway Concept

CHARACTER AREA 10 SOUTH CEMETERY STREET



Vision

This is a unique district in Norcross providing a mix of public and private spaces:

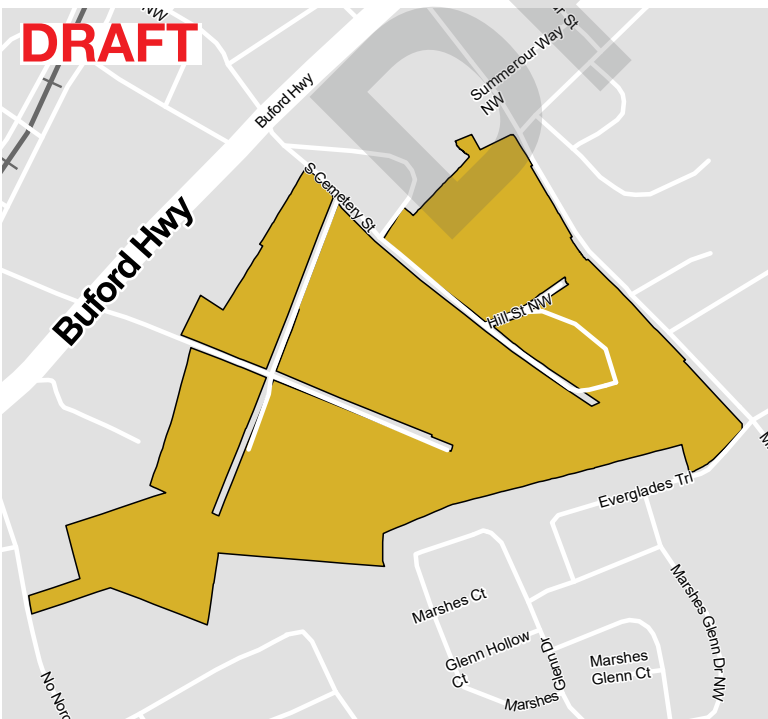
- A concentration of light industrial and heavier commercial
- Redevelopment has spurred access and freight traffic movement improvements in the area

Appropriate Scale of development and land use policies

- Building heights should be consistent with the allowable heights in the zoning district and compatible with the heights of existing structures in the surrounding area
- Industrial and heavy commercial uses should not be visible from Buford Highway, and screened appropriately
- Auto related commercial, heavy commercial uses, and light industrial uses are allowed
- Consider first floor minimum heights in M1 to accommodate future industrial uses

Implementation Measures

- Industrial and heavy commercial uses should not be visible from Buford Highway, and screened appropriately
- Improve and maintain local streets to accommodate truck traffic where appropriate
- Implement the Beaver Run Creek Greenway Concept



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CHARACTER AREA 11

SOUTH NORCROSS NEIGHBORHOODS



Vision

- Master planned, well-constructed, design-conscious medium density housing dot the eastern edge of the area and support the employment center at Beaver Ruin and Indian Trail
- Single-family neighborhoods to the west provide an important source of affordable housing for workforce and young families
- A culturally diverse area
- Streetscapes and general reinvestment has enhanced the aesthetic quality of the area, with a dense network of sidewalks
- The Beaver Ruin Creek Greenway provides enhanced connectivity and recreation options for all residents of this area

Appropriate Scale of development and land use policies

- Building heights should be consistent with the allowable heights in the zoning district and compatible with the heights of existing structures in the surrounding area
- A variety of residential housing options are allowed, as part of a planned residential development



Implementation Measures

- Develop home maintenance and home ownership assistance programs to support long-term sustainability of housing stock
- Continue to implement recommendations of the Norcross Activity Center LCI and pursue a five-year update
- Implement Mitchell Road streetscape improvements – including multi-use path
- Acquire site for active recreation, playground equipment, and picnic area as identified in Parks Master Plan
- Increase lighting along Mitchell Road
- Continue to pursue code enforcement to ensure consistency with development and zoning codes and Norcross' character
- Implement the Beaver Run Creek Greenway Concept
- Undertake senior housing initiative to support the construction of housing options appropriate for seniors and the mobility impaired



CHARACTER AREA 12

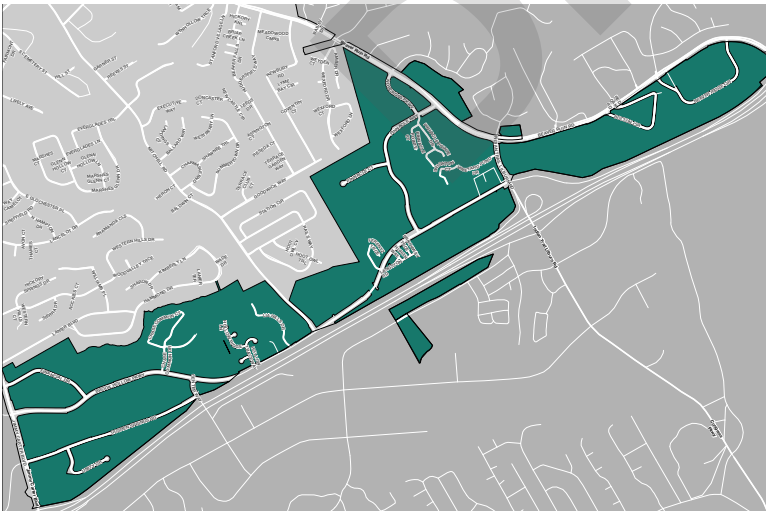
I-85 ACTIVITY CENTER



Vision

A growing regional center that has convenient access to I-85, is supportive of a major transit hub, and celebrates the cultural diversity of the area:

- The area is characterized by master planned developments of mid-rise buildings
- A mixed-use hub consisting of offices, restaurants, and housing options at higher densities that would be supported by future higher capacity transit services.
- Well-designed big box-retail structures in this area add architectural interest to the streetscape and are safely accessible to pedestrians and bicyclists
- The area has a multi-cultural element that leverages the diversity of the city's population
- Implement safe pedestrian and bicycle connections across major transportation corridors such as Beaver Run Road, Indian Trail-Lilburn Road, Jimmy Carter Boulevard, and Brook Hollow Parkway
- Preserve major industrial and commercial properties to promote employment and business activity
- The area has a strong trail network connecting to new development, nearby destinations, other existing and future trails, and current or future transit systems



Appropriate Scale of development and land use policies

- Building heights should be consistent with the allowable heights in the zoning district and compatible with the heights of existing structures in the surrounding area
- Consider first floor minimum heights in M1 to accommodate future industrial uses
- Highway and transit oriented commercial are preferred
- Industrial uses are allowed; light industrial uses are preferred



Implementation Measures

- Implement gateway signage and landscaping to welcome visitors and residents to the city
- Establish design standards and landscaping to elevate character of the corridor
- Implement complete streets along Brook Hollow Parkway
- Support regional initiatives that would incorporate regional transportation improvements (e.g. bus rapid transit) to the western side of the Jimmy Carter Boulevard interchange
- Support transit-oriented development
- Support bicycle and pedestrian connectivity throughout the area and connect to existing and planned transit and trail destinations
- Maintain a strong partnership with the Gateway85 CID to further redevelopment of area
- Coordinate development with the Indian Trail-Lilburn Road and Jimmy Carter Boulevard LCI plans across I-85
- Implement the Beaver Run Creek Greenway Concept
- Evaluate stormwater needs throughout the area
- Coordinate with county, regional, and state partners to address potential impacts from future roadway, interstate, and transit projects



LAND USES BY CHARACTER AREA

The following chart indicates the land uses within each character area. Refer to the preceding Character Area descriptions for additional guidance on the specified land uses.

GENERALIZED USES	1 - Atlantic-PIB (p.16)	2 - Medlock-PIB (p. 18)	3 - Pinckneyville (p. 20)	4 - N Peachtree St Nbhds (p.22)	5 - Hopewell Woods (p.24)	6 - Buford Hwy/JCB (p.26)	7A - Historic Downtown Norcross (p.28)	7B - BuHi District (p.30)	8 - Langford Rd Ind. Ctr. (p.30)	9 - Summerour (p. 31)	10 - S Cemetery St. (p.32)	11 - S Norcross Nbhds (p. 34)	12 - I-85 Activity Ctr. (p.36)
Low Density Residential			■	■	■		■			■		■	
Medium Density Residential		■	■		■	■	■	■	■	■		■	
High Density Residential	■					■	■	■		■		■	■
Planned residential community (mixed housing types allowed)	■		■		■		■	■		■		■	■
Neighborhood level commercial, studio or office (<5,000 sf)	■	■	■		■		■	■	■	■		■	
Community level commercial or office (< 50,000 sf)	■	■				■	■	■	■				■
Regional level commercial or office (>50,000 sf)	■	■				■		■					■
Heavy commercial (auto related, outdoor storage)	■								■		■		■
Entertainment related commercial	■	■				■	■	■					■
Mixed-use	■	■	■		■	■	■	■		■			■
Light industrial and warehousing	■	■				■			■		■		■
Heavy industrial													■
Places of assembly	■	■	■	■	■	■	■	■	■	■	■	■	■
Transportation, Communication, Utilities	■	■	■	■	■	■	■	■	■	■	■	■	■
Parks and Recreation	■	■	■	■	■	■	■	■	■	■	■	■	■

Land Use Definitions

Low Density Residential - land used for single family housing and customary accessory structures on individual parcels up to and including 4 dwelling units per acre.

Medium Density Residential - land occupied by residential uses and customary accessory uses at a density up to and including 12 dwelling units per acre.

High Density Residential - land occupied by residential uses and customary accessory uses at a density over 12 units per acre.

Planned residential community (mixed housing types allowed) – a residential development whose essential features are a definable boundary, and a consistent, but not necessarily uniform character. Such developments may include a variety of housing types and typically share common recreational amenities, and private covenants, conditions, and restrictions enforced by a homeowners' association.

Neighborhood level commercial, studio or office (<5,000 sf) - Neighborhood focal points with a concentration of small commercial, civic, and public activities. Uses within Neighborhood level commercial, studio, or office are intended to be local-serving.

Community level commercial or office (< 50,000 sf) - Business oriented developments containing a mix of commercial, professional, civic, or public uses designed to accommodate commercial uses serving several adjacent neighborhoods. Individual structures are less than 50,000 sf

Regional level commercial or office (>50,000 sf) - Business oriented development containing a mix of mid to high rise commercial, professional, civil and public uses accommodating the needs of the community and surrounding region.

Heavy commercial (auto related, outdoor storage) - Auto and truck repair shops, auto sales, and other auto related uses that include outdoor storage.

Entertainment related commercial - Downtown restaurants, brewpubs, small specialty commercial, professional office, civic and public uses. Central gathering places for the community.

Mixed-use - A mixed-use, live/work/play district that provides a venue for gatherings, events, civic activities, and residential uses. Uses may be mixed vertically or horizontally.

Light industrial and warehousing - Clean, light industrial uses that have minimal impact on nearby residential use are encouraged, as well as transportation/warehousing/ distribution uses carefully planned to avoid freight traffic impacts on residential areas.

Heavy industrial - Traditional manufacturing, junkyards, intense industrial uses that may generate adverse effects not compatible with residential areas.

Places of assembly - meeting places at which the public or membership groups are assembled regularly, including but not limited to schools, places of worship, theaters, auditoriums, funeral homes, and stadiums.

Transportation, Communication, Utilities - Power Stations, Airports, Public Utility Facilities, communication towers (if located on their own parcel)

Parks and Recreation - Public parks, and private recreation areas held in common ownership, as well as conservations areas legally protected from future land disturbance.

GATEWAYS

The Gateway Corridors and Structures Map identifies the preferred locations of gateway monuments, signs, and corridor streetscape treatments that are designed to enhance the community’s sense of place. The gateways should reflect the character of traditional downtown Norcross, or the vision and recognized design elements of the character area they lie within. They do not have to be a monument or sign as is already visible in several locations around the community; they can also be a strong architectural statement, such as the old “Gwinnett Is Great” water tower that used to be a standard landmark feature along I-85, off of Goshen Springs Road near the Jimmy Carter Boulevard and I-85 interchange. In fact, it is recommended that the Interstate gateways shown on

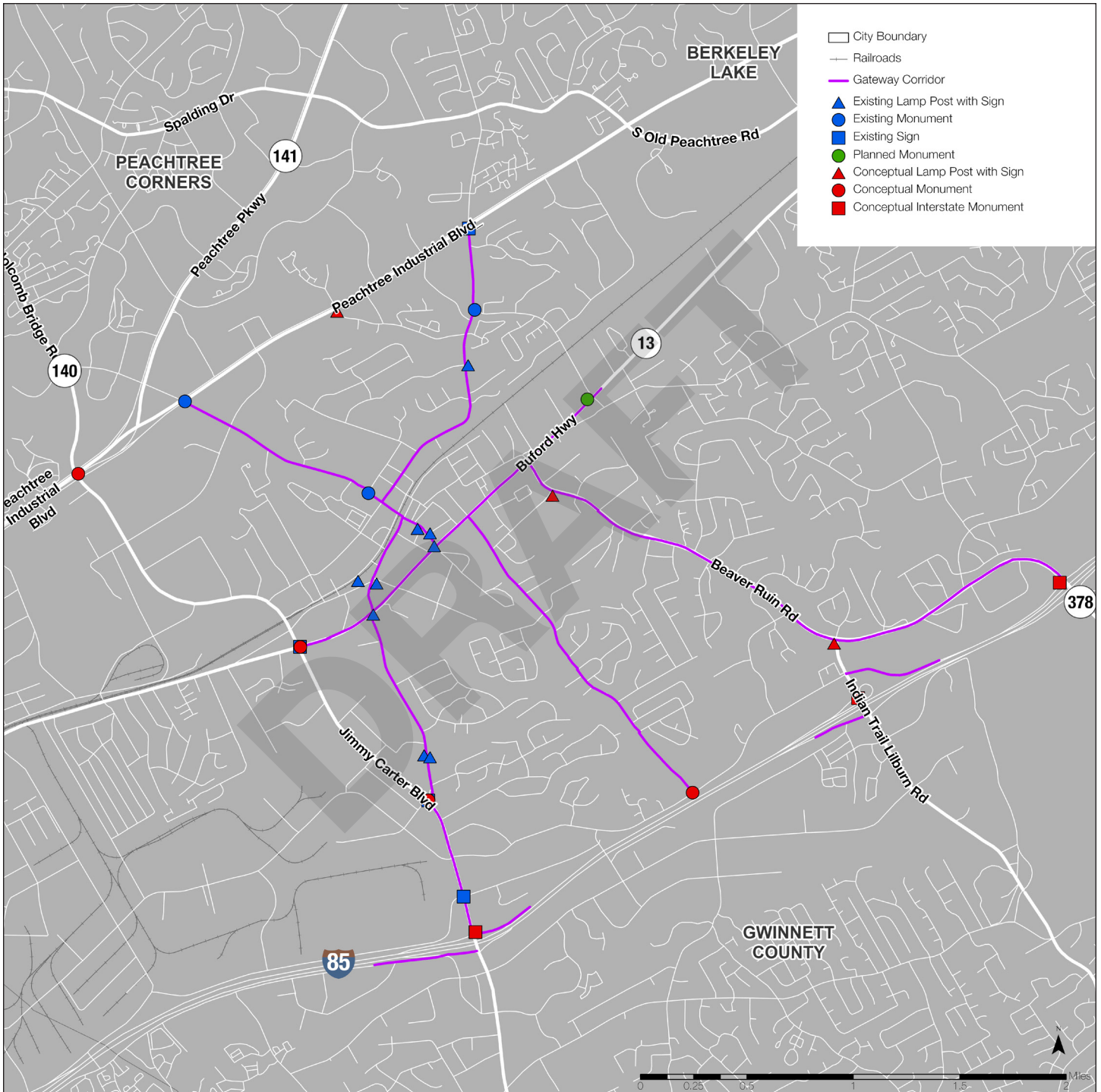
the map should be something of that scale to attract the attention those that travel along highway. The Gateway Corridors will be the targets of streetscape improvements, corridor banners and possible design standards to help create a uniformed image as residents and visitors approach the town center.

The Community Work Program identifies projects designed to support this gateway planning effort, and includes policies to support complimentary design and uses for new development proposed adjacent to these locations. These projects include additional monument construction, new signage, streetscape efforts, and potential design standards.



Some of the gateway elements are already in place in and around the city and help to create a sense of arrival at a unique destination. These gateways, including the gateway into the city on Holcomb Bridge Road seen in the photo above, set the tone for future improvements.

2.2 Gateway Corridors and Structures Map



LONG RANGE ROAD CLASSIFICATION

Roadway classification provides a mechanism for the City to apply design standards and policies consistent with the functionality of each type of roadway. Roadway classification, also called functional classification, generally distinguishes roadways based on two key factors of access and mobility. Arterial roadways provide greater mobility and tend to allow higher speeds over greater distances. On the other end of the spectrum, local roads provide greater access to adjacent destinations with more driveways and connecting streets, typically accompanied by lower speeds. Private streets are usually associated with residential subdivisions. They are subject to the same regulations and standards as their public counterparts

The City’s Long Range Road Classification Map, Figure 2.3, is a modified version of the County’s Long Range Road Classification Map. Changes include:

- Re-designation of S. Peachtree Street, N. Peachtree Street, and Lawrenceville Street from minor arterials, as shown in the County’s plan, to major collectors. This better reflects the narrow right-of-way of those streets and the community’s desire to preserve their historic, neighborhood character.
- Addition of a “bike-friendly route” designation. These includes roads where on-road bike lanes or multi-use trails have been planned on or adjacent to the roadway. As public and private infrastructure improvements are made along these routes, they should include the planned bicycle facilities.

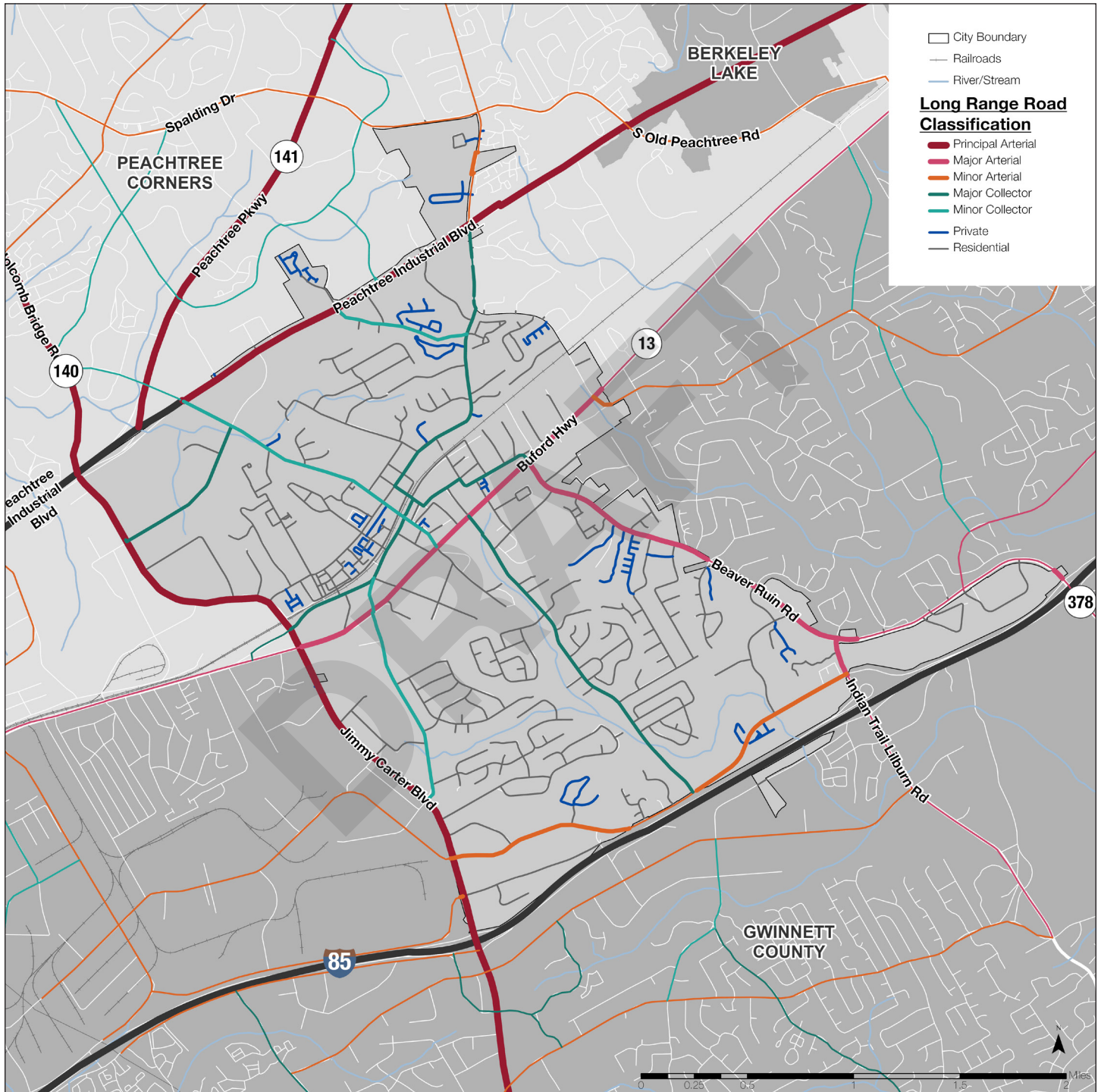
Table 2.2 shows the appropriate right-of-way and roadway features for each of the long range road classifications, in line with the City of Norcross standards.

Table 2.2 Minimum Right-of-Way and Roadway Widths for New Streets and Project Access Improvements

Street Category	Minimum Right-Of-Way	Minimum Roadway
Principal Arterial	120' to 150'	6 through lanes with median
Major Arterial	100' to 120'	67'
		4 to 6 through lanes with median
Minor Arterial	80' to 100'	52' to 66'
		4 through lanes with median
Major Collector	80'	52'
Minor Collector	60' to 80'	28'
Local Street Non-residential Non-residential Cul-De-Sac	60' 3	32'
	60' radius	50' radius
Local Street Residential - Urban Residential - Urban Cul-de-sac	50'	27'
	50' radius	40' radius
Private Street Residential - Urban Residential - Urban Cul-de-sac	50'	27'
	50' radius	40' radius

Source: Table 900.1 City of Norcross UDO

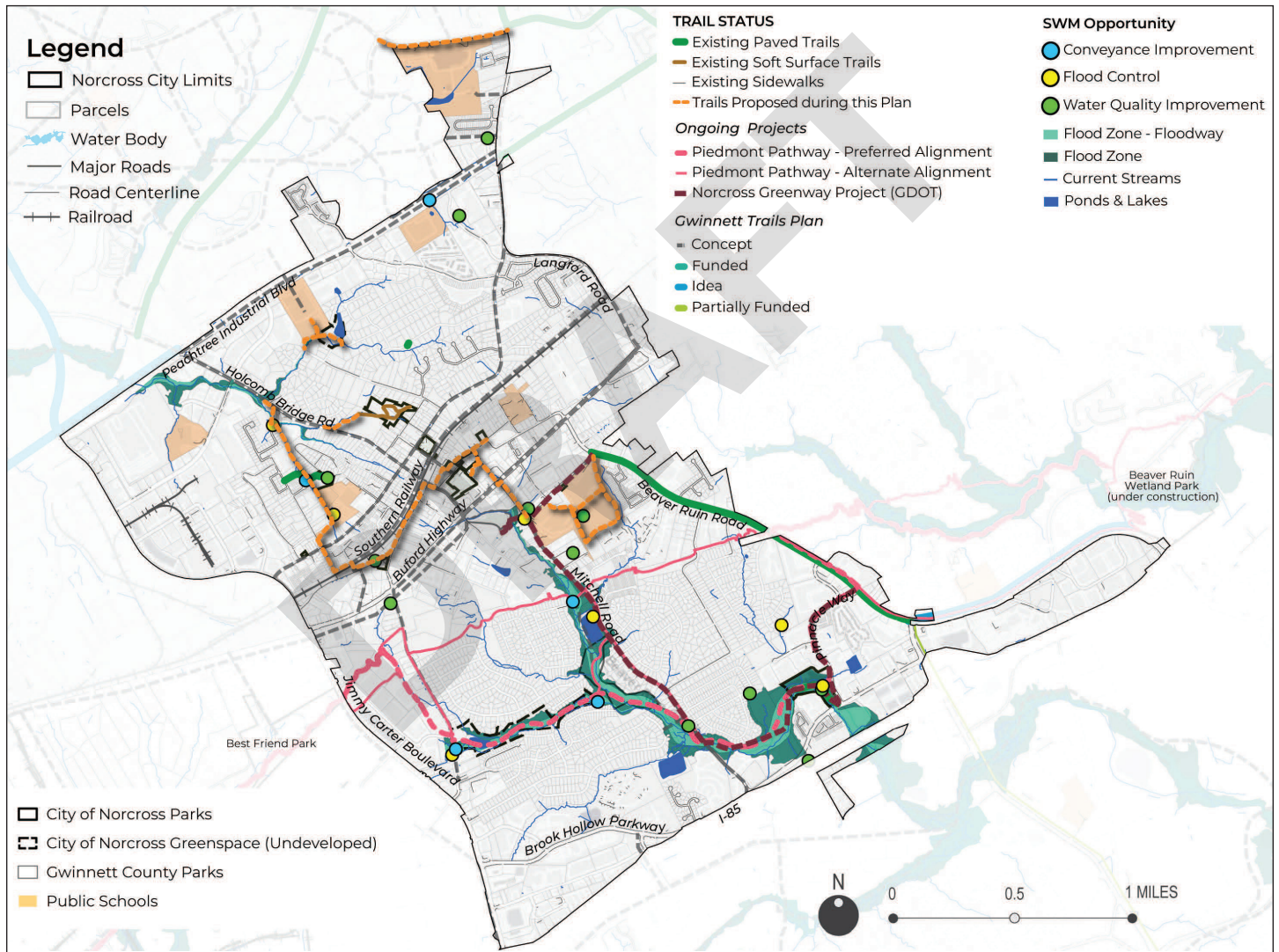
2.3 Long Range Road Classification Map



EXISTING AND FUTURE TRAILS

Figure 2.4 shows the Existing and Future Trails Map for the City of Norcross. This map is adapted from the City's Parks, Green spaces, and Trails Master Plan that was adopted in 2024.

2.4 Existing and Future Trails Map



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3

NEEDS & OPPORTUNITIES



3

NEEDS & OPPORTUNITIES

POPULATION

Communities are defined by the individuals, families, and households that reside within their boundaries. Their background, family structure, daily activities, and aspirations for the future shape the services, infrastructure, and facilities that a community is required to provide and the housing, jobs, and retail it can attract.

People matter.

Overall population trends and anticipated growth are important elements of defining a city and where it is going in the future. Population characteristics will play a key role in the decisions that the city and other public/private partners make about Norcross in years ahead.

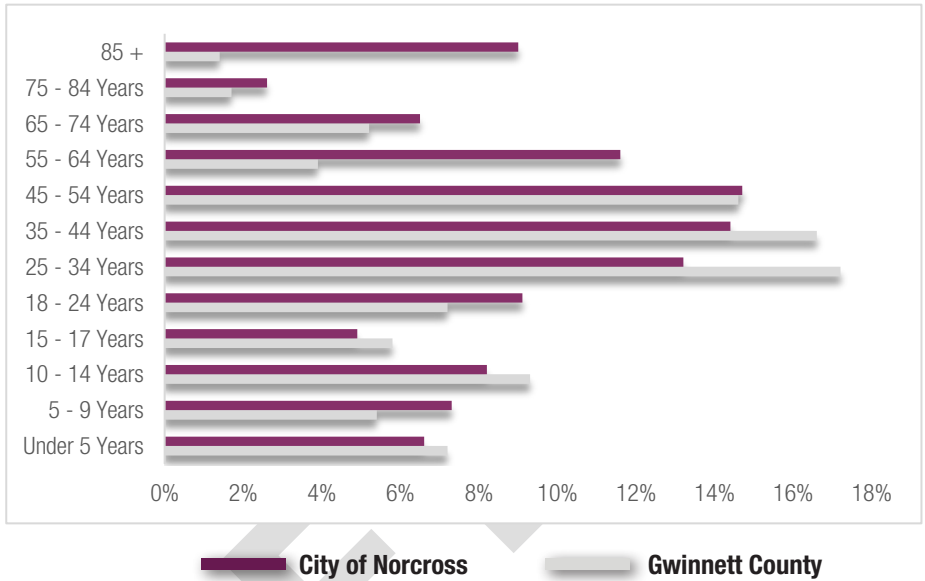
The U.S. Census Bureau's American Community Survey (ACS) estimated that in 2020, Norcross had a population of about 16,876 residents. This represents a 0.002 percent increase since 2017, when the last update to the Comprehensive Plan was completed. Tracking Norcross' growth over time can be complicated however; in 2012, the City annexed a large tract of land and its population jumped by 71 percent as a result.



Norcross is Young

Norcross is a young city. About 35 percent of the population is under 25 years old, compared to 36 percent county-wide and 33 percent state-wide. The city also has a large population of working age adults (age 25-44), which make up 34 percent of the population. These high percentages in younger age groups are reversely reflective of the older population, which is significantly lower in Norcross. As most communities across Atlanta and the nation are preparing for increasingly large aging populations, this is not as critical of an issue for Norcross, but one that still must be addressed. The overall population is still growing older, and the city has seen a rise in the number of proposed developments for senior housing in recent years.

Figure 3.1 Percent Population Age Distribution



Source: City of Norcross Age Distribution (Percentage) 2020 American Community Survey (5-year Estimates)

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Figure 3.2 City of Norcross

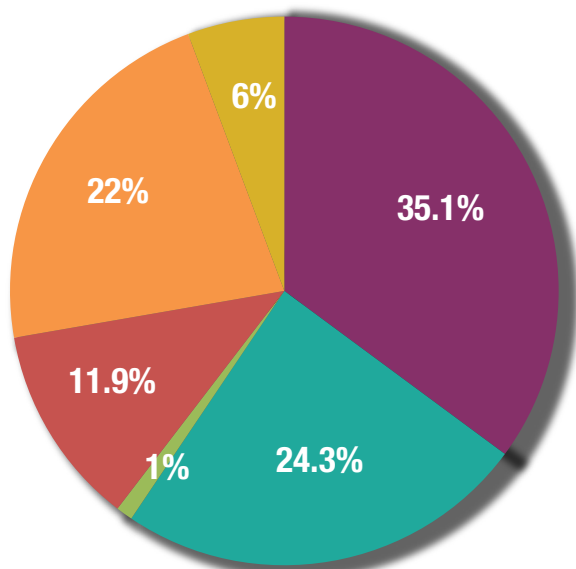


Norcross is Diverse

One of the most defining aspects about Norcross’s population—and the city itself—is its racial and ethnic diversity. According to the 2020 ACS, 35.1 percent of residents are White/Caucasian, 24.3 percent are Black/African-American, 11.9 percent are Asian, 1.0 percent are American Indian/Alaska Native, 22.0 percent consider themselves some other race, and 5.7 percent identify with two or more races. The Census considers Hispanic/Latino to be an ethnicity rather than a race; almost half (40.8 percent) of Norcross’ population identifies as Hispanic/Latino, regardless of race. This is a decrease of nearly 7 percent since 2016. The White/Caucasian population also saw a decrease since 2016, whereas the Black/African-American, Asian and American Indian/Alaska Native population percentages increased in the same period.

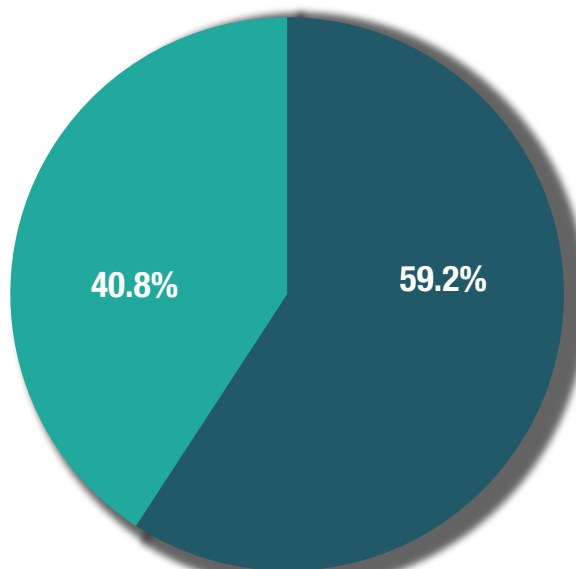
The City’s diversity is seen not only in its mix of races, but in its population’s international scope: an estimated 33.7 percent of Norcross residents were born outside of the U.S., with the majority coming from Latin American countries. This cultural richness and diversity is actively encouraged by the City, which is one of only eight “Welcoming Cities” in the state of Georgia.

Figure 3.3 Racial & Ethnic Diversity



Norcross into the Future

Based on Gwinnett County figures estimated by the Atlanta Regional Commission (ARC), Updated projections from ARC predict that Gwinnett County will become one of the largest counties by population in 2050, with a total population of over 1.4 million. Currently Norcross’ population represents 1.87 percent of the County’s population; if this proportion holds constant, the City could expect to see about 7,646 more residents by 2050—a growth of about 41 percent, for a total population of about 26,180 residents. This assumes that there are no further annexations however. It also does not consider the small amount of available land for new residential development. New residential growth in Norcross will depend on redevelopment and infill.



- Some Other Race Alone
- Black or African American Alone
- Two or More Races
- White Alone
- American Indian and Alaska Native Alone
- Asian Alone

- Hispanic or Latino
- Not Hispanic or Latino

Source: City of Norcross Race; City of Norcross Hispanic or Latino by Race 2020 American Community Survey (5-year Estimates)

Existing Conditions

LAND USE

The land use component is the heart of any comprehensive plan. It provides a snapshot of the City’s current development pattern and the vision of how the City of Norcross intends to develop, redevelop, and stabilize over the next twenty years. The various land uses in the City: residential, commercial, institutional, parks, etc. are the basic building blocks of the community. The relationships of these land uses and the connections among them are what drive the other topic areas addressed by the Comprehensive Plan.

Existing Land Use

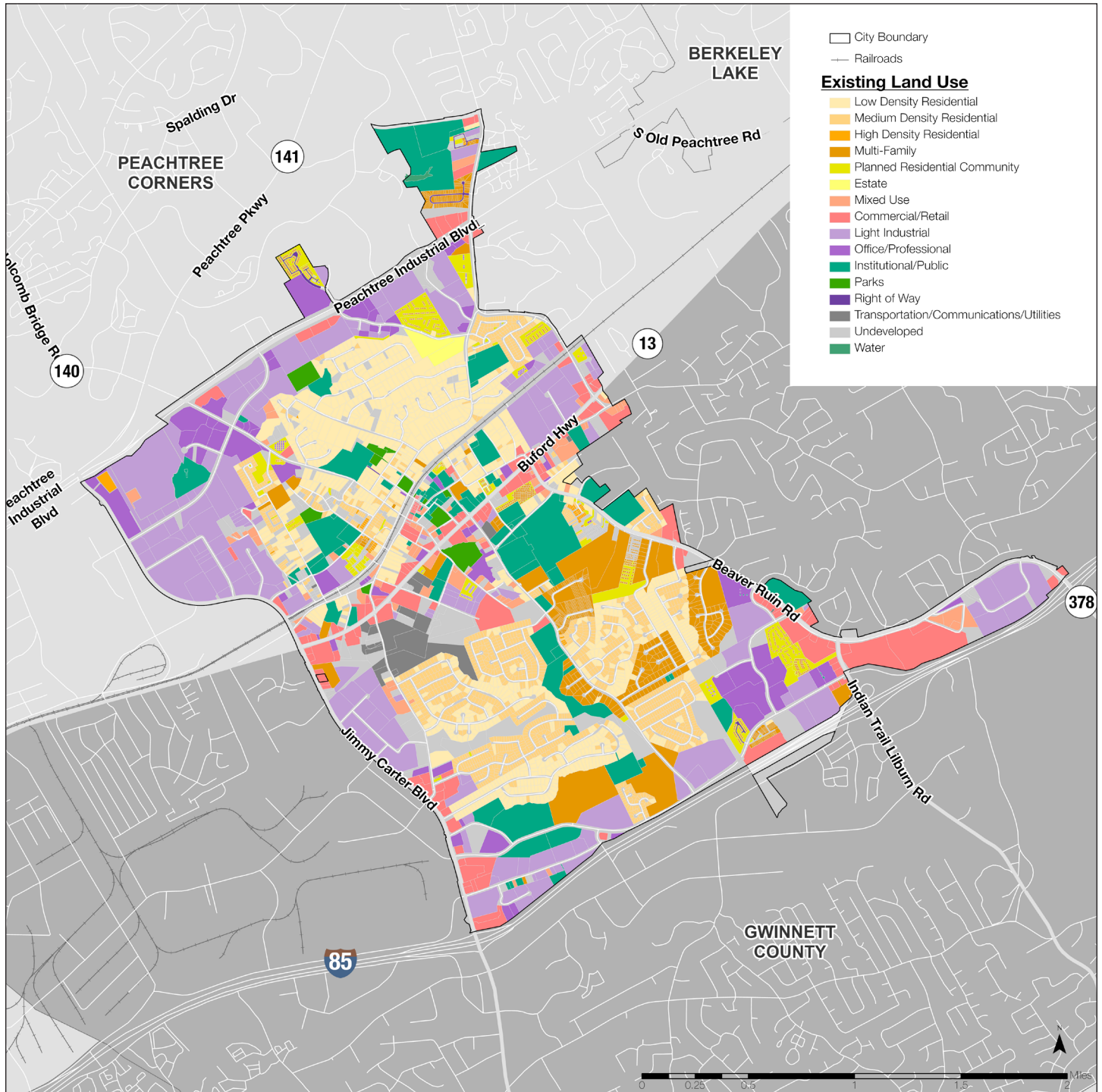
The City of Norcross currently encompasses 3,867 acres, which is just over 6 square miles in size. Table 3.1 provides a breakdown land uses in the city for its current boundaries.

About 14.5 percent of the city is dedicated to low-density residential land uses, with another 8.5 percent in either medium-density or high-density residential uses. This is a comparatively small percentage overall of residential uses compared to most jurisdictions in Gwinnett County. Part of the reason for this is the large amount of land devoted to business: 17.35 percent of Norcross is used for Light Industrial, 7.09 percent is Commercial/Retail, and an additional 5.48 percent is Office/Professional. As mentioned previously very little land is currently left undeveloped, only 8.74% or 338 acres.

Figure 3.4 Existing Land Use Map

Land Use	Acres	Percent of Total
Low-Density Residential	560.6	14.49%
Medium-Density Residential	316.1	8.17%
High Density Residential	6.14	0.16%
Multifamily	294.4	7.61%
Planned Residential Community	108.5	2.8%
Estate	15.8	0.41%
Mixed Use	67.8	1.75%
Commercial/Retail	274.02	7.09%
Office/Professional	211.9	5.48%
Light Industrial	671.1	17.35%
Institutional/Public	371.92	9.62%
Parks/Recreation/Conservation	32.96	0.85%
Transportation/Communications/Utilities	58.8	1.51%
Right of Way	529	13.68%
Undeveloped	338.14	8.74%
TOTAL	3,867	

Figure 3.5. Existing Land Use Map



Land Use Changes and Future Projects

Since the last update, scattered development has occurred across the City. Because there was not much undeveloped land to begin with, most of these projects are small infill developments or redevelopments. Notable land use changes include:

- Construction of a new library adjacent to Lilian Webb Park on Buford Highway.
- Truck & Tap Microbrewery is in the site planning stage on College Avenue.
- Crowne Plaza Hotel - The 235-room hotel underwent a \$20 million renovation and reopened in 2021.
- Several new residential developments have been constructed including two large developments close to Downtown Norcross: Broadstone Junction, a 354-unit development, and The Brunswick, a 193-unit development. Other new housing developments are detailed on page 62.

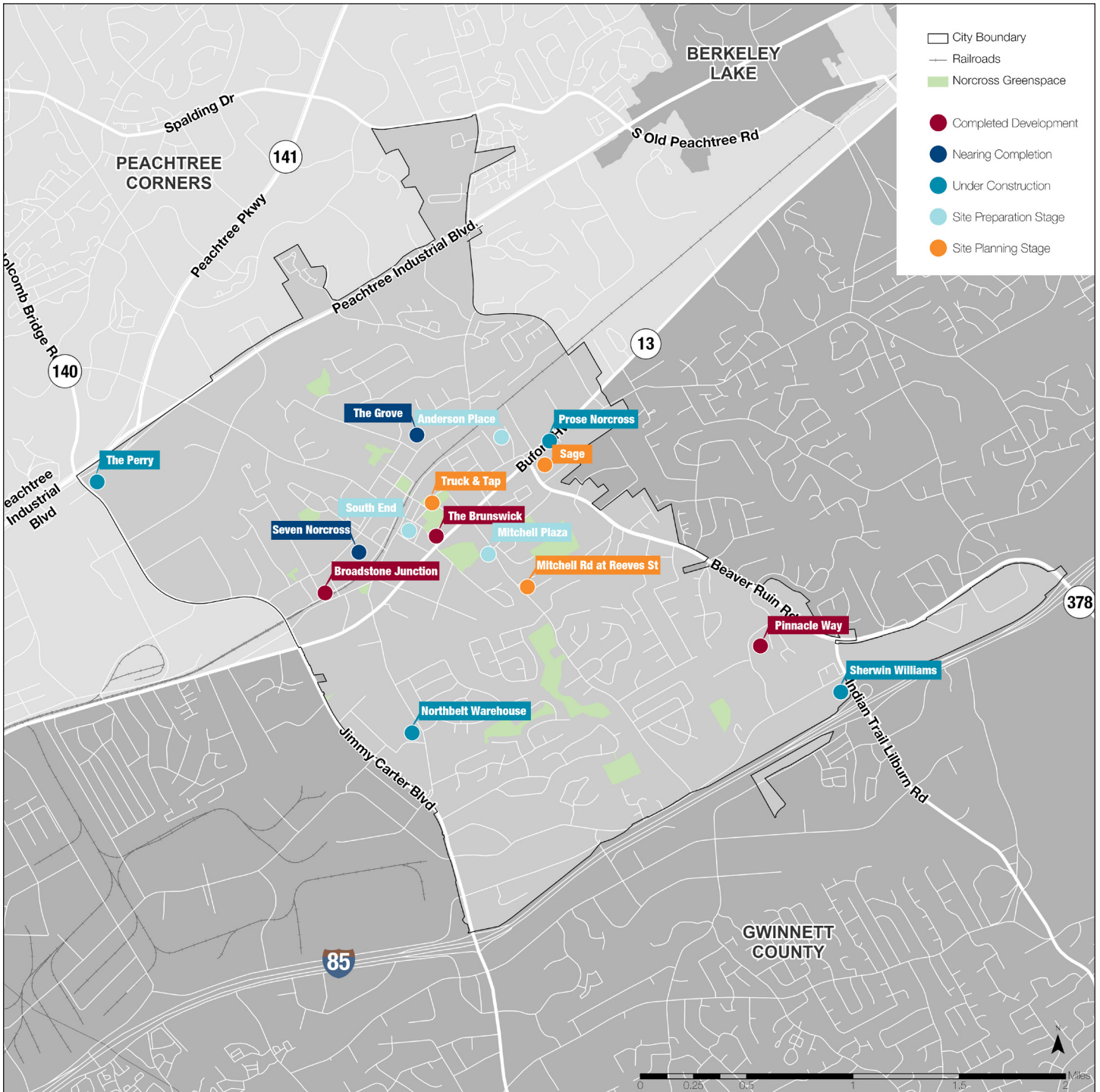
Several proposed developments will bring more improvements and amenities to the City of Norcross, including:

- South End - Located on South Peachtree Street,

this development will consist of a mixed use restaurant, retail and entertainment district and is currently under construction.

- Prose Norcross- A 280-unit apartment complex currently under construction.
- Sage Communities - Senior living apartment complex at the corner of Buford Highway and Giles Street, providing 70 units.

Figure 3.6 Areas of Change Map



Existing Conditions

TRANSPORTATION

Like most cities in the region, Norcross's transportation infrastructure is dominated by roadways. And although there is increasing access to alternative modes such as transit and biking, dependence on cars appears to be rising. According to the 2020 American Community Survey (ACS), about 70.3 percent of Norcross residents commute alone by car, truck, or van; this is a decrease from 2016's figure of 73.5 percent, but an increase from 2010, when this percentage was 69.7 percent. However, the percentage of residents who commuted via carpool did decrease, from 17.6 percent in 2016 to an estimated 16.5 percent in 2020. The mean travel time to work for Norcross residents was 31.3 minutes in 2020, up from 28.9 in 2016.

Roadways

The City of Norcross has direct access to I-85 and is a few minutes from the I-285 perimeter. It has an extensive network of roadways that serve as the backbone of its transportation system. Its roadway network is comprised of primary arterials, major collectors, and local streets. Some of the major or more prominent roadways are also state routes such as Buford Highway (SR 13), Beaver Run Road (SR 278), Jimmy Carter Boulevard (SR 140), and Holcomb Bridge Road, while some of the local routes are Norcross-Tucker Road, Langford Road, South Peachtree Street, and Jones Street. Overall, the city's existing roadway network appears to be dominated by mostly two-lane undivided facilities with a limited number of four-lane facilities.

The major roadway facilities such as Buford Highway, Peachtree Industrial Boulevard, and Holcomb Bridge Road provide the city of Norcross accessibility in and out of the city to other municipalities and locations in unincorporated Gwinnett County. Although they provide connections to a regional network of arterial roadways (including Interstate 85) that allow residents of the city to access several of the metro region's employment and activity centers, most of the major roadways have congestion issues with very limited right-of-way for expansion.

In addition, the Norfolk-Southern rail line that bisects the city, offers only limited crossings, all of which are at grade, except Jimmy Carter Boulevard which crosses under a

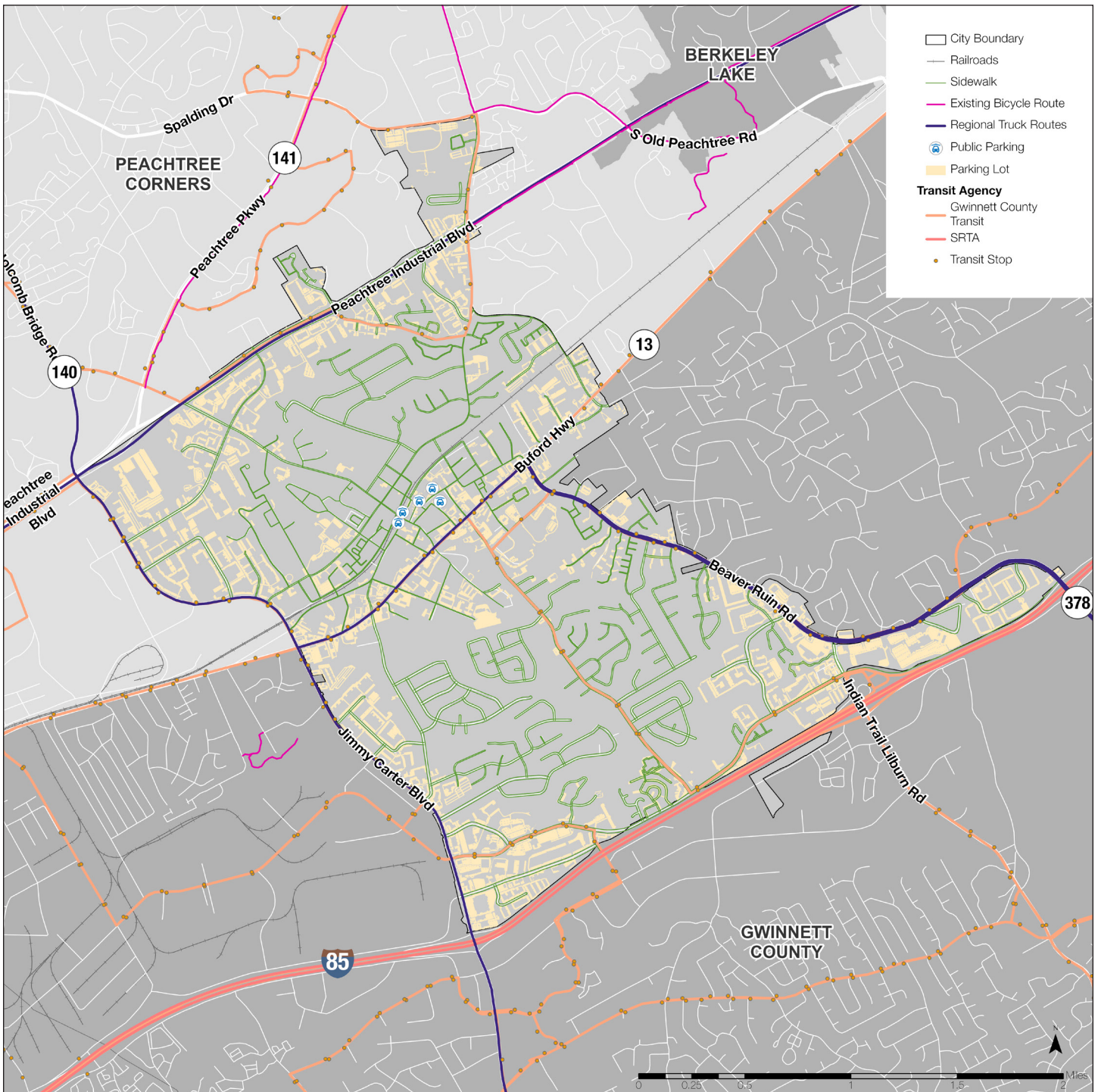
railroad bridge. The Holcomb Bridge Road rail crossing in particular is problematic. It is not uncommon, despite several signed warnings for trucks to get stuck on the rail line due to the steep approach grade to the line. Projects are currently proposed to improve these crossings.

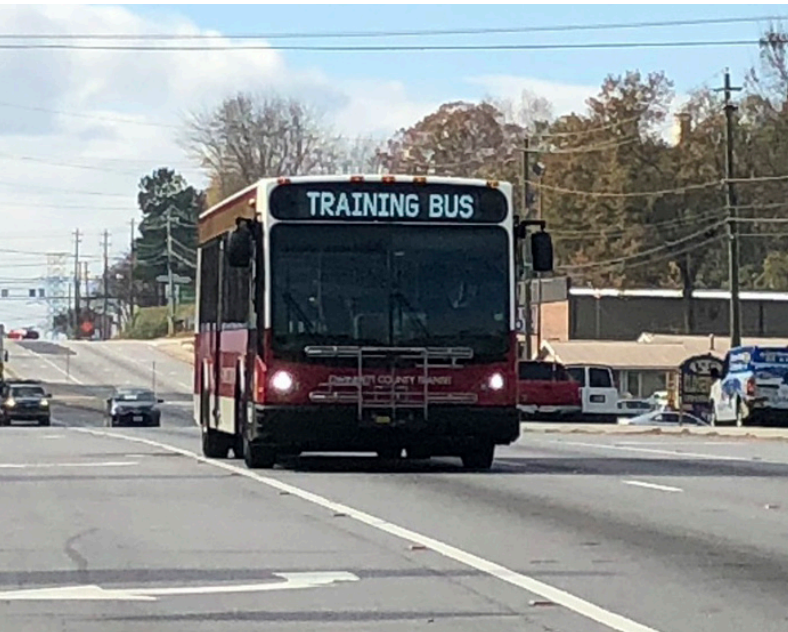
Since the last comprehensive plan update, a number of roadway improvement projects have been completed such as new turn lanes and raised medians on Buford Highway. Currently there are also plans to improve the intersection of Buford Highway and Jimmy Carter Boulevard.

Truck Routes

Truck routes are the designated roadways of a transportation system that are used to balance the needs of commerce, freight and truckers with the needs of the rest of the community to minimize impacts of trucks on the roadway network and land uses. Most local roadway systems do not necessarily prohibit trucks, but direct them to facilities that are more suitable while limiting negative community impacts. In Georgia, most state routes are designated as truck routes. The city of Norcross has truck routes on the following local roads and state routes: Langford Road, Peachtree Industrial Boulevard, Beaver Run Road, Jimmy Carter Boulevard, Norcross-Tucker Road, and Interstate 85.

Figure 3.7 Existing Transportation System





Transit

Norcross is served by Gwinnett County Transit. One of the main facilities is the Indian Trail Park and Ride, located at Indian Trail-Lilburn Road and I-85. From here, Express Bus Route 102 takes passengers directly into Atlanta. Express Route 110 also makes a stop at the Indian Trail Park and Ride, providing a second option for direct transit into Downtown Atlanta. Four local bus routes also serve Norcross: Routes 10A, 10B, 20, and 35, all of which provide access to the Doraville MARTA station.

Bicycle & Pedestrian Facilities

Pedestrian and bicycle facilities are important elements to the overall mobility within small cities and towns like Norcross. In terms of bicycling, there are currently no dedicated bicycle facilities in the City of Norcross. This is due to the fact that many of the primary roadways in the city do not have adequate shoulders or spacing as well as the safety concerns regarding high traffic volumes. There are opportunities for some shared bicycle-automobile use on some of the lower volume streets in the city and this has been documented in some of the past studies by both the city and the ARC. Additionally, there are elements such as sharrows that exist in the city to foster bicycle use where it's appropriate.

In terms of pedestrian facilities, they exist mostly in the downtown areas of the city. Norcross recently installed wider sidewalks and streetscape improvements in the downtown area with plans for expansion. Although the existing sidewalks are functional, the network requires some enhancement in order to increase the safety and attractiveness of the downtown area for both visitors and residents. As stated earlier, a major impediment for the downtown sidewalk network is the railroad tracks. The existing tracks are not convenient for pedestrian use due to safety and grade issues. Similar to the need for more bicycle facilities, the city is looking into ways to use pedestrian facilities to connect schools. Studies have shown that locations with adequate sidewalk networks can allow for more pedestrians to walk to schools.

The city has taken note of this issue and has several sidewalk (in conjunction with bicycle lanes) improvements planned. One of the most notable projects is the Summerour Safe Routes to School facilities, completed in 2020.

Planned Projects & Opportunities

Destination2050: Gwinnett County CTP

Destination2050 is Gwinnett County's Comprehensive Transportation Plan. The plan looks at all modes of transportation for the whole county, and laid the foundation for more detailed recommendations to follow in the transit and trails plans (see below). In terms of roadway improvements, the CTP identified the following major projects:

- Peachtree Industrial Blvd Smart Corridor Improvement
- Brook Hollow Pkwy Safety Improvements
- Indian Trail Lilburn Rd Safety Improvements

It also identified improvement projects at the following intersections:

- Holcomb Bridge Rd at Atlantic Blvd
- SR 140/Jimmy Carter Blvd at Corley Rd
- Jimmy Carter Blvd at N Norcross Tucker Rd
- Jimmy Carter Blvd at Brook Hollow Pkwy
- Jimmy Carter Blvd at Goshen Springs Rd
- Brook Hollow Pkwy at Center Way
- Buford Hwy at Holcomb Bridge Rd

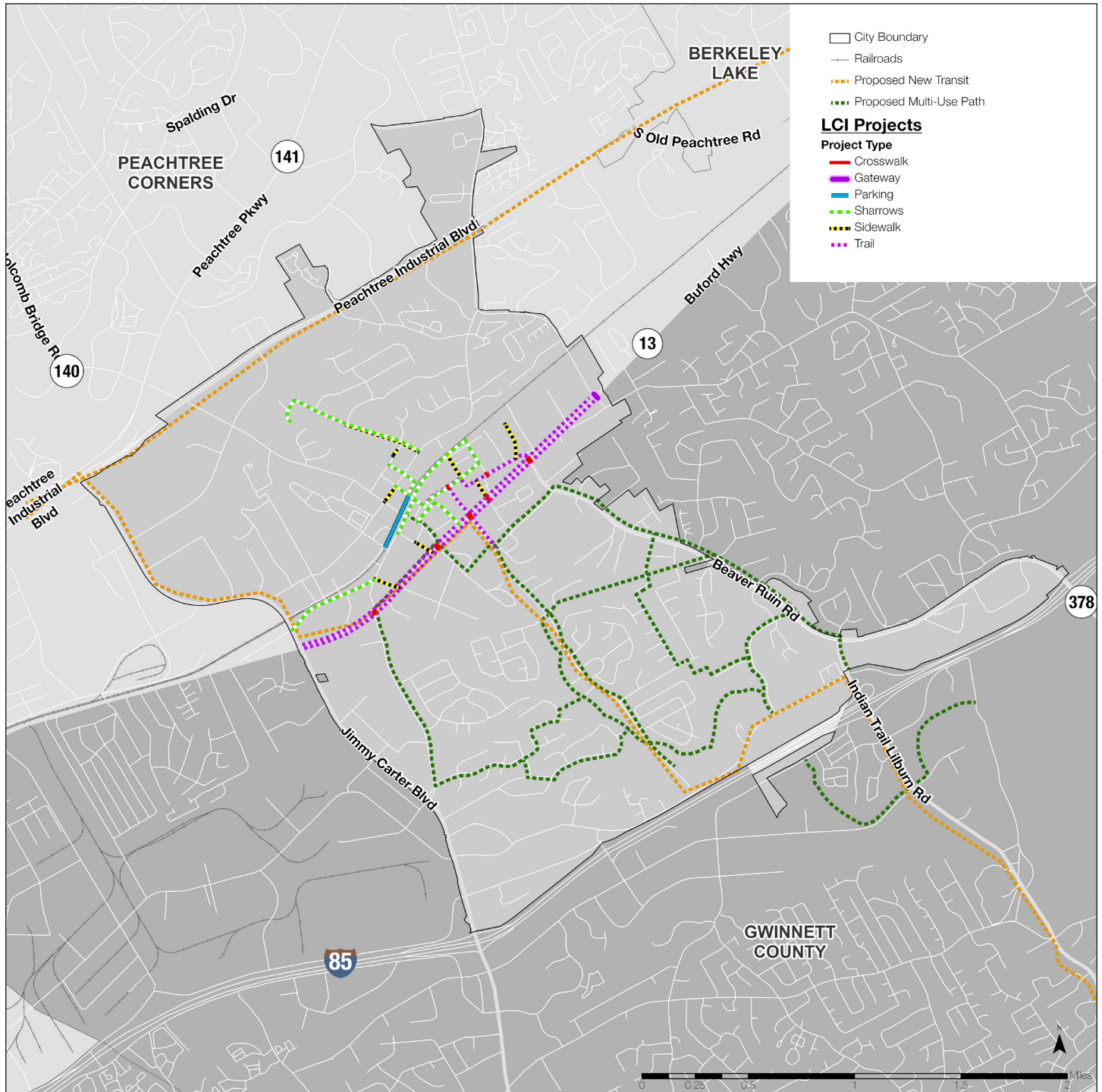
Bicycle and pedestrian projects in the CTP included the construction of sidewalks on Jimmy Carter Blvd from Best Friend Rd to N Norcross Tucker Rd.

Transit Development Plan

As one of Gwinnett County's densest cities, Norcross has some of the highest propensities to support transit in the county. This is reflected in the *Transit Development Plan* (2023) the County's transit plan. Recommendations in the plan that are related to service in Norcross include:

- **Two Transit Transfer Facilities.** Transit transfer facilities (TTF) are the primary points of confluence between routes and modes. The Transit Development Plan proposes two facilities within the City of Norcross, the Norcross TTF and Indian Trail TTF.
- **County Ride Services.** Proposed services through Norcross with connections at the Norcross and OFS TTFs.
- **Quick Ride Service.** Proposed services through Norcross with connections at the Norcross and OFS TTFs.
- **Rapid Ride Service.** Connection through the OFS TTF station.
- **Airport Connector.** Connection at Indian Trail TTF.

Figure 3.8 Future Transportation Projects



Gwinnett Trails – Countywide Trails Master Plan

The County recently undertook a massive trail planning effort, pulling together projects and recommendations from a series of existing plans, then reevaluated them for overall connectivity and funding realities. The result is a core network of “priority trails,” with aspirational trails noted if funding is available. In the process, the plan also identifies nine “signature trails,” three of which include part of Norcross:

- **Norcross to Lilburn Trail:** skirting the City’s northern boundary, this trail would be part of the Beaver Ruin Road corridor. The segment within Norcross is almost fully funded and underway.
- **Piedmont Pathway:** an east-west path that crosses the county from Norcross east to Dacula. In Norcross, this trail is shown near the utility corridor roughly 0.5 miles south of Buford Highway.
- **Western Gwinnett Bikeway:** a 10.5-mile bikeway that travels from Peachtree Corners/ Norcross up to Suwanee. In Norcross, the bikeway is part of the Peachtree Industrial Boulevard corridor.

LCI and Local Plans

Another significant source of future transportation projects is LCI plans and plans completed by the City. The LCI plans in Norcross are the Norcross Town Center, Norcross Activity Center, and the Jimmy Carter Boulevard Corridor. Recent local plans include the Buford Highway Master Plan, and the Urban Redevelopment Plan.

While the Town Center LCI update is underway, the Norcross Activity Center plan has not been updated since the previous Comprehensive Plan, but there have been supplemental studies as follow-ups, such as the **Beaver Ruin Creek Greenway** concept—a major project on the horizon for the city. Many of the transportation projects previously identified have been implemented, but some remain such as traffic calming projects for both Peachtree Street and Holcomb Bridge Road.

The Jimmy Carter Boulevard LCI was completed in 2018. Its major recommendation for the area is to start rebranding Jimmy Carter Boulevard as an “international street,” celebrating the diversity of the area. Although many of the study’s specific recommendations focused on areas beyond the City of Norcross boundary, multiple projects are proposed that affect the city. This includes pedestrian safety improvements at Western Hills Drive and North Norcross-Tucker Road; crosswalks at multiple intersections along Jimmy Carter Boulevard; a multi-use path along Jimmy Carter Boulevard; and a sidewalk on Goshen Springs Road. The plan also introduced a split diamond concept alternative for the Jimmy Carter Boulevard/I-85 Interchange.

Additional Opportunities

Another aspect of transit for the city is the potential for passenger and/or commuter rail transit. The city already has a rail presence in the downtown area with a Norfolk Southern freight line that traverses the middle of the CBD. Downtown Norcross also has a right-of-way for Amtrak that runs parallel to Buford Highway and the interstate. This line has the opportunity to connect the city with the entire metropolitan region and beyond via commuter rail service. In addition to those lines in the downtown areas of Norcross, there has been talk in the past of a using another rail line in the county to connect Athens to the metro region via the ‘Brain Train.’ The city of Norcross may want to consider this for potential connections as well in the future.

Existing Conditions

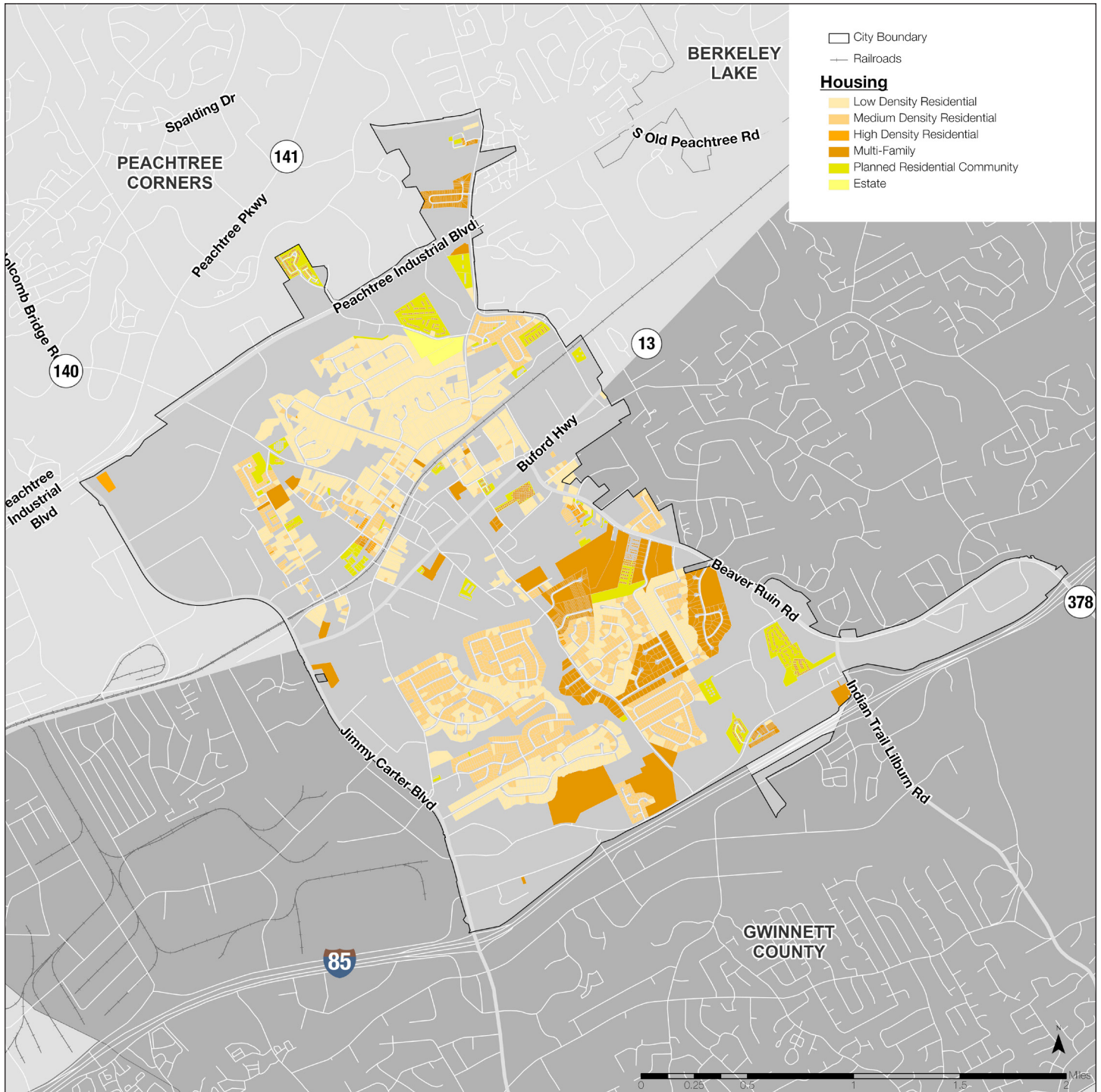
HOUSING

Housing is one of the most basic building blocks of neighborhoods. The type, value, age, condition, availability and tenure of housing units set the character of neighborhoods and in turn greatly influence the City’s ability to attract and maintain residents and businesses. Because housing plays such a vital role in the life of the community, assessing how the city’s housing profile has changed over time and identifying the key issues that affect the local housing market are integral tasks in updating the City’s vision for the future.

Housing resources are closely tied to existing land use conditions and policies and should be closely considered with demographic trends. To provide for a high quality of life, jobs/housing balance is also an important consideration that juxtaposes location of jobs and where people live. Housing should complement the types of jobs in a community, creating an opportunity for area workers to live in the same location – reducing congestion on regional roads and minimizing travel time to work, thereby freeing up time for other activities and improving quality of life.



Figure 3.9 Housing Map



Housing Profile

As of the 2020 ACS, there were approximately 5,856 housing units in Norcross. This is an increase from 2016, when there were 5,476 units. Occupancy rates are healthy, and similar to Gwinnett County as a whole. In 2020, 96.2 percent of all units were occupied (compared to 95.8 percent county-wide). The homeowner vacancy rate is particularly low at 0.3 percent, compared to 1 percent across the County.

About half (50.7 percent) of all Norcross housing units are single unit, detached residences. This is considerably lower than the Gwinnett County percentage of 72.3 percent. Norcross also has comparatively high percentages of single unit attached residences (16.6 percent) such as townhomes, and units in 5- to 9-unit structures. Between 2016 and 2020, the most marked increases were in 10- to 19-unit structures, and those with 20 or more units. This suggests a trend towards increased housing density.

In terms of housing tenure, Norcross residents tend to be fairly new: 68.3 percent moved to their current home in Norcross in 2010 or later, compared to 58 percent across Gwinnett County. A particularly large proportion moved to the city in the later years of the Great Recession, 2010-2014.

Housing values are distributed throughout the city in a fairly similar pattern to that as the rest of the County, but at slightly lower values overall. In 2020, the mean housing value was \$230,300 in Norcross, compared to \$235,700 across Gwinnett County indicating that Norcross continues to be a place of choice in Gwinnett.

The age of housing in Norcross is different than the County as a whole. Almost one-third (30.5 percent) of homes in the city were built between 1980 and 1989, compared to 23.2 percent county-wide. Norcross also did not experience as much of a housing boom between 1990 and 2010 as many places in the region: 41.5 percent of its homes were built in this 20-year span, versus 54.4 percent countywide.

New Housing Since 2018

Since the last comprehensive plan update, there has been a large number of multi-family and attached single family homes constructed in Norcross.

- **Broadstone Junction** – This development includes a total of 354 units, including 200 modern flat-style apartments, 90 industrial-style loft units, and 64 townhomes.
- **The Brunswick** – A new development with 193 apartment units, including 9 live-work units.
- **Pinnacle** – A 24-unit townhomes development.
- **The Grove** – A 14-unit single family home community is in progress on North Peachtree.
- **Seven Norcross** – An in-progress development of over 100 units including single family detached and townhomes.
- **The Perry Residences** – 160-unit apartment development at the corner of Peachtree Industrial Blvd and Jimmy Carter Blvd.

Affordability

Although Norcross has a lower cost of living than Gwinnett County and the region as a whole, there are still housing affordability challenges. A household is considered rent burdened if it is paying more than 30 percent of its income on rent. According to this definition, over half (56.7 percent) of renters are rent burdened, compared to 53 percent county wide. So although homes in general are more affordable in Norcross, the lower incomes of its residents translate into a higher rent burden.

Another way to measure housing affordability is the ratio of the median home value to household income. Citywide in 2020, this number was 2.8—higher than the county (2.5).

Norcross is currently participating in the Georgia Initiative for Community Housing. The City's committee is working to address the following housing challenges:

- Increasing affordable home ownership opportunities
- Enhancing the quality of the aging housing inventory
- Increasing affordable rental housing
- Addressing transient housing issues
- Review of the zoning ordinance for housing implications
- Enhancing quality of life, community engagement, and marketability of the city

Future Projects

A number of new housing developments and projects are currently in the pipeline, including:

- **Prose Norcross** - 280 apartment units (workforce housing price points)
- **Sage** - 70 apartments units, senior affordable housing (apartments)
- **Mitchell Road at Reeves Street** - 180 affordable apartments units (Norcross Housing Authority)

While affordability is a concern in the City of Norcross, two of the upcoming apartment developments show the city's commitment to increase affordability as new housing is introduced.

Homelessness in Norcross

In August 2022, Gwinnett County commissioned a Comprehensive Housing Study to determine future housing needs and a range of solutions to meet those needs. Included in the report is the 2019 'Point in Time' counts for the County. According to the U.S. Department of Housing and Urban Development (HUD), the Point in Time (PIT) count represents the number of sheltered and unsheltered people experiencing homelessness on a single night in January. At the time of the report, the most recent counts were from the 2019 PIT and showed 930 unsheltered and sheltered homeless people in the County. While this data is not broken down by municipalities within Gwinnett, homelessness is an issue that impacts Norcross. It is important that the City understand this data and identify any partnerships that may be possible with Gwinnett County and/or local nonprofit groups to combat this issue.

Existing Conditions

ECONOMIC DEVELOPMENT

A community's economic base, economic development resources and economic development practices have an important impact on economic growth and should be reviewed on a regular basis. Local opportunities to expand or attract businesses and grow jobs for the labor force are often a function of local and regional resources and policies, such as labor supply, land use policy and infrastructure. As such, a community's economic development goals and targets should be considered in strategic decisions related to land use policies, services and facility offerings, and infrastructure.

The Atlanta Region functions as one economic system, consisting of multiple cities and jurisdictions where people traverse political boundaries for economic reasons, of which Norcross is a small component. For example, businesses may locate in Norcross, yet can benefit from the labor pool of the entire region. Local economic development in Norcross should focus on ensuring that the city is leveraging its assets, providing a business friendly environment, and furthering local policies that make the city an attractive location to start, maintain, or grow a business.

The city is economically healthy, with strong growth rates and low vacancy rates. Norcross is also the headquarters of several large companies, including Waffle House and Hyundai. But the city is not resting on its laurels--Norcross is actively adapting to the rapidly changing economic realities that are shaping our region. Primarily, market proximity is no longer the dominant driver of business location choice—it's the locale's ability to attract the best and brightest talent. To this end, the City completed the Norcross Target Industry Study in 2017 that evaluated the current market and identified target industries for the City to pursue.

A Target Industries Analysis will be completed in Spring 2024. This effort will identify what industries the city should prioritize in business attraction and retention and how to do so.

Profile Business in Norcross

Business by Industry

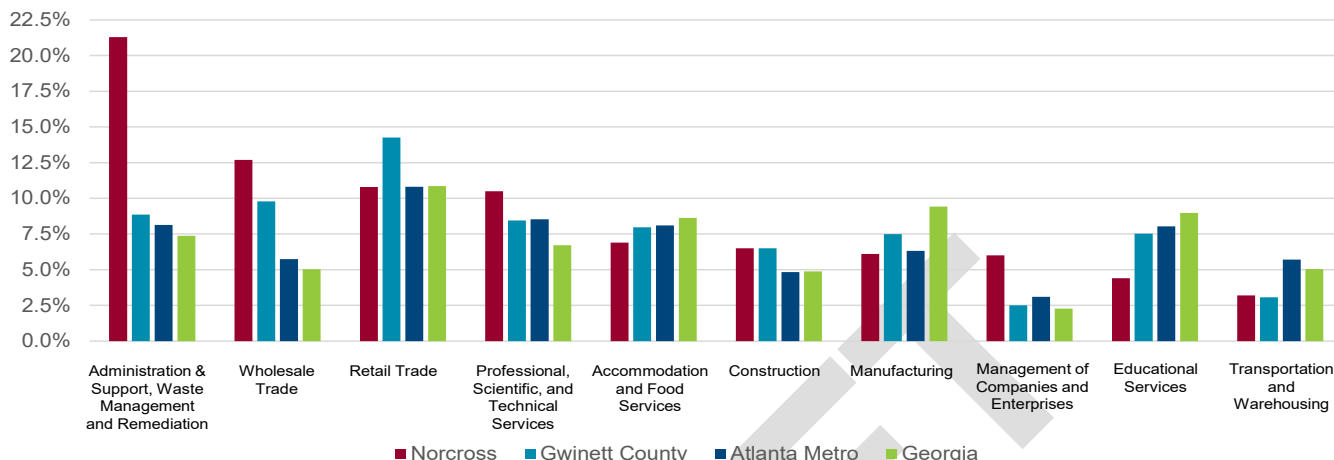
The most recent data available for businesses in Norcross is the 2020 Census. In 2020, the industries with the largest number of employees includes Administration & Support, Waste Management and Remediation, Wholesale Trade, Retail Trade, Professional, Scientific, and Technical Services. The Census enumerated 20,928 employees in Norcross places of work. By this measure, Administrative and Support and Waste, and Wholesale Trade are dominant industries, employing 21.3 and 12.7 percent of Norcross workers respectively. Retail Trade was not far behind, employing 10.8 percent of workers in Norcross.

The 2017 Target Industry Study conducted a robust industry analysis of Norcross, and identified concentrated industry clusters of Telecom Services, Electronics, Back Office, Industrial Machinery, Furniture Manufacturing, Software/IT, and Consumer Products.

These analyses and figures only tell part of the story however. According to the city's Sustainability Framework plan, immigrant businesses bring in \$897 million in annual sales to the economy, and employ about 9,500 people. Many of these businesses are small, local businesses employing only a handful of people.

Figure 3.10 Norcross Industry Clusters - 2020

The following bar chart compares the top 10 industry sectors against the percentages of the jobs counts for Gwinnett County, the Atlanta-Sandy Springs-Roswell Metro Area, and the state of Georgia.



Source: OntheMap 2020 Census Data

The City has a number of incentives in place to help attract business. It provides assistance to entrepreneurs/start-ups; has a job tax credit program; and offers expedited permitting. Norcross has one Opportunity Zone designation, a Freeport Inventory tax exemption in four classifications, and is located in Georgia’s Foreign Trade Zone #26.

Norcross has a Federal Opportunity Zone (QOZ). The QOZ is a tax benefit for investors and businesses who invest in underserved areas, allowing them to defer paying federal taxes on capital gains if they reinvest them in a Quality Opportunity Fund for a number of years.

The Freeport Tax Exemption enables companies to be exempt from property taxes on some inventory. While many places have this exemption in three categories (typically goods in process, finished goods, and stored goods), Norcross has a rare exemption available for “stock-in-trade stored in e-commerce fulfillment centers.” The city is also located in Georgia’s Foreign Trade Zone (FTZ) #26. As part of this zone, there is significant tariff/tax relief to qualified businesses who are trading internationally and using imported components or raw goods.

Profile Norcross Residents at Work

As of the 2022 American Community Survey, about 70.6 percent of Norcross’s population aged 16 and over were in the labor force. This is slightly higher than the county as a whole, with a participation rate of about 68.4 percent. Unemployment is very low at 2.6 percent, and is lower than the Countywide rate of 2.8 percent.

Despite the low unemployment rate, the median household income in Norcross is relatively low at \$72,968. This is particularly low when compared to the median household income for Gwinnett County at \$83,901, and the average salary of jobs in Norcross at \$61,100. When looking at the inflow/outflow of workers in Norcross, only 1.7 percent of Norcross residents in the labor force also work in the city.

Residents who are employed are fairly evenly distributed among the major categories tracked by the Census. There is a slightly higher percentage of Norcross residents employed in higher wage industries like Management, business, science, and arts occupations (41.9 percent versus 40.8 percent countywide), and a lower percentage in service occupations (14.7 versus 15.3 percent), which tend to have lower pay.

Figure 3.11 Inflow/Outflow

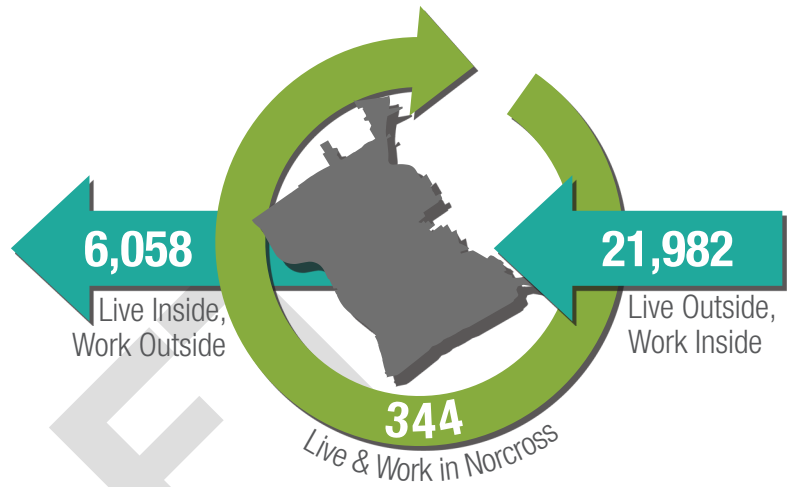


Table 3.12 Percent of Residents Employed by Industry Type

City of Norcross			Industry Type	Gwinnett County		
2010	2016	2020		2010	2016	2020
29.2	24.7	28.7	Management, business, science, and arts occupations	37.6	37.4	39.3
13.7	20.0	18.2	Service occupations	13.9	16.0	16.1
18.7	20.3	24.2	Sales and office occupations	27.6	26.6	22.8
25.6	21.5	15.1	Natural resources, construction, and maintenance occupations	11.1	10/0	9.5
12.8	13.5	13.9	Production, transportation, and material moving occupations	9.9	10.0	12.2

Target Industry Study Findings

Employment Destination

Norcross is a high-wage employment destination: the average salary of a job in the city is \$61,100, compared to \$50,600 in Gwinnett County as a whole. Although these comparatively high salaries are great, they are primarily going to non-residents: 98 percent of jobs in Norcross are not held by city residents. This signals a high volume of people commuting in and out of the city every day. Interestingly, Norcross is home to 11 percent of all jobs in the county, but only 1.8 percent of the population.

The City's proximity to major regional transportation corridors like I-285 and I-85 enable and out-of-town work force, and is a draw for attracting more businesses to locate in the city. Because of its location, the Target Industry Study estimates that Norcross has a "labor shed" of about 2.3 million potential workers. If MARTA rail is extended to Norcross, the labor shed will significantly increase.

Innovation

“...insofar as there remains a balance between economic growth and environmental protection, this historic community will forever welcome those who dream of intellectually and creatively contributing to the growth and development of a community they are proud to call their own.”

-Norcross Imagination Proclamation



Norcross has a long history of innovation and inventiveness. Resident and cotton farmer Homer Summerour gained national recognition for patenting an improved cotton seed variety in 1912.



Norcross was recognized as the #14 “Most Genius Place in America” by TIME magazine. This was based on the number of patents issued over the last 40 years. The Target Industry Study reports that in 2015, Norcross residents or workers received new patents at a rate of 80 per 10,000 residents.

The city is also in close proximity to a number of business incubators and coworking spaces such as Prototype Prime, the Gwinnett Innovation Center, 22techPark, and Atlanta Tech Park. Norcross’s neighbor to the north, Peachtree Corners, has a growing reputation as a high-tech center for innovation, both in terms of its economy and city operations. By actively partnering with the City of Peachtree Corners, there could be increased opportunity for connectivity and a growing “critical mass” of innovators.

Target Industry Study Recommendations

Through its analysis, the Target Industry Study identified three target industries and select sub-niches to focus on:

- **Technology and innovation:** Biomedical, Electronics and Machinery, Software & IT
- **Professional and business services:** Administrative Support Services, Data Centers, Logistics and Distribution, Freelancers & Entrepreneurs
- **Culture and creative services:** Art and Design, Digital Content, Film & Television

The City is making progress toward becoming more attractive to millennials/young professionals. This group—people aged 25 to 44—are highly sought after for having the latest skills and knowledge, and the most productive work years ahead. It is important that the City continue to attract residents in this age group to work towards a better balance of workers and residents in the City.

An area for potential growth is the film industry. Statewide, the film industry generates about \$9.5 billion in economic impacts. Eagle Rock Studios—the largest stage complex under one roof in the US—is located just across the city boundary on Jimmy Carter Boulevard, and part of the area under consideration for annexation. It is recommended that the Norcross elected officials and staff reach out to state legislators to familiarize them with the economic impact of the filming industry in the City and region.

Existing Conditions

SUSTAINABILITY & QUALITY OF LIFE

Sustainability and quality of life go hand-in-hand. Sustainability can be defined in many ways, but at its core it is achieving long-term environmental, social, and economic health and resilience. In communities where these three components are addressed effectively, there is typically a very high quality of life for residents.

The 2017 Norcross Sustainability Plan identified the following as the community's major quality of life assets:

- An active network of civic and faith-based organizations contributing community support daily
- A historic fabric now being protected for future generations
- A vibrant economy, built on a mix of business sectors and anchored in a thriving downtown
- Increasingly accessible parks and green space amenities and a mature tree canopy, and
- One of the most ethnically diverse populations in the state of Georgia

Following is a snapshot of the major elements that make up quality of life in Norcross: sustainability, public services and civic groups, education, parks/recreation/trails, natural resources, and arts/culture/history.

Sustainability

The City has committed to a sustainable future, and went through three rounds of certification for the Atlanta Regional Commission's Green Communities program. In the process, the City has reached a number of sustainability goals, including:

- All new City-owned buildings more than 5,000 SF and significant renovations must be LEED certified
- Enacted incentives for private building to go green by offering a floor area ratio bonus, and expedited plan reviews for some types of projects that seek LEED, EarthCraft certification, solar energy, WaterSense certification.

- Replaced decorative lighting downtown with LED lights
- Adopted a "no net loss" of trees policy for all City-owned property
- Adopted a green fleet policy for City-owned vehicles

The *Norcross Sustainability Plan* provides a roadmap for future sustainability initiatives, and has been folded into this update of the comprehensive plan.

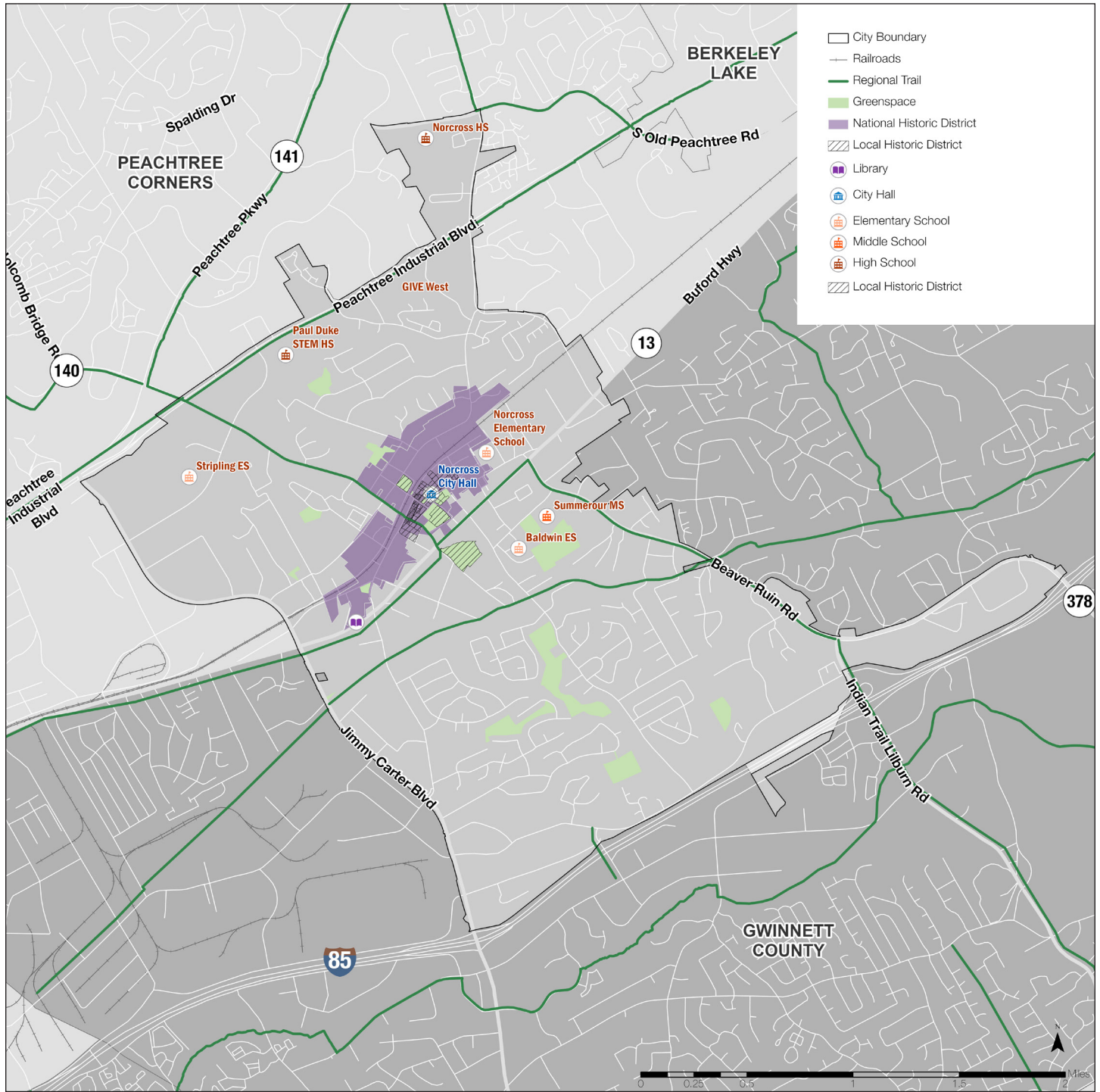
Public Services & Civic Groups

Public services in Norcross are provided by a mix of agencies. The City has its own police force, which enables faster response times, proactive interventions in higher crime areas, and a closer relationship with citizens. One unique aspect of the police force is the Citizens Police Academy that educates residents on the community and the role of the police. Overall the city is quite safe, and was recently ranked the 48th safest city in Georgia out of over 500 places. Fire and emergency services are provided by the Gwinnett County Fire Department.

Utility services are also strong, with the City providing its own electrical utilities through Norcross Power. Other utility services are provided by the county (such as water and wastewater) or through private enterprises.

One of the most unique characteristics of Norcross is how engaged and civically minded many of its residents are. Groups such as the Progressive Development Council (sometimes called People Drinking Coffee) and Young Norcross actively engage in the city and are strong partners in improving the community.

Figure 3.13. Quality of Life Map



Education

Norcross residents are served by the Gwinnett County School Board. Public schools within the City of Norcross boundaries include Susan Stripling Elementary School, Norcross Elementary School, Summerour Middle School, and Norcross High School. Since the last comprehensive plan update, two new schools have been added: the Paul Duke STEM High School and Baldwin Elementary School. Summerour Middle School also moved into a new facility near its previous location.

Built at a cost of \$37.7 million, the Paul Duke STEM High School offers programs in a variety of disciplines, including offers applied engineering, communication/art/design, digital and innovative technology. It has a four-day school week at its campus on Peachtree Industrial Boulevard with digital learning days on Fridays, and dual enrollment/diploma options. The school opened in fall of 2018 with about 650 students, and ultimately has capacity for 1,200 students. Students in the Norcross school cluster can attend either this new school or Norcross High School.

The other new school in Norcross is Baldwin Elementary School. This school was built to relieve overcrowding at elementary schools in this part of Gwinnett County. It was constructed on the site where Summerour Middle School previously stood, and opened in 2016.

Summerour Middle School received a new building in 2015. At 240,000 square feet, the facility has heating and air conditioning based on body sensor technology, a state-of-the-art media center, an innovation lab, a broadcasting studio, and views to Stone Mountain on a clear day.



Recreation, Parks and Trails

Norcross has access to parks and recreation through both City and County facilities. The City maintains ten parks: Lillian Webb Park, Thrasher Park, Summerour Park, Veterans Park, Rossie Brundage Park, Heritage Park, Johnson-Dean Park, Discovery Garden Park, Betty Mauldin Park, and Pinnacle Park. Nearby Gwinnett County parks that are easily accessible to Norcross residents and workers include Best Friend Park on Jimmy Carter Boulevard, Pickneyville Park and Soccer Complex, and Graves Park.

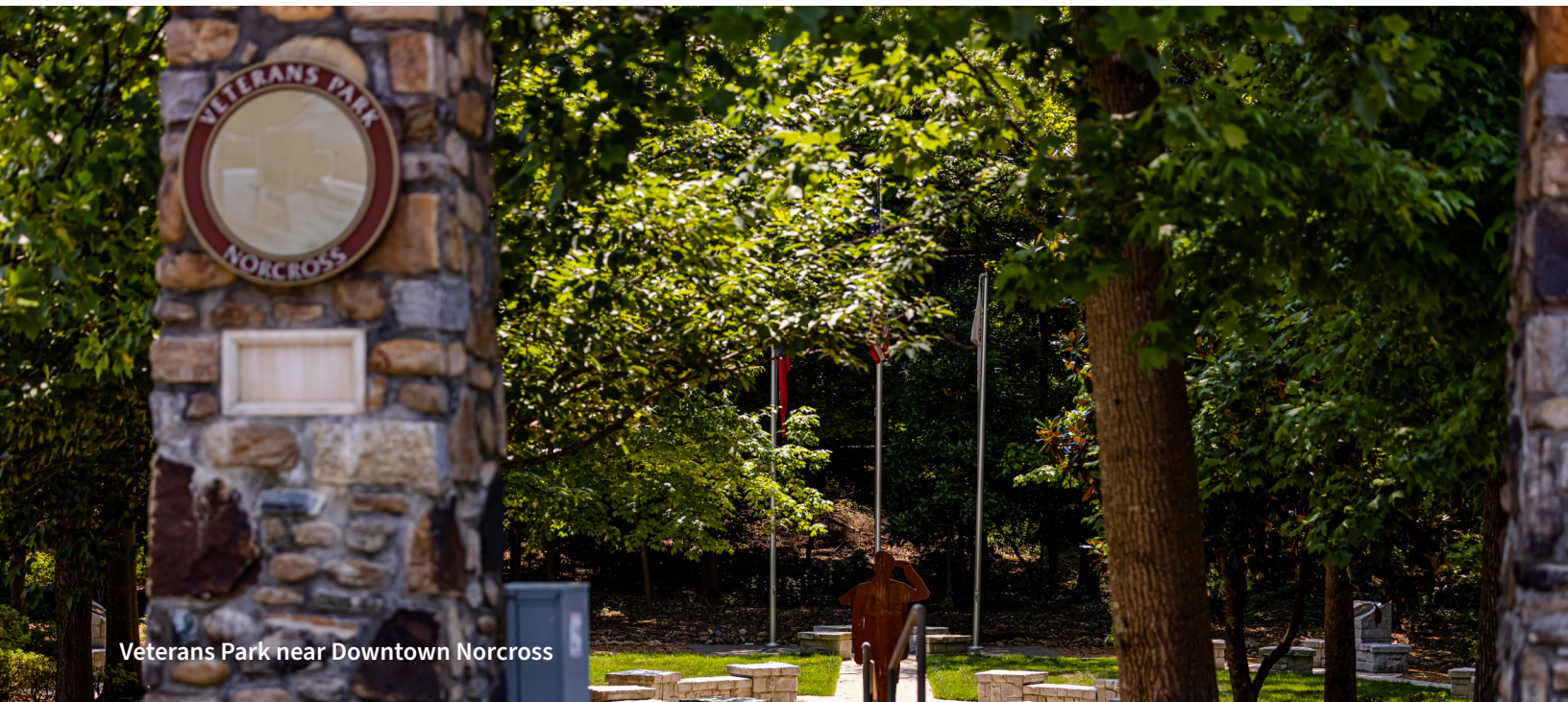
The City has recently invested in planning its parks and recreation system. In 2011, Norcross completed a parks and recreation master plan that is currently being updated (began in 2023). The plan identifies five key priorities:

1. Add parkland in the southeastern part of the city
2. Improve connectivity
3. Add more soccer/informal play fields
4. Add more play facilities
5. Add more picnic/passive recreation opportunities

This plan was subsequently updated in 2016 to include the area that had been annexed. The 2016 update added the following recommendations:

- Implement Pinnacle Park Master Plan
- Develop two new neighborhood parks on the south side
- Build a mini park on the “Margeson parcel” (part of Beaver Ruin Creek Greenway)
- Look into the “Fickling parcel” on the north side as a potential park
- Implement plans for Beaver Ruin Creek Greenway

Since the last comprehensive plan update, the City has accomplished quite a bit in its parks. It has completed Phase I and II of Discovery Garden Park, and has completed Pinnacle Park.



Veterans Park near Downtown Norcross

Natural Resources

Norcross is a highly urbanized community with very few stretches of natural open spaces. However, Beaver Ruin Creek and its associated watershed is an important natural resource in the city, and the dominant natural feature of south Norcross. Both the City and Gwinnett County have jurisdiction over the watershed, and it is part of the City's Municipal Separate Storm Sewer System (MS4) jurisdiction. Although the watershed is about 25 percent development, the stream network is relatively well protected and many acres are under public ownership. Currently the city plans to develop an extensive greenway system of trails, natural space, and stormwater best management practices (BMP) projects throughout the Beaver Ruin Creek corridor.

North Norcross is more influenced by the Crooked Creek stream network, which includes a small body of water/wetlands area in the "Fickling parcel" southeast of Paul Duke STEM High School.

Arts, Culture, and History

Arts, culture, and history are becoming increasingly important areas of focus for Norcross. Arts and culture anchors in the community include the Lionheart Theater, located next to Lillian Webb Park and the Norcross Welcome Center and Museum. The City is also strong in special events, with signature events like Friday Night concerts and the Gateway International Festival that draw visitors from all over the region.

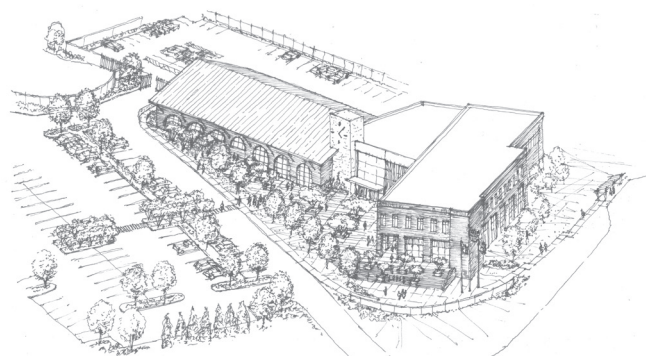
Arts have also taken hold in Norcross. Some of the most prominent projects in recent years include the ReImagine! Exhibition, which showcased five sculptures made out of recyclable material. In May of 2018, the community finished the Mitchell Road Mosaic Mural, a piece of public art that stretches 130 feet along a busy Norcross roadway. The project includes 125 mosaic discs created by different entities in the community, with more than 1,000 people ultimately participating in its creation.

Norcross is also making active investments in preserving its history. The City established a historic preservation ordinance to safeguard historic structures downtown, which is overseen by the Historic Preservation Commission.

Upcoming Projects

Norcross is brimming with new projects coming online that will enhance quality of life. Some of the largest projects on the horizon include:

- **Beaver Ruin Creek Greenway:** approximately 10 miles of trails have been identified to be part of the Beaver Ruin Creek Greenway, which will take advantage of floodplain and publicly-owned land to create a green, natural recreation amenity in south Norcross. The central spine of the greenway will connect Downtown, Cemetery Field, multiple residential areas, and the planned Pinnacle Park, with multiple spurs and side trails increasing connectivity.
- **Mitchell Road Greenway:** approximately 7,000 linear feet of multi-use trail from Price Place at Mitchell Road to the intersection of Station Circle
- **New Public Safety Building:** this new facility will house the Police Department, Municipal Court, and public meeting space. It will be located at the corner of Buford Highway and Stevens Road.



Concept Sketch for new Public Safety Building



Recently completed Pinnacle Park

Sewer Capacity

While the City of Norcross has seen tremendous growth in the last 5 years, especially near the city's Downtown, the additional development and density has resulted in extremely limited sewer capacity in some areas. Sewer capacity helps determine if a project will be reviewed as the city would not want to overburden the existing system. In order to continue the desired growth, bolster economic development, and maintain a high quality of life, it is important that the city work to identify existing limitations and future needs, then work with partners, including Gwinnett County Water Resources, to expand sewer capacity and ensure infrastructure is maintained properly.

PRIORITY NEEDS & OPPORTUNITIES

1

How can the city maintain and enhance a sense of community, small town feel, and level of community services as new development comes online?



As Norcross continues to grow and become denser, some are concerned that the small-town community feeling of the city may be lost. Additionally, many people do not know exactly where Norcross begins, and other jurisdictions begin—people tend to think more in terms of postal codes, or the school catchment areas. Civic events can play an important role in celebrating what is special in Norcross. Physical improvements, such as gateway monuments, wayfinding signage, enhanced streetscapes, and unique architecture can all help to improve sense of place. This is particularly important for the development that is constructed—Norcross must ensure that it is of high quality, and echoes the sense of place already present in the community.

2

What can be done to ensure quality, long-term housing is available to all residents and newcomers at attainable price points?



Although Norcross is relatively affordable compared to other places in the metropolitan area, its residents are still significantly cost burdened when it comes to monthly rent and mortgages. This is a challenge across the Atlanta region: housing prices have skyrocketed, whereas wages have made only modest gains. The City has endorsed a policy that begins to address some of these local housing needs through its involvement with the Georgia Initiative for Community Housing (GICH), or LiveNorcross. These steps are just the beginning however: it will take much more to fully address housing affordability challenges, such as programs to assist with down payments and maintenance. Related to this, homelessness is also an issue that city leadership would like to address. Unfortunately, there are not exact figures on the number of homeless in the community according to the Gwinnett County Comprehensive Housing Study, or how best to help them at this time. Further study is needed.

3

Can the community be united across cultural backgrounds and socio-economic status?

The cultural diversity of Norcross is one of its biggest strengths. However, the presence of residents from a variety of backgrounds does not necessarily translate into an integrated, united community. Buford Highway represents a sort of cultural and class divide in the community, yet also serves as a gateway for visitors to downtown and other areas of the city. The City can play a key role in promoting a sense of equity in how it invests public money, enforces regulations, and how it communicates to all citizens regardless of which “side” of the city a resident lives in.



4

How can we build strong neighborhoods with unique public amenities like parks and family-friendly activities in all parts of the city?

Norcross is fortunate to have an authentic historic downtown with a range of amenities, like Lillian Webb Park and Thrasher Park. The city recently constructed Pinnacle Park to help serve the communities southeast of Buford Highway. Other neighborhoods across Norcross are still in need of parks, green space, and other amenities, as identified in the Parks Master Plan Update. Several greenway and trail projections are planned to help link this recreational network and improve pedestrian and bicycle connectivity, including links to the growing system of trails in Gwinnett County. Places like parks, as well as schools and “third places”—those where people tend to gather and connect—are important places for neighborhoods, and can also be venues for family-friendly events and activities.



PRIORITY NEEDS & OPPORTUNITIES (CONT'D)

5

How can we attract young families?



Young families carry a large amount of social capital—not only do parents typically have many years ahead of them in the workforce, families tend to be a stabilizing presence in neighborhoods. Attracting more young families to settle down in Norcross is one of the city’s goals. Historically, poor perceptions of the public schools has been a deterrent to young families. This should improve with the new facilities of Summerour Middle School, Baldwin Elementary School, and the start of Paul Duke STEM High School. In addition to improving the reputation of local schools, recreation facilities and programming geared toward youth are important, as are family-friendly events and activities. Safety is a critical component as well; Norcross is fortunate to have its own effective, friendly Police Department that invests in community relationships and outreach.

6

How can we partner with schools to offer holistic services and improve perceptions?



The schools are often the best platform to engage the diverse communities of Norcross, and are one of the one most important partners for the City. By supporting the students of today, we are helping to prepare the City’s workforce of tomorrow. There is already strong momentum in Norcross’s schools, with the start of Paul Duke STEM high school and the two new school buildings in east Norcross. With these new facilities comes increased pride and investment. The City should continue to work with the School District to support its students and families, and works towards a system of integrated, holistic support services.

7

What projects should the City support to address our multimodal transportation needs and traffic congestion?

As Norcross continues to grow and densify, the expansion of multi-modal transportation infrastructure becomes even more critical. Multiple studies have already identified a real need for additional sidewalks, bike lanes, and multi-use trails to link the neighborhoods of Norcross, and tie into the growing system of regional trails. Recent Gwinnett County transportation plans have also identified improvements to transit service, particularly in connecting residents more directly to the Doraville MARTA station. The biggest opportunity on the horizon is the potential adoption and implementation of a robust bus rapid transportation system that would flow through the major corridors of the city.



8

How should we prepare for and leverage a potential transit station near I-85 and Jimmy Carter Boulevard?

The potential development of additional transit options and connections in and around Norcross, including a potential MARTA station near I-85 and Jimmy Carter Boulevard and a potential Transit Transfer Facility (TTF) near Peachtree Industrial Boulevard and Technology Parkway (as shown in the Gwinnett Transit Development Plan), would be transformational to Norcross. The county’s plan recommends BRT and BRT lite moving to and through these potential TTF stations in Norcross. As land values around MARTA stations has become increasingly valuable real estate for transit-oriented development (TOD), this may be mirrored around the TTF stations as they come on line. These TTFs would be hubs for multi-modal transfers and could attract similar TOD development that MARTA stations have in recent years - typically mixed use, dense, high-quality developments that leverage their co-location with heavy rail as a major attractor. To reap the most benefits of these potential TTFs, the City should continue to work with the county to secure funding and land to complete these, currently aspirational, projects.

9

How can we grow local businesses and attract new ones, particularly within our target industry clusters?

The City’s Strategic Marketing Plan, completed in Fall of 2018, outlines a series of actions for Norcross to grow business. Its primary recommendations are the review and update the www.NorcrossED.com website; create more energy around the “A Place to Imagine” brand; develop target industry brochures and cultivate sector partnerships for each of the three target industries; and explore opportunities for the City to purchase, develop, and manage flex space geared towards the Film and Television niche sector.



PRIORITY NEEDS & OPPORTUNITIES (CONT'D)

10

Can we increase and enhance the selection of unique local shops and restaurants?



Norcross is one of the few jurisdictions in the region to have an authentic historic downtown. This represents a major plus in drawing unique local shops and restaurants to the area; new development in and near downtown should complement and support its current character. Beyond the intrinsic appeal of downtown, the City should continue to provide support to local entrepreneurs, celebrate the diversity of its population, and encourage the development of mixed-use communities that are attractive to new shops and restaurants.

11

What sustainable practices can we implement to improve our quality of life over time?

By achieving Platinum Green Community status, Norcross has already made significant investments in its long-term sustainability. This is rooted in a strong sense of responsibility about the future, in essence: not sacrificing tomorrow to address the needs of today. The City also completed a Sustainability Plan in 2017, centered on a goal of “Healthy People, Healthy Places, and Healthy Economy” for the community. In this plan, five major initiatives are identified: preserving green space/tree canopy, improving housing affordability, increasing active recreation opportunities, improving park accessibility and acreage, and investing in educational assets.

12

Can we leverage emerging technology through smart city strategies to improve public service delivery?

Technology is playing an increasingly important role in how our communities grow and are managed day to day—and the pace of technological advancement is only speeding up. Greater government efficiency can be achieved through the use of technology. The City implemented digital plan review and permitting solution in 2018 and digitized all historic paper plans and permits between 2021 and 2022 to increase efficiency and to make processes more user friendly for city staff and residents. Norcross is already a regional leader in smart technology in its deployment at utility meters. However, there is still more that can be done. The City must stay on top of technological trends that will impact the city’s form, such as robotics and automated vehicles.



13

How can we provide excellent city services and engagement opportunities for people of all linguistic and cultural backgrounds?

In addition to partnering with schools to reach the city’s most diverse populations, Norcross must also ensure that its city services and engagement opportunities are accessible. In engagement settings, the City should continue to provide Spanish translations. The City should also continue its outreach into its international communities, and make a concerted effort to understand the best ways to reach households, how they want to be communicated with, and who are key individuals/organizations within those communities who can act as a bridge.



4

COMMUNITY WORK PROGRAM



4

COMMUNITY WORK PROGRAM

INTRODUCTION

The purpose of the Community Work Program is to provide Norcross with a blue print for achieving its vision. At its core is a list of projects and recommendations to be implemented over the next five years. Long range projects are also included in the Work Program, but are noted to occur after the five-year implementation horizon. The list also includes years to complete, responsible parties, and all applicable funding sources (local, general fund, state, federal, SPLOST, etc.). Note the descriptions sometimes include project reference numbering from other studies.

The City utilizes a ranking methodology to help city officials in evaluating the relevance of any given project to the community's vision and gives decision makers an objective tool to help in evaluating capital investments. Refer to Technical Addendum Chapter TA-2 Project Evaluation to review this composite scoring system.

In addition to the composite score, City officials also consider relative cost, implementation time frame, and funding availability.



Top Implementation Actions, 2025-2029

1. Improve pedestrian and bicycle safety along Buford Highway and in the Town Center through implementation of the Norcross Town Center LCI Plan and Buford Highway Master Plan.
2. Improve Parking in the Town Center
3. Construct Norcross Greenway
4. Implement Target Industry Study and Strategic Marketing Plan
5. Establish Task Force to Address Homelessness.
6. Maintain our Green Community Platinum Status
7. Identify new opportunities to partner in hosting regular multi-cultural events in the city, both in and outside of downtown
8. Continue to work closely with the Gateway85 CID to expand transportation options and improve the aesthetics of the community

Types of Work Program Items

Actions are accomplished through three different types of work program items:

1. Ongoing activities and polices,
2. Programmed projects, and
3. Aspirational or long range projects.

On the following Tables Ongoing activities indicated in the first column under Timeframe. And the policies can be found back in Chapter 2, which guide day-to-day decision making.

Programmed projects are those that City intends to accomplish over the next five years and are indicated under the Timeframe columns for 2024 through 2027.

Finally, aspirational or long range projects are indicated in the last column under Timeframe. These are projects that the city intends to undertake when and if funding becomes available.

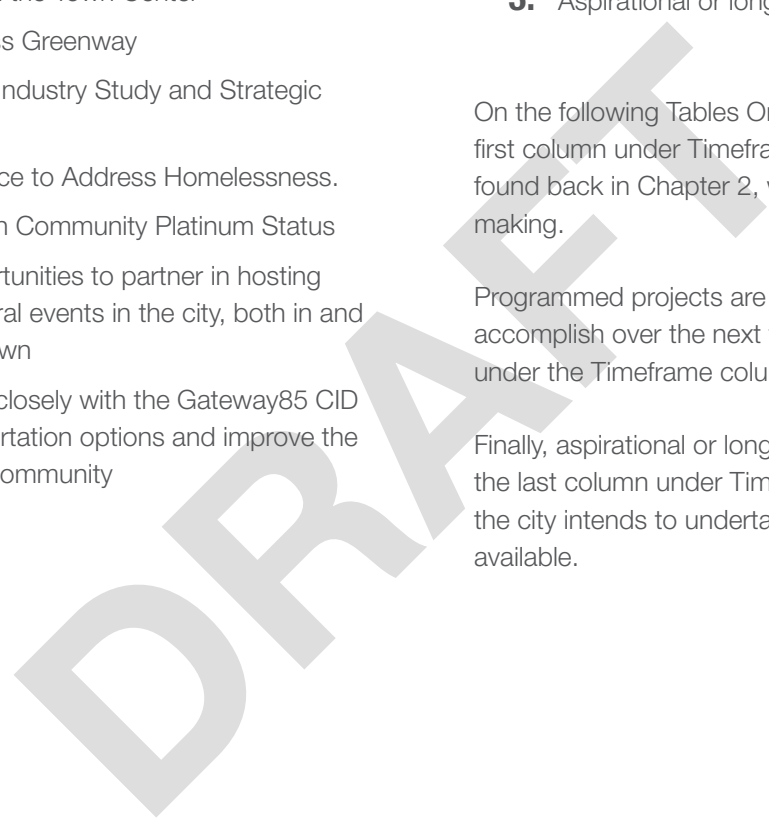


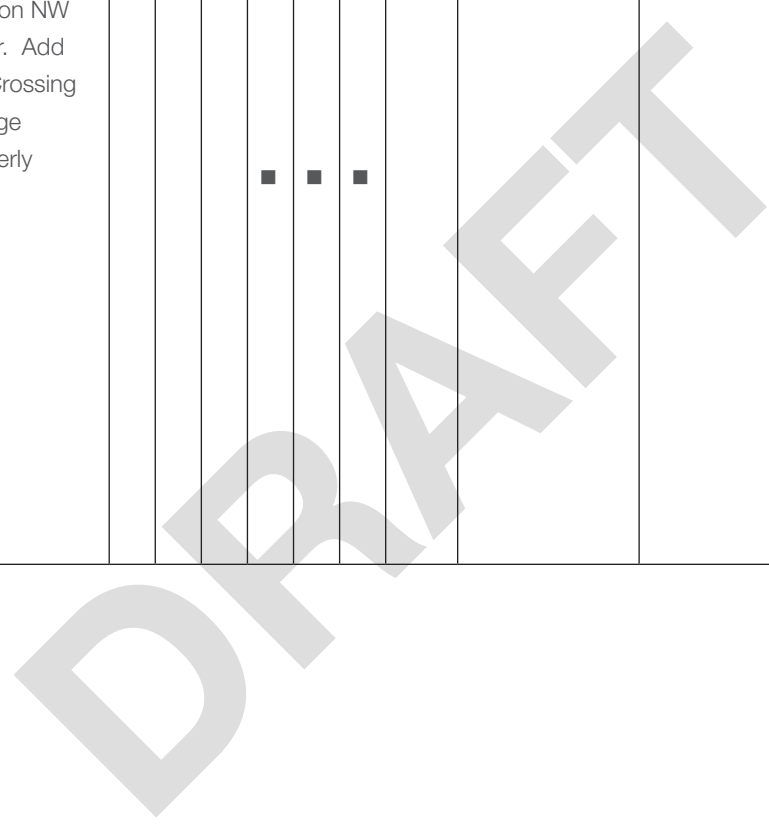
Table 1. Community Work Program

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
LAND USE												
LU.1 Update Town Center LCI Study	Helps to secure funding for needed transportation improvements					■	■		\$40,000	Com Dev	General Fund	
LU.2 Update Norcross Activity Center LCI Study	Helps to secure funding for needed transportation improvements					■	■		\$40,000	Com Dev	General Fund	
LU.3 Seek PlanFirst designation from DCA	Rewards for good planning with economic incentives and assistance	■	■	■	■	■	■		Staff Time	Com Dev	General Fund	
TRANSPORTATION												
<i>Roadway and Intersection Projects</i>												
TR.1 Create repaving strategy and implementation schedule	Ongoing maintenance of roads	■	■	■	■	■	■		\$17,100,000	City Engineer; Public Works, City Manager	SPLOST/ Grants	Estimated cost of \$17.1 million over 10 years, or \$1.7 million per year. Project began in 2024 and will extend past 2029.
TR.2 US 23/ SR 13/Buford Hwy at SR 140/Jimmy Carter Blvd Intersection	Support of Gwinnett County intersection project	■	■	■	■	■	■		\$15,000,000	County DOT/ Public Works/ Com Dev	SPLOST	

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
Bicycle/Pedestrian Projects												
TR.3 Develop a city-wide bicycle and pedestrian master plan								■	\$100,000	Public Works, Com Dev.	LCI/ SPLOST	
TR.4 Establish a sidewalk fund	Creation of a annual fund to address sidewalk network gaps		■	■	■	■	■		Staff Time	Public Works/ City Eng.	General Fund	
TR.5 Sidewalk on northwest side of Lawrenceville Street from Academy Street to Hunt Street	1,330' of sidewalk. (Formerly TR-7B)			■	■	■	■		\$100,000	Public Works	LCI/ General Fund	Assumes that additional crosswalks will be added to the intersection
TR.6A Norcross Elementary School Sidewalks - 5' Sidewalks on Beutrell St (NE side)	5-ft sidewalk on Beutrell St (NE side) from Lawrenceville St to Wingo St (500')							■	\$60,000	Public Works	LCI/ General Fund	Cost is for PE Only, 10% of estimated construction cost of \$600,000.
TR.6B Norcross Elementary School Sidewalks - 5' Sidewalks on Rakestraw St (NE side)	5-ft sidewalk on Rakestraw Street (NE side) from Wingo St to Academy St (700')				■	■	■		\$75,000	Public Works	LCI/ General Fund	Cost is for PE Only, estimated construction cost of \$750,000.

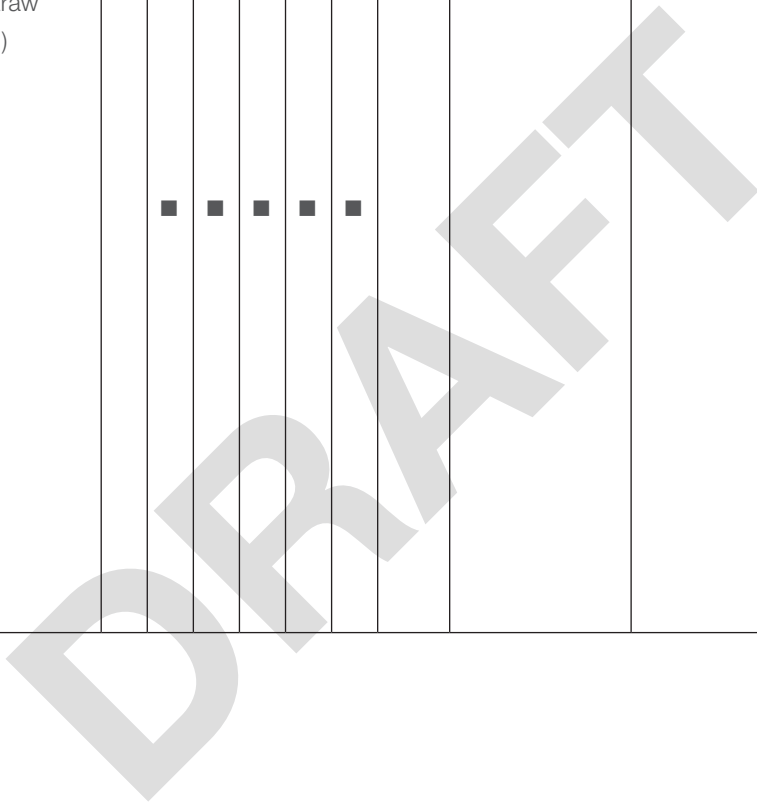
Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
TR.7 Sidewalk on southeast side of W Peachtree St between Holcomb Bridge Rd and Park Dr	940' of sidewalk (Formerly T-8A)				■	■	■	■	\$70,000	Public Works	LCI/ General Fund	The block of W Peachtree Street east has sidewalk on both sides of the road; however, sidewalk currently exists only on the north between Park Dr and Holcomb Bridge Road. The project would provide continuous sidewalk along both sides of W Peachtree Street sidewalk to meet existing crosswalks at the Holcomb Bridge Rd signal and Park Drive all-way stop. Estimated construction cost, \$700,000
TR.8 Sidewalk on southwest side of Lively Ave from Buford Hwy to S Peachtree St	600' of 5' sidewalk (Formerly part of T-19)					■	■	■	\$80,000	Public Works	LCI/ General Fund	Cost is for PE Only, estimated construction cost of \$800,000. No sidewalk exists on Lively today - currently narrow, low-volume, mixed-use roadway without curb and gutter.

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
TR.9 Pedestrian crossing improvements at the intersection of Lawrenceville St and Mitchell Rd	Add striped box for “do not block” and ADA upgrades for ramp on NW corner. Add Ped Crossing Signage (Formerly T-4B)				■	■	■		\$60,000	Public Works	LCI/ General Fund	This project previously called for textured surfaces and a splitter island. Changes were made to increase visibility of the midwalk crossing and reduce driver confusion. Concepts might consider relocation of crosswalk and Rectangular Rapid Flashing Beacons to west side of Mitchell.

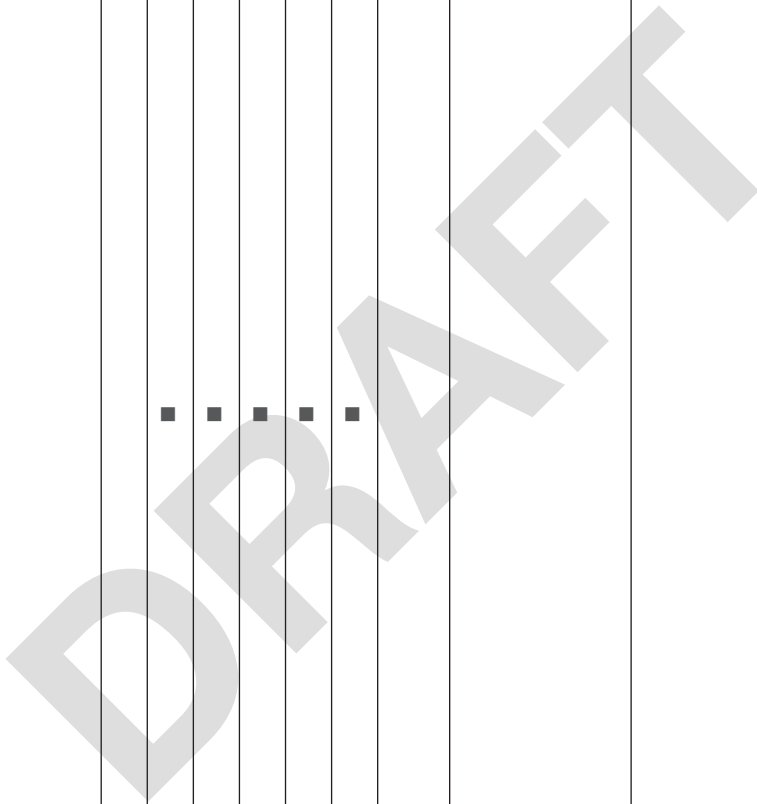


Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
TR.10 Midblock Crossing of Barton St to Johnson Dean Park	Add short segment of 5' sidewalk within park to parking lot from midblock crossing			■	■	■	■		\$75,000	Public Works	LCI/ General Fund	Sidewalk currently exists on south side of Barton Street. Previously, this project called for sidewalk to be added along north side of Barton Street. In discussions with staff, this was changed to the crossing improvements along the frontage of the preserve area to be more appropriately sized to the current needs and avoid costly impacts.

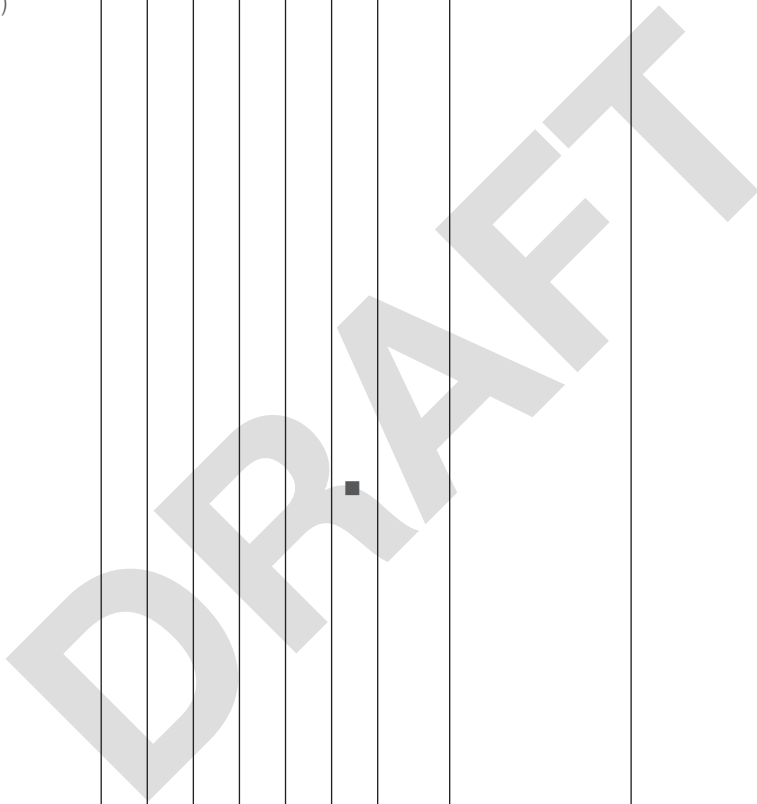
Project	Description	Timeframe						Aspirational*	Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029					
TR.11 Lawrenceville Street Multiuse Trail (West)	10' sidewalk with streetscape between Jones St and Rakestraw (2,200')		■	■	■	■	■		\$910,000	Public Works	LCI/ General Fund	Existing 5-ft sidewalk located here. Steering committee categorized project as lower priority where sidewalk already exists on one side of roadway; however, this area was an exception in discussions with staff due to high pedestrian traffic, frequent special events, and increased levels vehicle traffic stress. PE Only, \$91,000



Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
TR.12 Mixed-use trail (10-ft) on one side of Lawrenceville St from Academy St to Buford Hwy (2,000')	4,000' Multi-use trail								\$150,000	Public Works	LCI/ General Fund	Cost is for PE Only, 10% of construction estimate of \$1,500,000. Sidewalk currently exists on the south side (full length) and partially on the north side (between Hunt Street and Buford Hwy). This project changed from original bike lane recommendation due to higher volumes of traffic making mixed-traffic riding less comfortable for cyclists, also ties well into adjacent trail recommendations to the west (along Lawrenceville Street) and south (Buford Highway).



Project	Description	Timeframe						Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029				
TR.13A Sharrows on Lawrenceville St and Buchanan St	Lawrenceville Street from Rakestraw Street to Jones Street (1,100')							\$25,000	Public Works	LCI/ General Fund	Shared lane markings should not be considered a substitute for bike lanes, cycle tracks, or other separation treatments where these types of facilities are otherwise warranted or space permits. Shared lane markings can be used as a standard element in the development of bicycle boulevards to identify streets as bikeways and to provide way-finding along the route. Signage would indicate to vehicles that they are entering a shared street network. Sharrows are not preferred when posted are 35 mph or faster and motor vehicles exceed 3,000 veh/day.



Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
TR.13B Sharrows on Buchanan St	Buchanan Street from Barton Street to Thrasher Street (820')				■				\$25,000	Public Works	LCI/ General Fund	
TR.14 Buford Hwy - Improved streetscape and wide sidewalk - Phase 1 Lively Ave to Summerour St	10 ft' sidewalk and 5' landscape strip on both sides of Buford Hwy			■	■	■	■	■	\$40,000	Public Works	LCI/ General Fund	Cost is the city match for scoping only. Estimated full scoping cost is, \$200,000. Construction estimate of \$12,000,000.
TR.15 Buford Hwy - Improved streetscape and wide sidewalk - Phase 2 Summerour St to Old Norcross Rd	10 ft' sidewalk and 5' landscape strip on both sides of Buford Hwy			■	■	■	■	■	\$40,000	Public Works	LCI/ General Fund	Cost is the city match for scoping only. Estimated full scoping cost is, \$200,000. Construction estimate of \$12,000,000.
TR.16 Buford Hwy - Improved streetscape and wide sidewalk - Phase 2 Lively Ave to Jimmy Carter Blvd	10 ft' sidewalk and 5' landscape strip on both sides of Buford Hwy			■	■	■	■	■	\$40,000	Public Works	LCI/ General Fund	Cost is the city match for scoping only. Estimated full scoping cost is, \$200,000. Construction estimate of \$12,000,000.

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
TR.17 Autry Street and Nesbit Street Road Safety Audit	Audit to identify improvements to enhance the safety of crossings along Autry Street and Nesbit Street. Considerations for improvements will include RRFBs, all-way stop control, and ADA requirements				■	■	■	■	\$100,000	Public Works	LCI/ General Fund	Sidewalk exists on other side of Autry, but only for short segment. The original project description included sidewalk extension; however, it is likely not feasible due to unacceptable impacts to property and large trees. It is therefore recommended that a road safety audit (RSA) explore ways to improve crossing opportunities along Autry Street and Nesbit Street. Considerations for improvements may include RRFBs, all-way stop control, and ADA upgrades.

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
<i>Other Projects</i>												
TR.18 Smart parking project in the Town Center	Implementation of a smart parking pilot project							■	TBD	IT	TBD	
TR.19 Buford Highway at N Norcross Tucker Crossing	Enhanced crosswalks on Buford Hwy at N Norcross Tucker Rd			■	■	■	■		\$110,000	Public Works	LCI/ General Fund	Assumes that project will coordinate with GDOT to install decorative crosswalks to improve visibility and act as a place-making feature.
TR.20 Buford Hwy at Holcomb Bridge Rd	Enhanced crosswalks on Buford Hwy at Holcomb Bridge Rd			■	■	■	■		\$110,000	Public Works	LCI/ General Fund	Assumes that project will coordinate with GDOT to install decorative crosswalks to improve visibility and act as a place-making feature.
TR.21 Buford Hwy at Mitchell Road Crossing	Enhanced crosswalks on Buford Hwy at Mitchell Rd			■	■	■	■		\$110,000	Public Works	LCI/ General Fund	Assumes that project will coordinate with GDOT to install decorative crosswalks to improve visibility and act as a place-making feature.

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
TR.22 Buford Hwy at Beaver Ruin Road Crossing	Enhanced crosswalks on Buford Hwy at Beaver Ruin Rd			■	■	■	■		\$110,000	Public Works	LCI/ General Fund	Assumes that project will coordinate with GDOT to install decorative crosswalks to improve visibility and act as a place-making feature.
TR.23 Buford Highway at Summerour Street Crossing	Add a protected pedestrian crossing for the intersection of Buford Highway at Summerour Street.			■	■	■	■		\$50,000	Public Works	LCI/ General Fund	Cost is for PE Only, 10% of estimated construction cost of \$500,000. Control on state route must be studied and permitted / approved through GDOT.
TR.24 N Norcross Tucker Rd and S Peachtree St Roundabout	Roundabout at N Norcross Tucker Rd and S Peachtree St			■	■	■	■	■	\$80,000	Public Works	LCI/ General Fund	Cost is for PE Only, 10% of estimated construction cost of \$200,000.

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
TR.25 Thrasher Street Parking	Onstreet parallel parking and a 5-ft sidewalk on the southeast side of Thrasher St from Holcomb Bridge Rd to Park Dr (1,500')					■	■	■	\$75,000	Public Works	LCI/ General Fund	Cost is for PE Only, 10% of estimated construction cost of \$750,000. Will require coordination with the Railroad.
TR.26 Sharrows on Academy Street	Academy Street from Rakestraw Street to Born St (600')			■	■	■	■		\$25,000	Public Works	LCI/ General Fund	
TR.27 Sharrows on Wingo Street	Wingo Street from Jones Street to Born Street (1,950')			■	■	■	■		\$25,000	Public Works	LCI/ General Fund	
TR.28 Sharrows on Jones Street / Park Drive	Jones Street / Park Drive from College Street to N Peachtree St (1,100')			■	■	■	■		\$25,000	Public Works	LCI/ General Fund	
TR.29 Sharrows on Born Street	Born Street from Academy Street to Wingo Street (670')			■	■	■	■		\$25,000	Public Works	LCI/ General Fund	

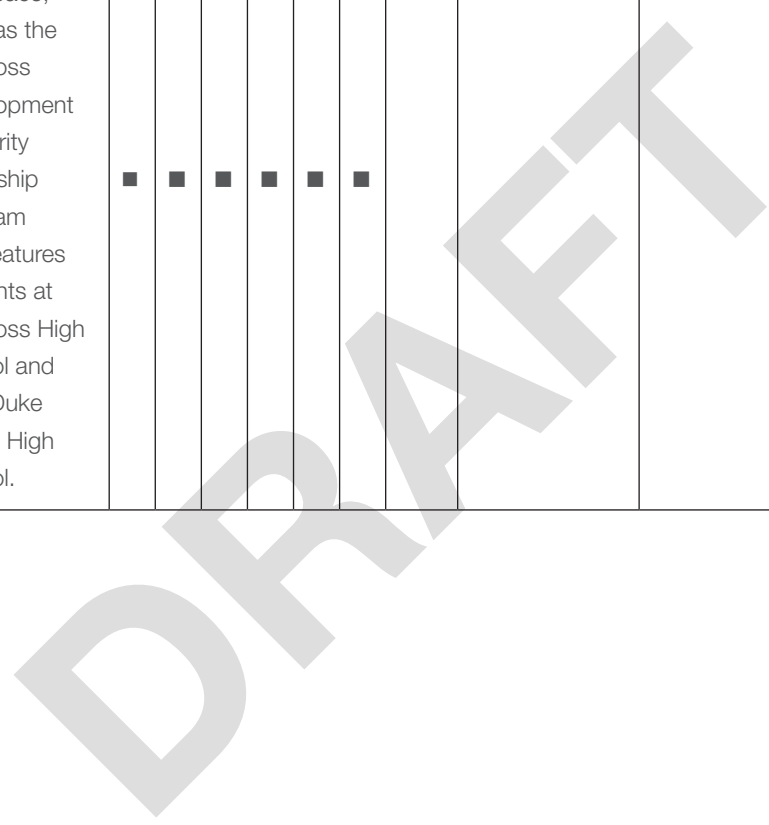
Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
TR.30 Sharrows on Thrasher Street	Thrasher Street from Buchanan Street to Jones Street (340')					■	■		\$25,000	Public Works	LCI/ General Fund	
TR.31 Sharrows on S Peachtree Street (Downtown)	S Peachtree Street from Jones Street to Carlyle Street (960')					■	■		\$25,000	Public Works	LCI/ General Fund	
TR.32 Sharrows on S Peachtree Street (West of N Norcross Tucker)	S Peachtree Street from N Norcross Tucker Rd to Jimmy Carter Blvd (2,500')					■	■		\$25,000	Public Works	LCI/ General Fund	
TR.33 Sharrows on Britt Ave	Britt Ave from College Street to Buford Hwy (830')					■	■		\$25,000	Public Works	LCI/ General Fund	
TR.34 Sharrows on College Street	College Street from Holcomb Bridge Rd to Britt Ave (730')					■	■		\$25,000	Public Works	LCI/ General Fund	
TR.35 Sharrows on Sunset Drive	Sunset Drive from N Peachtree Street to end of roadway (4,100')					■	■		\$25,000	Public Works	LCI/ General Fund	

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes	
		Ongoing	2025	2026	2027	2028	2029	Aspirational*					
TR.36 Summerour Street Sidewalk	5-ft sidewalk on Summerour Street (SW side) from Lawrenceville St to Buford Hwy (450')							■	■	\$50,000	Public Works	LCI/ General Fund	Cost is for PE Only, 10% of estimated construction cost of \$500,000.
TR.37 Mitchell Road Multiuse Trail	Multiuse trail on northeast side of Mitchell Rd from Lawrenceville Street to Summerour Middle School (2,100')			■	■	■	■			\$20,000	Public Works	LCI/ General Fund	Cost is for PE Only, 10% of estimated construction cost of \$200,000.
TR.38 Gateway on Langford Road	Stone columns with signage on Langford Rd at N Peachtree Street							■		\$20,000	Public Works/ Comm-unications		

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
HOUSING												
H.1 Develop a pilot program to provide grant-funded incentives for residents to improve energy efficiency and indoor air quality in their homes, and host property management classes	The purpose of the program to teach owners how to care for investments, improve safety, and improve property values		■	■	■	■	■		TBD	Com Dev	Grants, General Fund, TBD	
H.2. Incorporate Interior Residential Dwelling Inspection program for rentals		■	■	■	■	■	■		Staff Time	Com Dev	General Fund	
H.3. Create Homelessness Task Force	The goal is to gain a better understanding of the Homelessness issue and determine appropriate actions		■	■	■	■	■		Staff Time	Com Dev	General Fund	

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
ECONOMIC DEVELOPMENT												
ED.1 Support the small business mentoring program assistance as described in the 2011 Community Choices report	The City will continue to support and help to promote local business resources and mentoring programs like ACE, UGA, SBDC, and Prospera.	■	■	■	■	■	■		Staff Time	Ec. Dev, Com Dev	General Fund	
ED.2 Support Gateway85 CID efforts in Jimmy Carter Boulevard "International Street" Branding and Improvements		■	■	■	■	■	■		Staff Time	Ec. Dev, Com Dev	General Fund	
ED.3 Regularly survey town center parking needs		■	■	■	■	■	■		Staff Time	Ec. Dev, Com Dev	General Fund	

Project	Description	Timeframe						Aspirational*	Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029					
ED.4 Support internship opportunities that link Norcross students with local businesses	Continue to support local initiatives in this space, such as the Norcross Development Authority Internship Program that features students at Norcross High School and Paul Duke STEM High School.	■	■	■	■	■	■		Staff Time	Ec. Dev	N/A	



Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
ED.5	Participate in and promote a mentorship program for underrepresented community members to increase access to small business certifications	■	■	■	■	■	■		Staff Time	Ec. Dev; Sustainable Norcross; Atlanta Electrical Contractors Association; Work-Source Atlanta, Metro Atlanta Chamber, Minority Supply Development Council, Gwinnett Tech, and local nonprofit organizations	N/A	
ED.6	Utilize Target Industry Study Update to inform and focus business retention and expansion efforts	■	■	■	■	■	■		Staff Time	Ec. Dev	General Fund	

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
SUSTAINABILITY & QUALITY OF LIFE												
SQ.1 Construct gateway (stone columns and signage); Possible use of digital readers for City events and news.	Location: Langford Road							■	LED is estimated to cost \$25,000 each; stone columns and foundations, \$40,000 each	Com Dev/ Public Works	General Fund	
SQ.2 LCI Greenway Segment 1: Downtown Norcross to Beaver Ruin Road/Pinnacle Way (Priority 1 segment)	The central spine of the greenway; 3.39 miles of greenway from Downtown Norcross to Beaver Ruin Road/ Pinnacle Way	■	■	■	■	■	■		\$11,000,000	Public Works	SPLOST, ARC, TBD	
SQ.3 LCI Greenway Segment 2: Price Place from Mitchell Road to Beaver Ruin Road (Priority 1 Segment)	0.38 mi of sidepath the connects Summerour MS from Mitchell Road and from the Beaver Ruin Road Multi-Use trail.			■					\$1,000,000	Public Works	SPLOST, ARC, TBD	
SQ.4 LCI Greenway Best Management Practices (BMPS)	From Concept Plan, BMPs WP-1, DP-1, WL-1						■		\$72,000	Public Works	SPLOST, ARC, TBD	

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
SQ.5 Beaver Ruin Creek Stream Restoration	Part of Greenway Project						■	■	\$8,785,000	Public Works	TBD	
SQ.6 Southeast Utility Trail Corridor	Greenway trail along utility corridor east of Buford Highway, connecting N Norcross Tucker Rd to Beaver Ruin Rd						■	■	\$1,300,000	County/ Com Dev/ Public Works	General Fund	
SQ.7 Conduct Citizen's Police Academy programming		■	■	■	■	■	■		Staff Time	Police	General Fund	
SQ.8 Conduct annual energy, water and waste audits for City buildings and implement retrofits		■	■	■	■	■	■		Staff Time (TBD)	Com Dev, Public Works, Sustainable Norcross	General Fund	
SQ.9 Regularly update the Green Infrastructure Assessment		■	■	■	■	■	■		Staff Time	Public Works, Com Dev	General Fund	

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
SQ.10 Study needs and opportunities to increase recycling, such as recycling events and additional drop-off options in multifamily developments and for hard-to-recycle materials		■	■	■	■	■	■		Staff Time	Public Works/ Com Dev	General Fund	
SQ.11 Regularly update Technology Plan	Three-year plan	■	■	■	■	■			Staff Time	IT	General Fund	
SQ.12 Update Parks Master Plan to include one or more linear parks to downtown	Include Fickling Parcel as a part of the update	■	■						\$125,000	Public Works	General Fund	
SQ.13 Maintain City's LEED and Green Communities Designation	Up for renewal every 3 yrs	■	■	■	■	■	■		Staff Time	City Manager, Com Dev	General Fund	

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
SQ.14	Evaluate potential update and maintenance of the City's entry gateways			■	■	■			Staff Time	Communications, Public Works	General Fund	
SQ.15	Create and Implement a Utilities Resiliency Plan	■	■						TBD	Public Works / City Manager	General Fund	
SQ.16	Plan and construct a new Cultural Arts Center						■		TBD	City Manager	CDBG	
SQ.17	Host City Signature Event: Annual Food & Music/Block Party Festival that will draw in large crowds from around metro Atlanta	■	■	■	■	■	■		\$100,000	Events Manager, Communications	Sponsorships; Hotel/Motel Funds; Grants	
SQ.18	Implement Phase I: Buford Highway (Portions of Character Areas 6, 7, and 8) Redevelopment	■	■	■	■	■	■		\$500 Million	Com Dev; Ec. Dev; DDA	Private funding, Creative Public Financing, Tax Allocation District, Federal Grants	

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
SQ.19 Implement I-85 Activity Center (Character Area 13) Transit-Oriented Development and Gateway Improvement								■ ■	TBD	Com Dev; Ec. Dev; Norcross Development Authority, Gateway-85 CID	SPLOST; State Redev. Fund; General Fund	
SQ.20 Continue ongoing redevelopment of Historic Downtown		■	■	■	■	■	■		TBD	Ec. Dev; DDA; HPC	Federal, State, and Local Grants, General Fund	
SQ.21 Conduct a Comprehensive Smart City Study			■	■					\$50,000	IT	General Fund	
SQ.22 Promote workforce program(s) to connect local residents with local employers in conjunction with state and local organizations.		■	■	■	■	■	■		Staff Time	Ec. Dev/ PR	General Fund	
SQ.23 Kiosk installation in each park, 2-sided digital		■	■	■	■	■	■		TBD	IT/PR/ Public Works	Parks SPLOST	

Project	Description	Timeframe							Cost Estimate**	Responsible Party	Funding Source***	Notes
		Ongoing	2025	2026	2027	2028	2029	Aspirational*				
SQ.24 Construct new Public Safety Building			■	■					\$26,000,000	City Manager	SPLOST, Fines, and Bonds	
SQ.25 Upgrade Information Kiosks downtown: 3 new and update 3 existing		■						■	TBD	IT/PR/ Public Works	General Fund	
SQ.26 Upgrade Lions Park Reader Board - making digital								■	\$30,000	PR/IT	General Fund	
SQ.27 Work with Gwinnett County to develop a plan to open additional sewer capacity on Mitchell Road		■	■	■					Staff Time	Com Dev./ Ec. Dev./ Public Works	County; Grants	
SQ.28 Utilize grant funding to identify potential solutions for limited sewer capacity along Jimmy Carter Boulevard.			■	■	■	■	■		Staff Time	Com Dev./ Ec. Dev./ Public Works	General Fund, Grants	

DRAFT

* Aspirational projects - are mid to long range projects in-line with the community's long range vision and may be implemented earlier if a funding source becomes available.

** The cost estimates listed reflect the city portion of costs, not the full construction costs. These estimates are based on an opinion of probable total construction costs (OPCC), as the project is still in the planning stages. This cost model is not contractual but a guide for the Project Team in gauging the project in relation to an allowable budget. Any cost estimates provided are on a basis of experience and judgment. These estimates are not warranted and are susceptible to change with market conditions.

*** If LCI funding is received, it requires a minimum 20% city match.



NORCROSS
IMAGINE OUR FUTURE



A

APPENDIX



A

APPENDIX

INTRODUCTION

Following the adoption of the last major update to the Comprehensive Plan in Spring of 2024, the City of Norcross revisited the plan recommendations to better align the Character Area boundaries and narratives with the City's vision. During the Summer and Fall of 2025, the City conducted a series of in-person and online engagement activities to gather community and stakeholder feedback. A summary of these outreach activities and their results is included within the appendix.



1. Pop-Up Engagement

- Cookout with Council
- Summerour Community Engagement Fair
- Pedal Norcross
- Norcross Day of Play

2. Stakeholder Meetings

- Mayor and City Councilmembers
- Downtown Development Authority
- Discussion with Developers

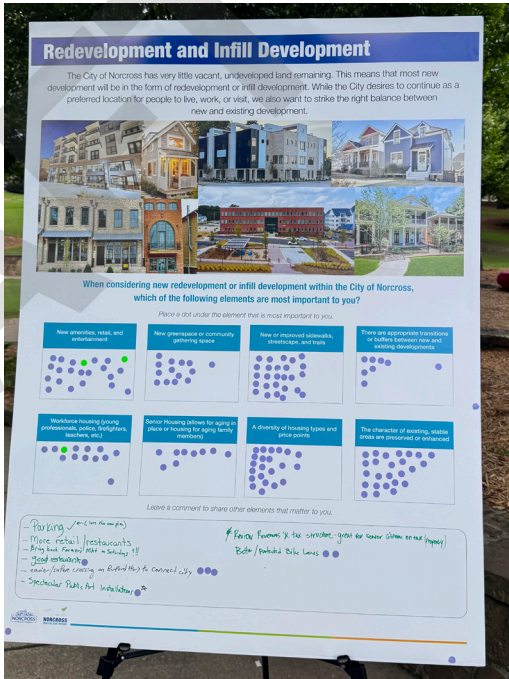
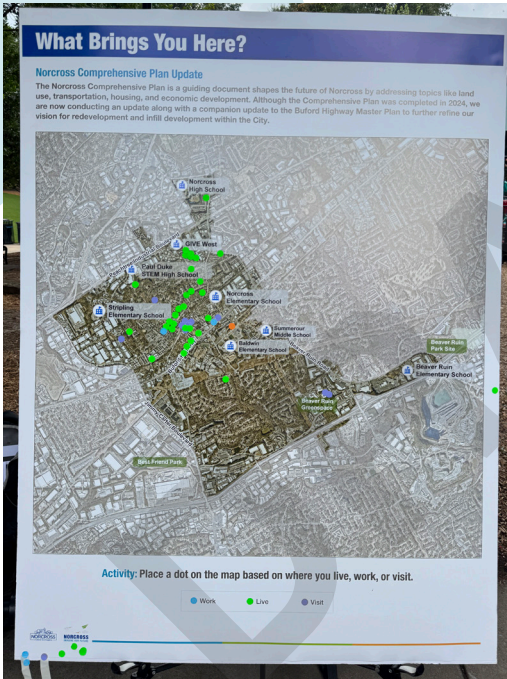
3. Online Survey

POP-UP ENGAGEMENT

The project team conducted four pop-up events, two events at the start of the plan update process, Cookout with Council and the Summerour Community Engagement Fair, and two events later in the plan updated process, Pedal Norcross and Norcross Day of Play. Responses from these pop-up events are documented below.

Cookout with Council

Cookout with Council occurred on July 19, 2025 from 11:00am - 2:00pm. An estimated 60 people attended. The project team asked attendees about which types of redevelopment and infill development they would most like to see across the city. Attendees were also asked about which types of uses they would like to see specifically along Buford Highway. Feedback from the event is pictured below.



Summerour Community Engagement Fair

Summerour Community Engagement Fair occurred on July 30, 2025 from 1:00pm - 4:00pm. An estimated 200 people attended. The project team asked attendees about which types of redevelopment and infill development they would most like to see across the city. Attendees were also asked about which types of uses they would like to see specifically along Buford Highway. Feedback from the event is pictured below.

What Brings You Here?

Norcross Comprehensive Plan Update
The Norcross Comprehensive Plan is a guiding document shapes the future of Norcross by addressing topics like land use, transportation, housing, and economic development. Although the Comprehensive Plan was completed in 2024, we are now conducting an update along with a companion update to the Buford Highway Master Plan to further refine our vision for redevelopment and infill development within the City.

Activity: Place a dot on the map based on where you live, work, or visit.

- Work (Red dot)
- Live (Blue dot)
- Visit (Orange dot)

Redevelopment and Infill Development

The City of Norcross needs your input to update the City's Comprehensive Plan! Although the plan was last updated in 2024, the City is refining its vision for redevelopment and infill investment. Your responses to the question below will help shape future policies and strategies that reflect the community's values, priorities, and long-term goals for Norcross.

When considering new redevelopment or infill development within the City of Norcross, which of the following elements are most important to you?

Place a dot under the element that is most important to you.

New amenities, retail, and entertainment	New greenspace or community gathering spaces	New or improved sidewalks, streetscape, and trails	There are appropriate transitions or buffers between new and existing developments
Workforce housing (young professionals, poets, firefighters, teachers, etc.)	Senior Housing (allows for aging in place or housing for aging family members)	A diversity of housing types and price points	The character of existing, stable areas are preserved or enhanced

Leave a comment to share other elements that matter to you.

Buford Highway Character

Description of Character Areas

- Area 1: Buford Highway/Jimmy Carter Boulevard Activity Center**
 - Maximum to high-density mixed-use nodes with mix of residential and commercial space
 - Development intensity highest at Buford Highway and Jimmy Carter Boulevard
- Area 2: Town Center**
 - Maintain historic character with a blend of historic and modern buildings
 - Buford Highway as a vibrant walkable corridor
- Area 3: Langford Road Industrial Center**
 - Small, flexible commercial spaces for small and new businesses
 - New housing options, warehouse-loft-style condominiums and live-work opportunities
 - Commercial commercial and light industrial uses
- Area 4: Summerour**
 - New civic facilities and small scale retail to support the surround neighborhood
 - Variety of residential housing options
 - Small scale office and neighborhood-oriented commercial uses are allowed

Activity: Place a dot on the Buford Highway below based on your preference level of the following character areas.

Legend: Green (Strong), Blue (Moderate), Yellow (Light)



Pedal Norcross

The project team presented draft Character Area changes at the Pedal Norcross event on October 18, 2025 from 3:00pm - 6:00pm. An estimated 100 people attended. The project team presented the draft Character Area map and narrative changes. Attendees were also asked about which types of uses they would like to see specifically along Buford Highway near Downtown Norcross. Feedback from the event is pictured below.

Draft Character Area Map

The draft Character Area map below closely resembles the recently adopted 2024 map with a few changes based on stakeholder and community feedback. These changes are highlighted on the map.

Shift from Character Area 2 to 1

Holcomb Bridge Road is a more intuitive boundary between Character Areas 1 and 2. As such, the outlined area is proposed to transition from Character Area 2 to Character Area 1.

Shift from Character Area 2 to 4

This area aligns more closely with the identity of Character Area 4 and is therefore proposed to be shifted from Character Area 2 to Character Area 4.

Shift from Character Area 4 to 8

Character Area 4 is defined by established, historic, single-family residential neighborhoods. The outlined area currently includes industrial uses and townhomes and is proposed to shift to Character Area 8, as it more closely reflects the character of that area.

Create Subareas 7A and 7B for Character Area 7

Because Character Area 7 includes two distinct identities, historic Downtown Norcross and the Buford Highway corridor, it has been divided into Subareas 7A and 7B to better reflect the unique characteristics of these adjacent areas. Subarea 7A includes Downtown Norcross and the surrounding historic neighborhoods, while Subarea 7B encompasses newer development sites and commercial uses along the Buford Highway corridor. Subarea 7B has also incorporated small portions of Character Areas 6, 9, and 10.

Shift from Character Area 7 to Character Area 6

Because this location is closer in proximity and character to Character Area 6 it was shifted from Character Area 7 to Character Area 6.

Inset Map of 7A and 7B

- 1 - Atlantic/Peachtree Industrial Blvd
- 2 - Medlock/Peachtree Industrial Blvd
- 3 - Hickoryville
- 4 - North Peachtree St Neighborhoods
- 5 - Hopewell Woods
- 6 - Buford Hwy/Jimmy Carter Blvd Activity Center
- 7A - Town Center
- 7B - BuHi District
- 8 - Langford Rd Industrial Center
- 9 - Summerour
- 10 - South Cemetery Street
- 11 - South Norcross Neighborhoods
- 12 - I-85 Activity Center

Share your thoughts on the draft character area map below!

Small text: I like the map. I like the changes to the character areas.

BuHi District - What do you want to see here?

Activity: Place a dot next to the images you most prefer below!

BuHi District Vision

The BuHi District aims to be a vibrant, walkable mixed-use gateway to Historic Downtown Norcross, featuring distinct commercial spaces, public amenities, and higher intensity residential developments. It's a sustainable, inclusive destination with safe, multi-modal connectivity transitioning to lower intensity development near the historic downtown.

Share your thoughts on the vision for the BuHi District below!

Handwritten notes:

- Is Cemetery Park the best use of this large area of green space north of BuHi?
- Can you see it could be reimagined with trees, bike paths, and a new park? CONNECT the 2 sides of Norcross up to Ullian Lake Park?
- Less St
- More Action
- Rail Transit cars
- The Vision is important to the community



Norcross Day of Play

The project team presented draft Character Area changes at the Norcross Day of Play event at Lillian Webb Park on October 22, 2025 from 5:00pm - 6:30pm. An estimated 20 people attended. The project team presented the draft Character Area map and narrative changes. Attendees were also asked about which types of uses they would like to see specifically along Buford Highway near Downtown Norcross. Feedback from the event is pictured below.

Draft Character Area Map

The draft Character Area map below closely resembles the recently adopted 2024 map with a few changes based on stakeholder and community feedback. These changes are highlighted on the map.

Shift from Character Area 2 to 1

Holcomb Ridge Road is a more suitable boundary between Character Area 1 and 2. As such, the outlined area is proposed to transition from Character Area 2 to Character Area 1.

Shift from Character Area 2 to 4

This area aligns more closely with the identity of Character Area 4 and is therefore proposed to be shifted from Character Area 2 to Character Area 4.

Shift from Character Area 4 to 8

Character Area 4 is defined by established, historic, single-family residential neighborhoods. The outlined area currently includes industrial uses and townhomes and is proposed to shift to Character Area 8, as it more closely reflects the character of that area.

Create Subareas 7A and 7B for Character Area 7

Because Character Area 7 includes two distinct identities, historic Downtown Norcross and the Buford Highway corridor, it has been divided into Subareas 7A and 7B to better reflect the unique characteristics of these adjacent areas. Subarea 7A includes Downtown Norcross and the surrounding historic neighborhoods, while Subarea 7B encompasses newer developments and commercial uses along the Buford Highway corridor. Subarea 7B has also incorporated small portions of Character Areas 6, 8, and 10.

Shift from Character Area 7 to Character Area 6

Because this location is closer in proximity and character to Character Area 6, it was shifted from Character Area 7 to Character Area 6.

Inset Map of 7A and 7B

- 1 Atlantic Peachtree Industrial Blvd
- 2 Medical/Peachtree Industrial Blvd
- 3 Pickensville
- 4 North Peachtree St Neighborhoods
- 5 Howell Woods
- 6 Buford Hwy/Army Carter Blvd Activity Center
- 7A Town Center
- 7B BuHi District
- 8 Langford Rd Industrial Center
- 9 Summerstar
- 10 South Cemetery Street
- 11 South Norcross Neighborhoods
- 12-15 Activity Center

Share your thoughts on the draft character area map below

BuHi District - What do you want to see here?

Activity: Place a dot next to the images you most prefer below!

The BuHi District is a vibrant, walkable, mixed-use corridor that serves as both a gateway to Norcross and a transition to the City's historic downtown (Character Area 7A). The District offers a diverse mix of neighborhood serving commercial, public amenities, and higher-intensity residential in direct proximity to Historic Downtown Norcross. The BuHi District provides safe and accessible transportation connections for pedestrians, bicyclists, and transit users, while continuing to accommodate a high volume of vehicular traffic.

Share your thoughts on the vision for the BuHi District below!

Increased Walkability

Condos

Multi-Unit Apartments

City of Norcross

STAKEHOLDER MEETINGS

The consultant team met with many stakeholders throughout the plan amendment process, including the Norcross Mayor and City Councilmembers, the Norcross Downtown Development Authority, and developers that work in or near the City of Norcross. Dates and attendees for each of these meetings are summarized below.

Meetings with Norcross Mayor and Council

- August 12, 2025 - Meeting with Mayor Craig Newton and Councilmember Marshall Cheek
- August 14, 2025 - Meeting with Councilmembers Josh Bare and Matt Myers
- August 27, 2025 - Meeting with Council member Andrew Hixson
- September 2, 2025 - Meeting with Councilperson Bruce Gaynor

Meeting with Norcross Downtown Development Authority

Attendees:

- Jim Eyre, Chair
- Brendan Frazier, Vice Chair
- John Bemis
- Liz Jackson
- Lauren Summers

Discussion with Developers

Attendees:

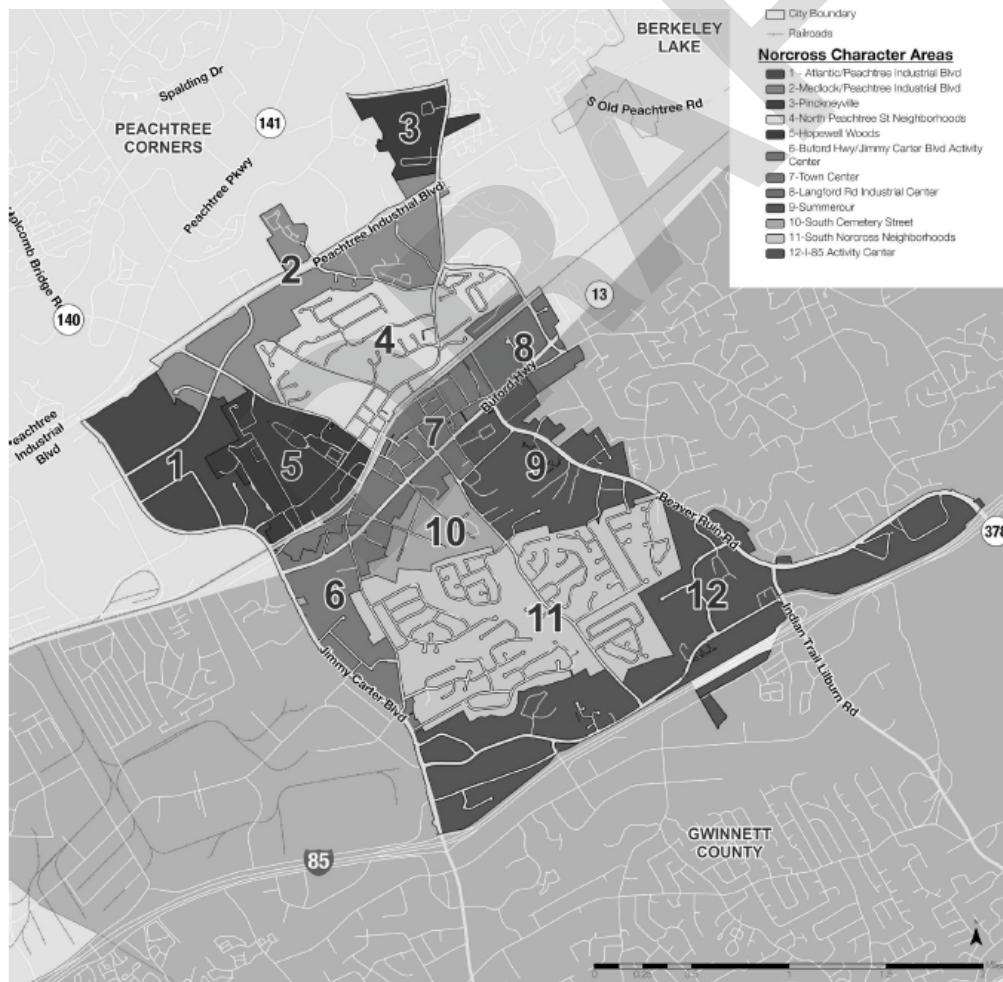
- John Maddox, Blue Ridge Atlantic
- Bruce Fernald, BD Urban LLC
- Matt Mason, Gateway Ventures and Atlantic Companies
- Jenny Wilkerson, Regent Partners
- John Mansour, Insignia LLC

ONLINE SURVEY

An online survey was conducted and was open from July 8, 2025 to September 18, 2025. The survey received a total of 508 responses. The online survey questions are attached, and a summary of survey responses for each question follows.

Norcross Comprehensive Plan and Buford Highway Master Plan Survey

The City of Norcross needs your input to update the City's Comprehensive Plan! This guiding document shapes the future of Norcross by addressing topics like land use, transportation, housing, and economic development. Although the Comprehensive Plan was most recently updated in 2024, the City is conducting an update to refine the vision for redevelopment and infill investments within the City and particularly along the Buford Highway Corridor. Your responses to this 5-minute survey will be instrumental to updating these key policy documents and defining Norcross' future growth.



* 1. What is your relationship to Norcross? Please select all that apply.

- I live in Norcross.
- I work in Norcross.
- I visit Norcross.
- Other (please specify)

* 2. If you live in Norcross, how long have you been a resident?

- Less than 1 year
- 1-2 years
- 3-5 years
- 6-10 years
- 11-15 years
- 16-20 years
- More than 20 years
- I do not live in Norcross.
- I prefer not to answer.

* 3. What is your age?

- 25 and under
- 25 - 34
- 35 - 44
- 45 - 54
- 55 - 64
- 65 - 74
- 75 and over
- I prefer not to answer.

DRAFT

The City of Norcross has very little vacant, undeveloped land remaining. This means that most new development will be in the form of redevelopment or infill development. While the City desires to continue as a preferred location for people to live, work, or visit, we also want to strike an appropriate balance between new and existing development.

* 4. When considering redevelopment or infill development within the City of Norcross, which of the following elements are most important to you? Rank each option on a scale of 1 to 5, where 1 is of lowest importance and 5 is of highest importance.

	1	2	3	4	5
New amenities, retail, and entertainment	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
New or improved sidewalks, streetscape, and trails	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
New greenspace or community gathering space	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
There are appropriate transitions or buffers between new and existing developments	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Workforce housing (young professionals, police, firefighters, teachers, etc.)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Senior housing (allows for aging in place or housing for aging family members)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
A variety of housing types and price points	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
The character of existing, stable areas are preserved or enhanced	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

Close-up of Buford Highway Character Areas



Character areas in Norcross assist in defining the city's unique sense of place and help guide future development and character. Each character area narrative provides detailed guidance for the specific sub-areas within Norcross, ensuring cohesive and contextually appropriate growth.

* 5. Within the character areas in the graphic above, what redevelopment models do you believe are the most appropriate for commercial and mixed-use areas? Select up to three choices.

Shopping and Retail



New Retail with Community Space



Shopping Center



Restaurants and Cafes



Entertainment Venues (e.g. Theatres, Art Galleries)



Office with Ground Floor Retail



Professional Offices



Stacked Flats



Multifamily Residential with Ground Floor Retail



Multi-Family Housing



Townhomes



Other (please specify)

[Empty rectangular box for specifying other housing types]

DRAFT

Norcross Survey Map



* 6. Of the locations included in the above map, what top 3 locations are the most appropriate for future commercial/mixed-use development?

- Historic Norcross / South Peachtree Street Area
- Buford Highway Town Center (Mitchell Rd to Lively Ave)
- Buford Highway / Beaver Ruin Rd Area
- Jimmy Carter Blvd / Buford Hwy gateway
- JCB /Atlantic / PIB / Holcomb Bridge Gateway
- I-85 / Jimmy Carter Interchange
- I-85 / Indian Trail Interchange
- I-85 / Beaver Ruin Interchange

* 7. What additional amenities would you like to see in Norcross? Select up to three choices.

- Walking and Biking Trails
- Parks and Public Gathering Spaces
- Improved Public Transportation
- Playgrounds and Sports Facilities
- Public Art Installations
- Water Features (fountains, splash pads, etc.)
- Community Gardens
- Charging Stations for Electric Vehicles
- Other (please specify)

* 8. Do you support the City enabling more housing choices across a variety of price points through future development and zoning policies?

- Yes
- No
- Maybe

* 9. Which housing types would you like to see more of in the future? Select all that apply.

- Single-family detached homes
- Townhomes and condos
- Duplexes, triplexes, and quadplexes
- Cottage homes or cluster homes
- Low-to-moderate income workforce
- Multifamily housing
- Active adult living communities

Norcross Comprehensive Plan and Buford Highway Master Plan Survey

Thursday, September 18, 2025

508

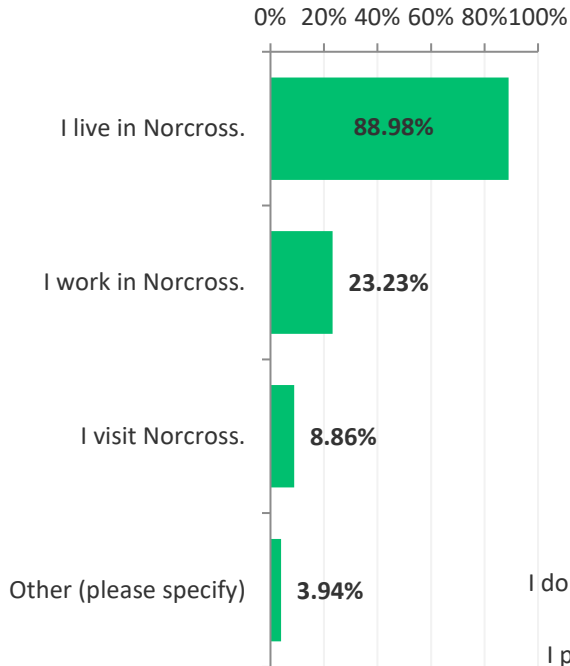
Total Responses

Date Created: Tuesday, July 08, 2025

Complete Responses: 508

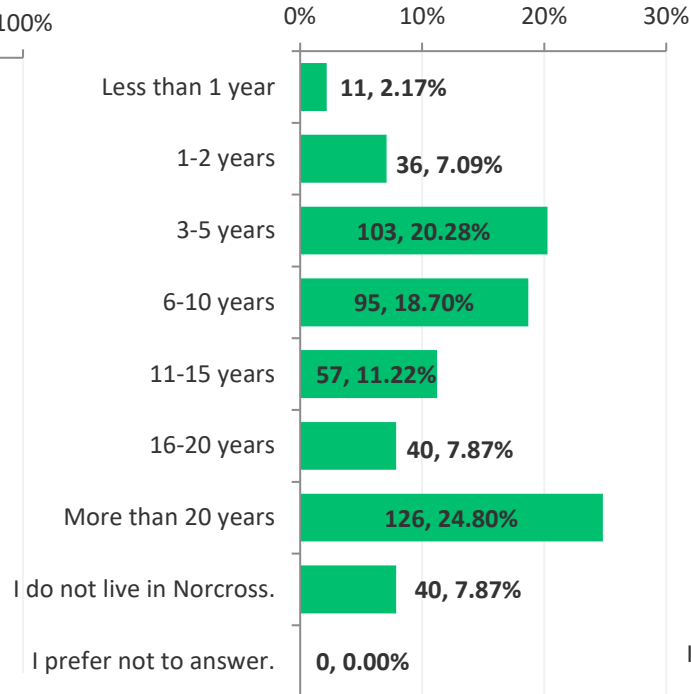
Q1: What is your relationship to Norcross? Please select all that apply.

Answered: 508 Skipped: 0



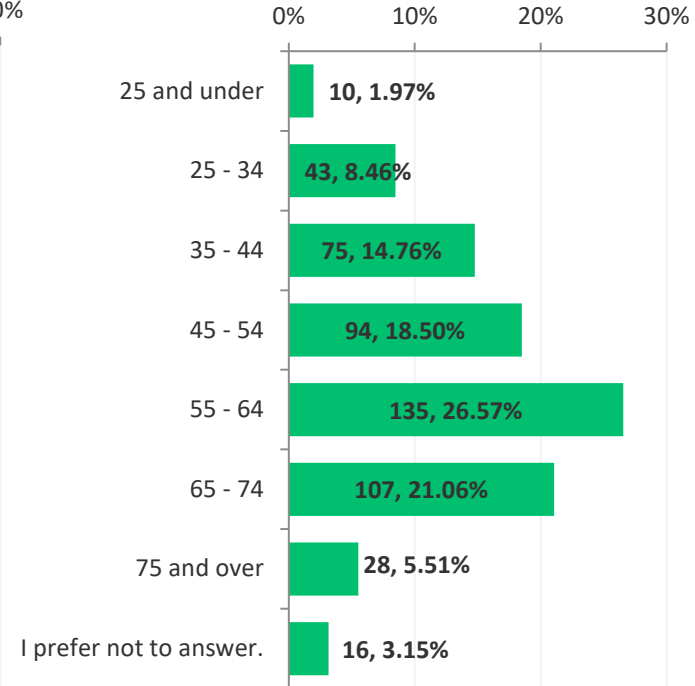
Q2: If you live in Norcross, how long have you been a resident?

Answered: 508 Skipped: 0



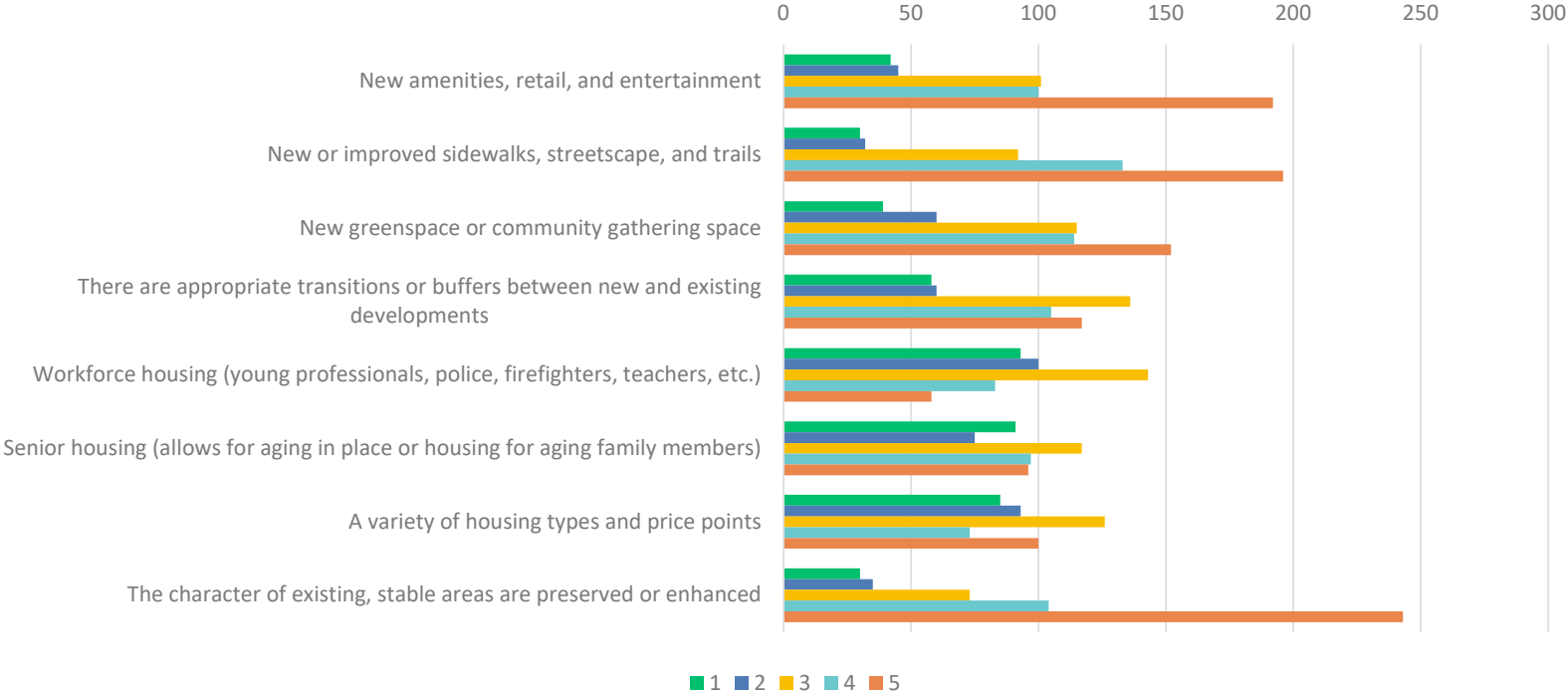
Q3: What is your age?

Answered: 508 Skipped: 0



Q4: When considering redevelopment or infill development within the City of Norcross, which of the following elements are most important to you? Rank each option on a scale of 1 to 5, where 1 is of lowest importance and 5 is of highest importance.

Answered: 487 Skipped: 21



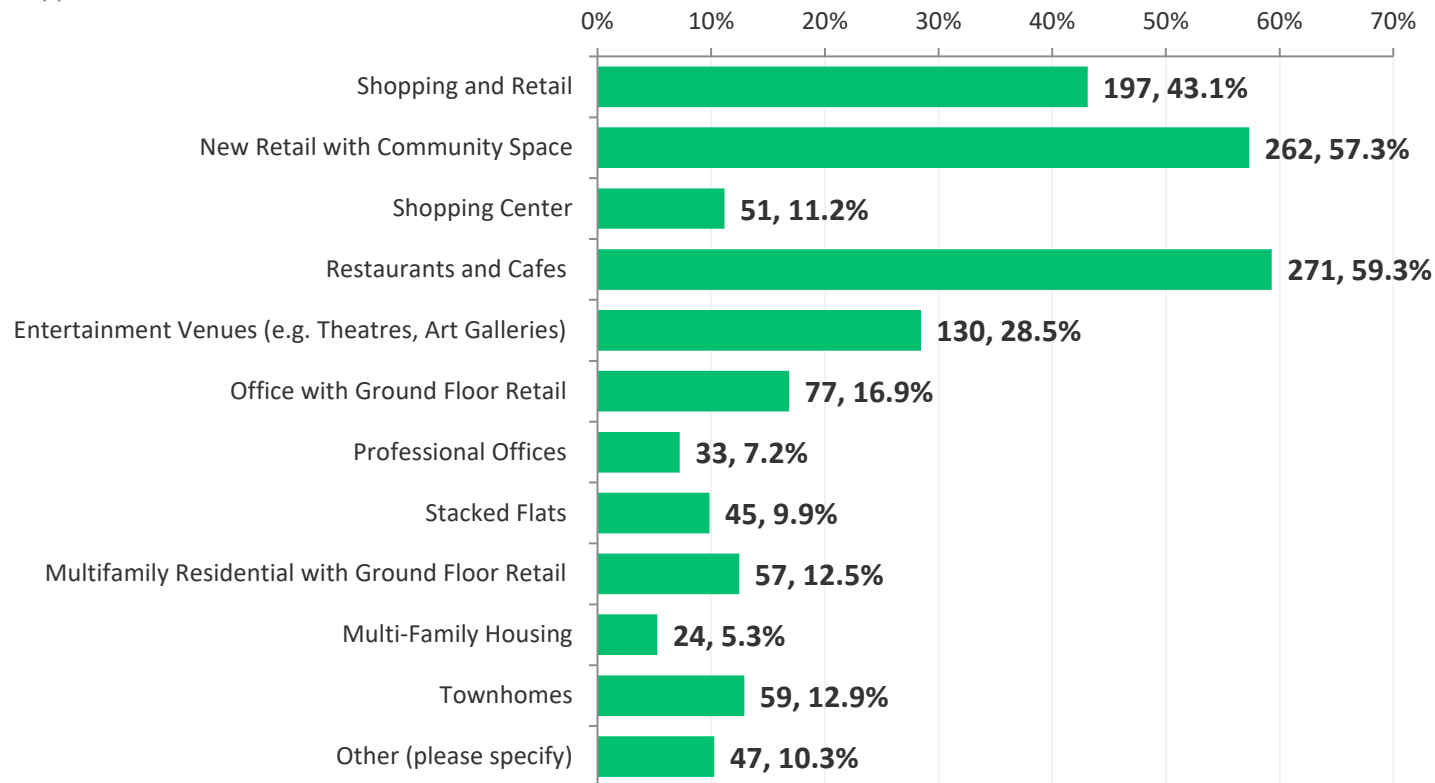
Q4: When considering redevelopment or infill development within the City of Norcross, which of the following elements are most important to you? Rank each option on a scale of 1 to 5, where 1 is of lowest importance and 5 is of highest importance.

Answered: 487 Skipped: 21

	1	2	3	4	5	TOTAL	WEIGHTED AVERAGE
▼ New amenities, retail, and entertainment	8.75% 42	9.38% 45	21.04% 101	20.83% 100	40.00% 192	480	3.74
▼ New or improved sidewalks, streetscape, and trails	6.21% 30	6.63% 32	19.05% 92	27.54% 133	40.58% 196	483	3.90
▼ New greenspace or community gathering space	8.13% 39	12.50% 60	23.96% 115	23.75% 114	31.67% 152	480	3.58
▼ There are appropriate transitions or buffers between new and existing developments	12.18% 58	12.61% 60	28.57% 136	22.06% 105	24.58% 117	476	3.34
▼ Workforce housing (young professionals, police, firefighters, teachers, etc.)	19.50% 93	20.96% 100	29.98% 143	17.40% 83	12.16% 58	477	2.82
▼ Senior housing (allows for aging in place or housing for aging family members)	19.12% 91	15.76% 75	24.58% 117	20.38% 97	20.17% 96	476	3.07
▼ A variety of housing types and price points	17.82% 85	19.50% 93	26.42% 126	15.30% 73	20.96% 100	477	3.02
▼ The character of existing, stable areas are preserved or enhanced	6.19% 30	7.22% 35	15.05% 73	21.44% 104	50.10% 243	485	4.02

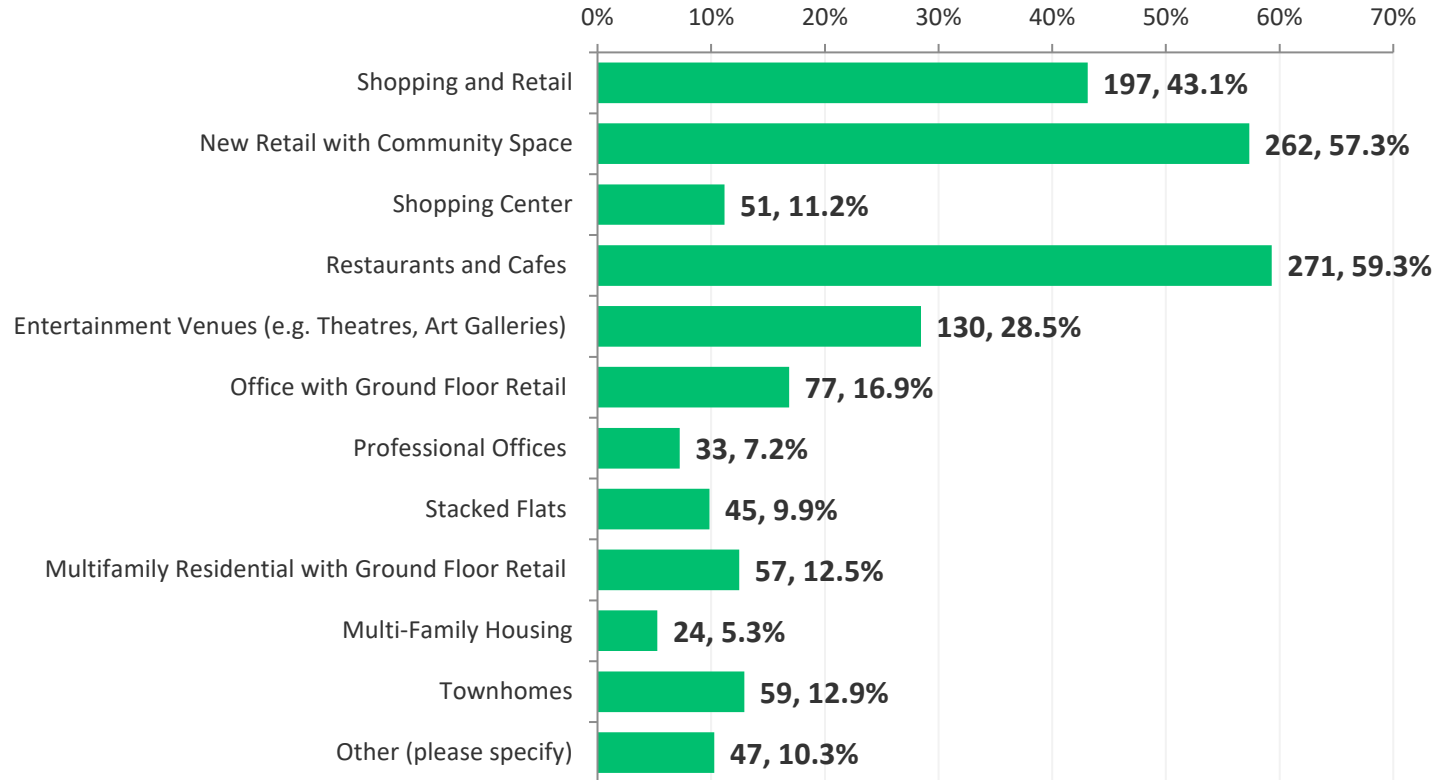
**Q5: Within the character areas in the graphic above, what redevelopment models do you believe are the most appropriate for commercial and mixed-use areas?
Select up to three choices.**

Answered: 457 Skipped: 51



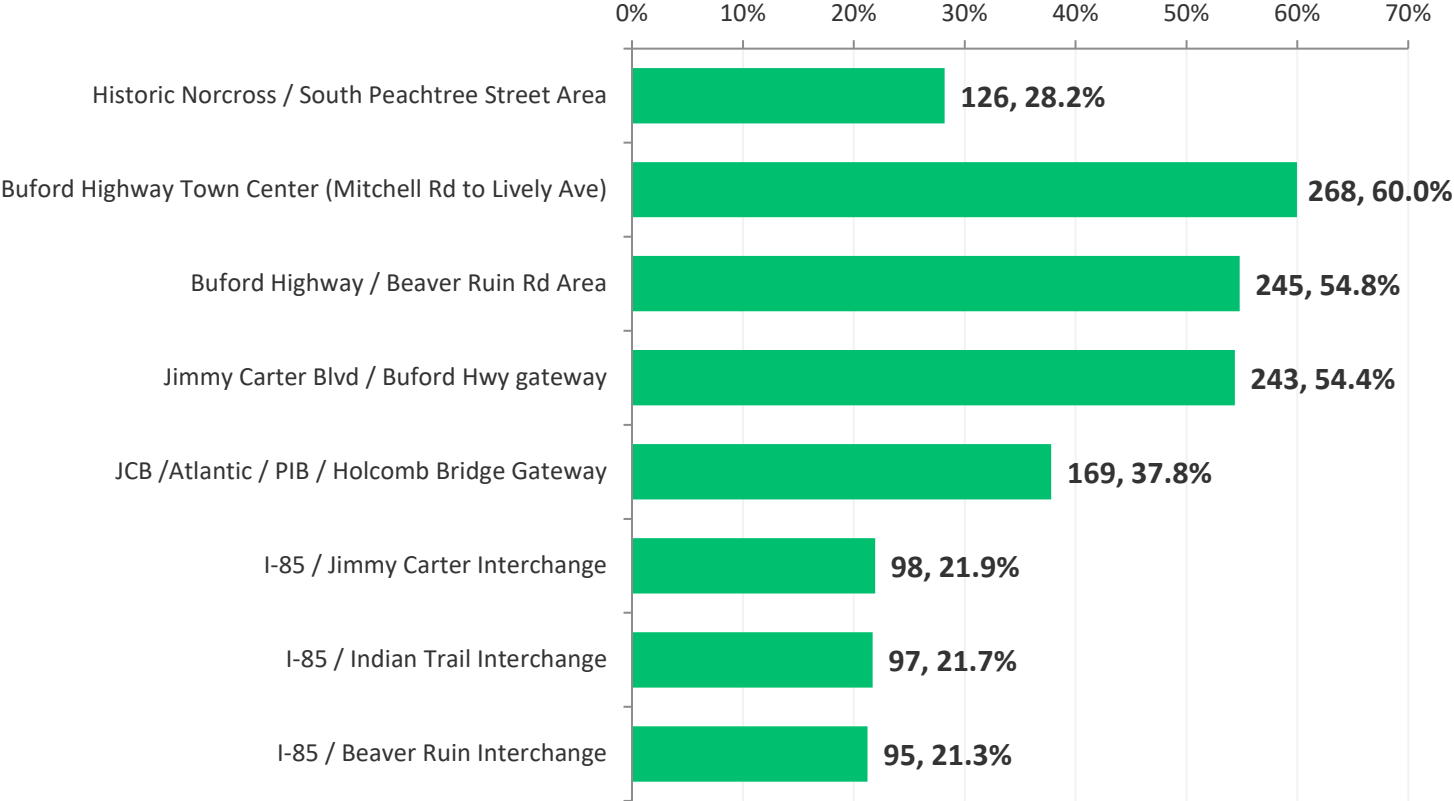
**Q5: Within the character areas in the graphic above, what redevelopment models do you believe are the most appropriate for commercial and mixed-use areas?
Select up to three choices.**

Answered: 457 Skipped: 51



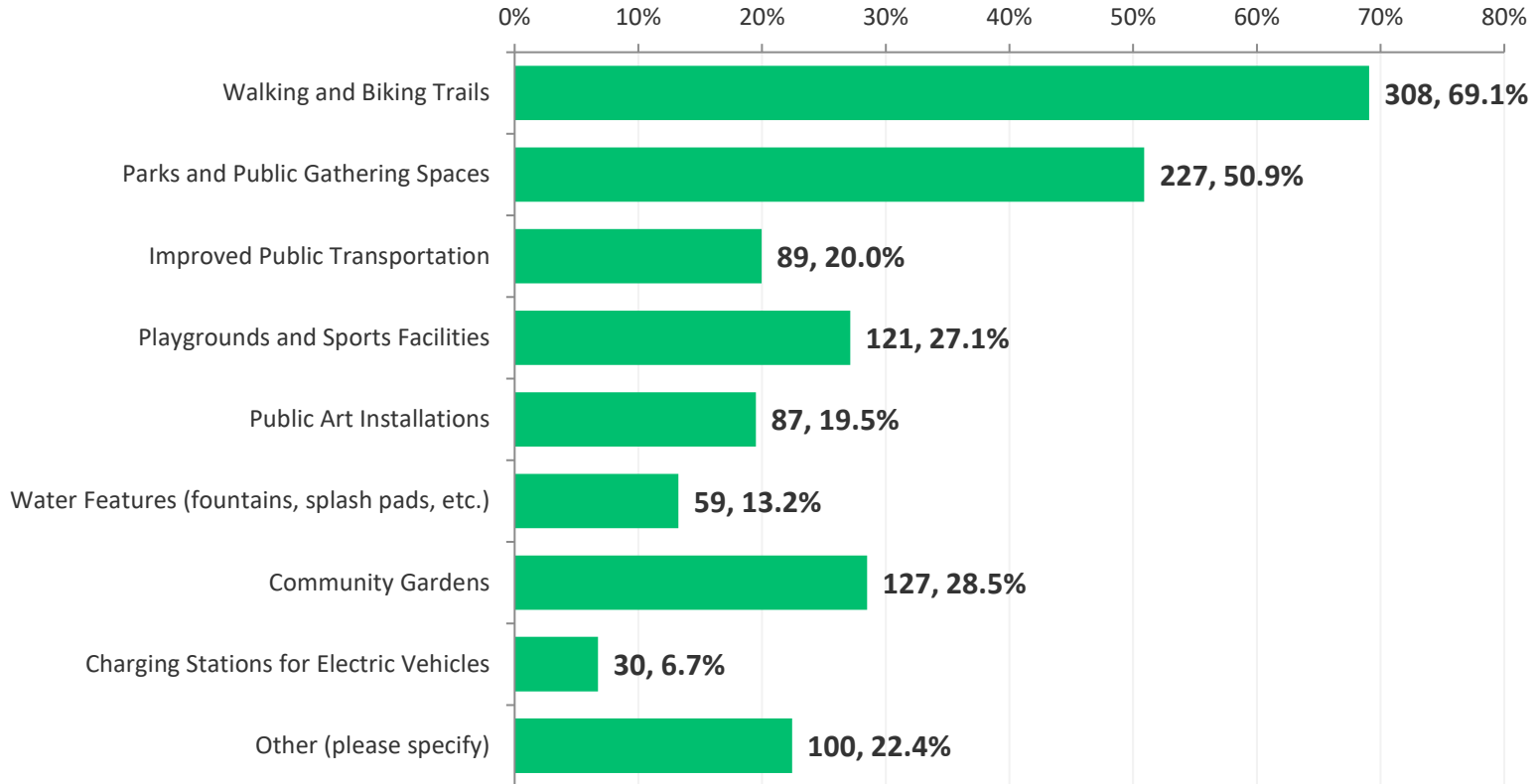
Q6: Of the locations included in the above map, what top 3 locations are the most appropriate for future commercial/mixed-use development?

Answered: 447 Skipped: 61



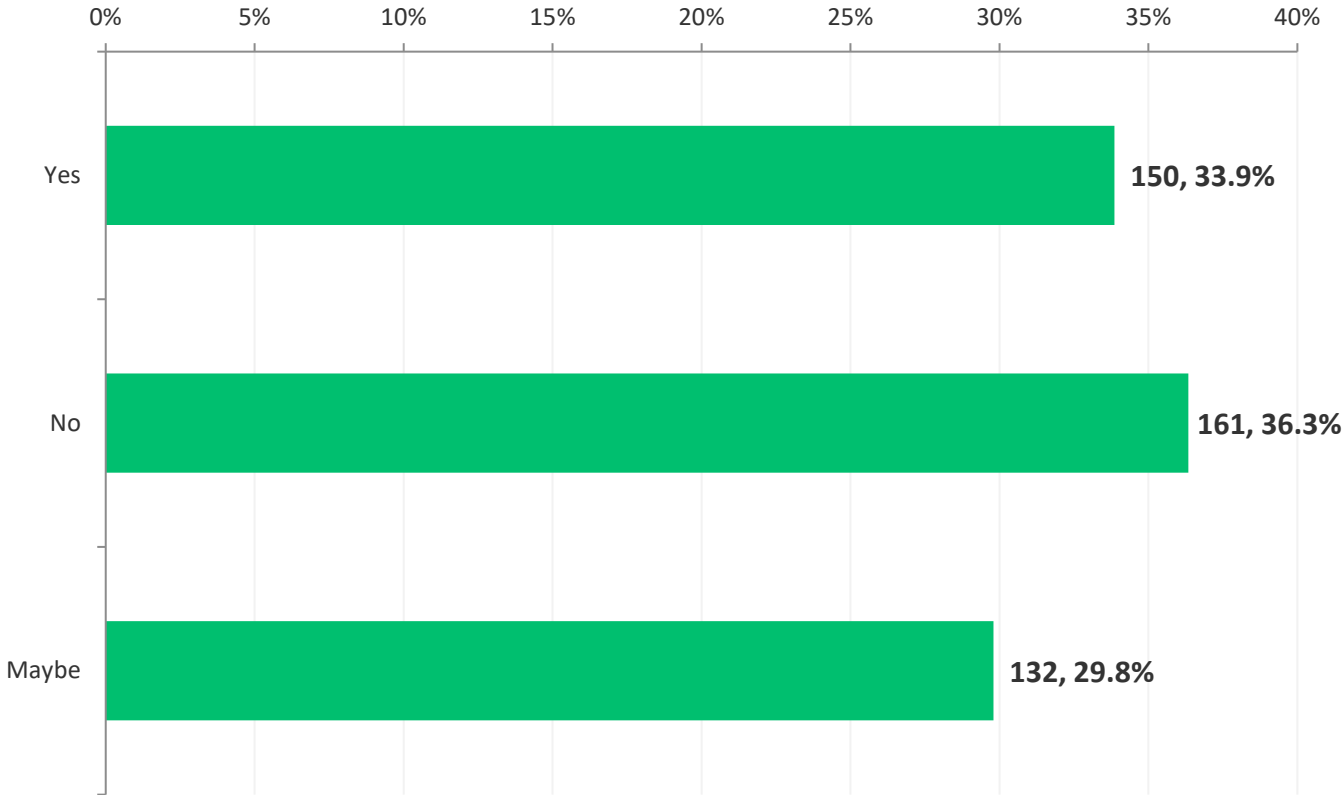
Q7: What additional amenities would you like to see in Norcross? Select up to three choices.

Answered: 446 Skipped: 62



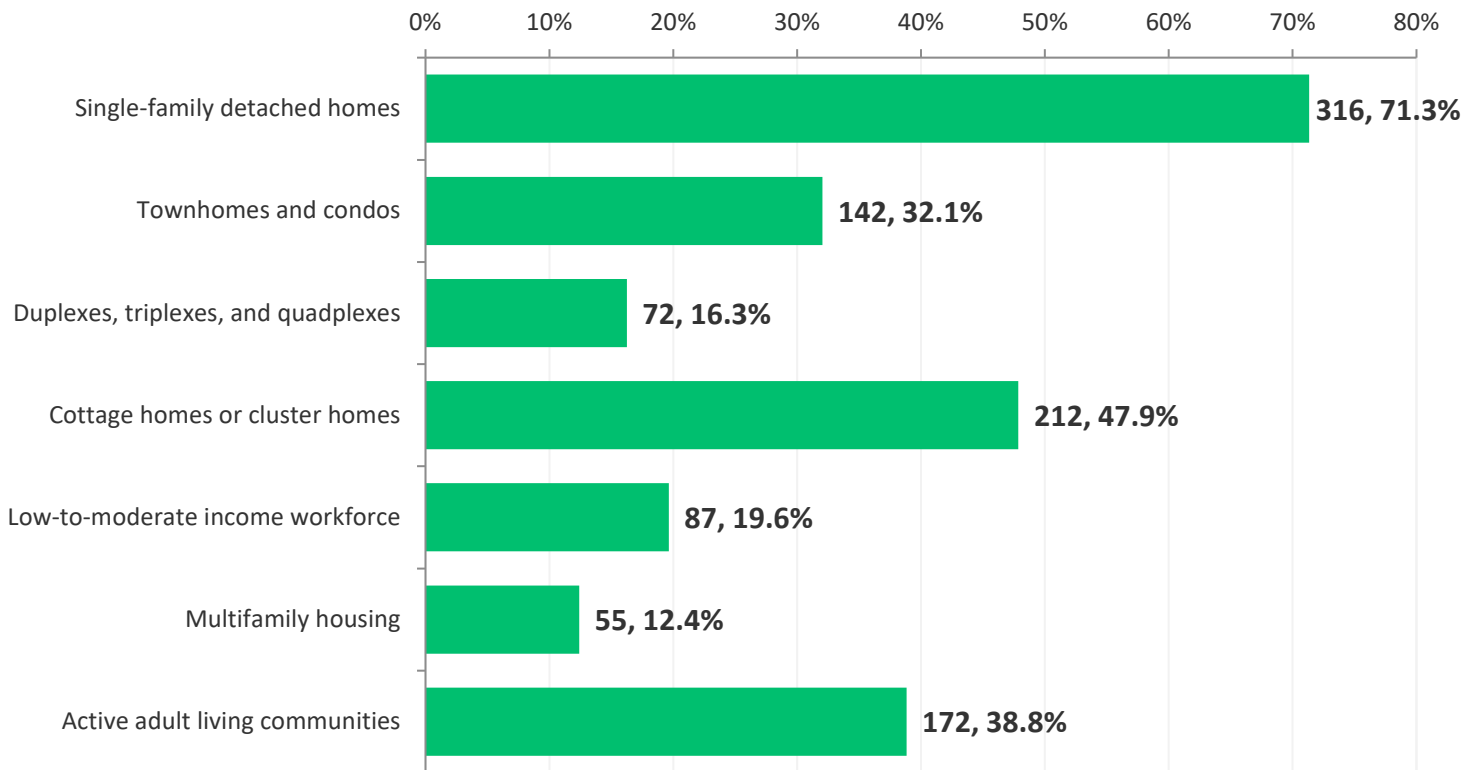
Q8: Do you support the City enabling more housing choices across a variety of price points through future development and zoning policies?

Answered: 443 Skipped: 65



Q9: Which housing types would you like to see more of in the future? Select all that apply.

Answered: 443 Skipped: 65

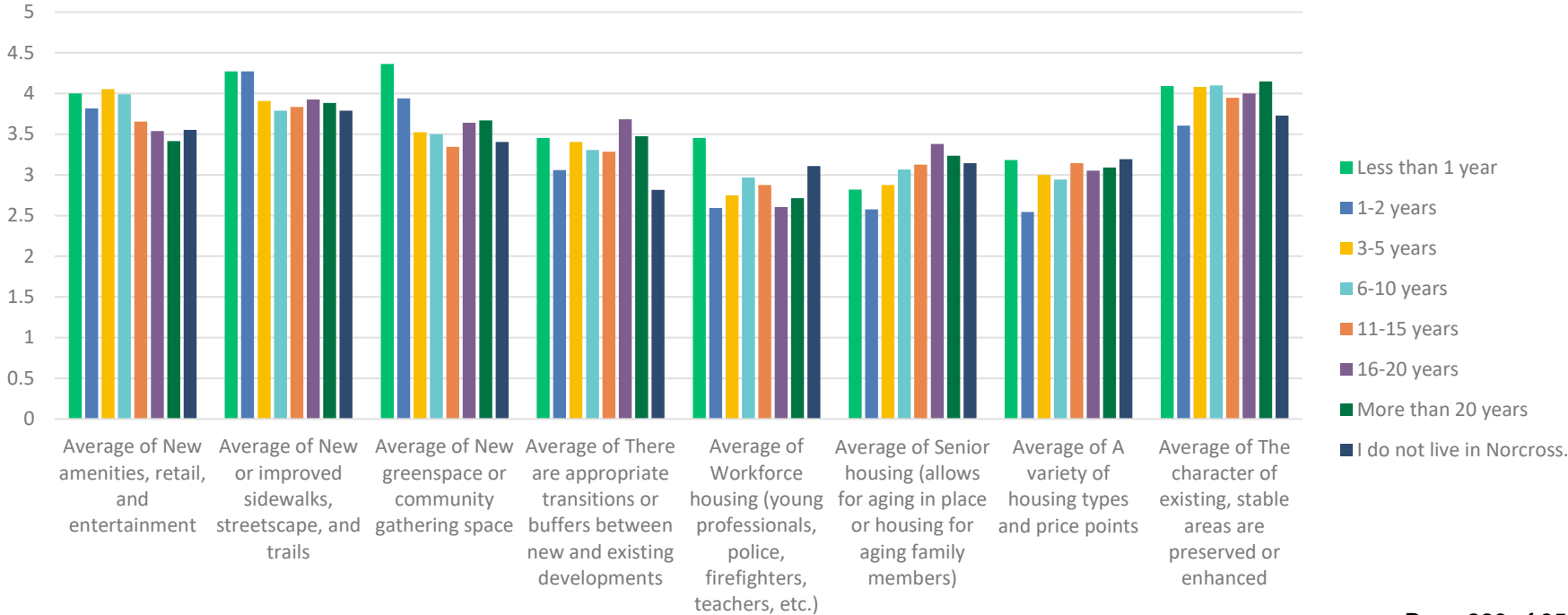


Responses Organized by Length of Residence

Q4: When considering redevelopment or infill development within the City of Norcross, which of the following elements are most important to you? Rank each option on a scale of 1 to 5, where 1 is of lowest importance and 5 is of highest importance.

Answers organized by Length of Residence

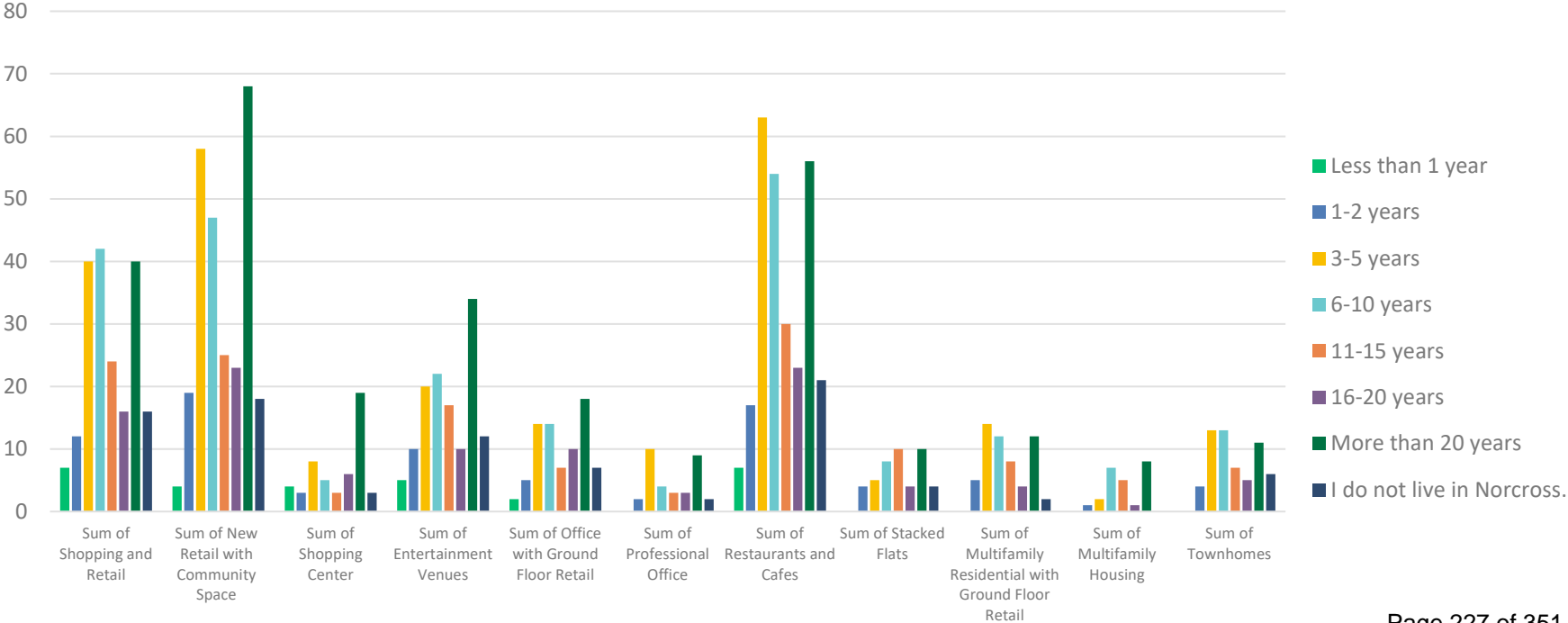
Answered: 487 Skipped: 21



Q5: Within the character areas in the graphic above, what redevelopment models do you believe are the most appropriate for commercial and mixed-use areas? Select up to three choices

Answers organized by Length of Residence

Answered: 457 Skipped: 51







FW: City of Norcross Comp Plan Amendment: Approved w/Advisory

From Donald Shockey <DShockey@atlantaregional.org>

Date Tue 2/3/2026 2:16 PM

To David Versel <David.Versel@norcrossga.net>; Tracy Rye <Tracy.Rye@norcrossga.net>

Cc Samyukth Shenbaga <SShenbaga@atlantaregional.org>; Andrew Smith <ASmith@atlantaregional.org>; Lauren Blaszyk <LBlaszyk@atlantaregional.org>; Kristin Allin <KAllin@atlantaregional.org>; Paul Donsky <PDonsky@atlantaregional.org>; Tuley, Jon <jon.tuley@kimley-horn.com>

2 attachments (165 KB)

FW: [External Sender] 2026 City of Norcross Comprehensive Plan Amendment - Review Notice and Comments Request; Norcross Comprehensive Plan Housing ;

Caution: This email came from outside Norcross Networks. Do not open attachments or click on links if you do not recognize the sender.

Hi David and Tracy,

Per the below, the DCA has approved the Amendment with only a few advisory changes related to formatting.

The regional review period ended today and minor comments received from the City of Doraville are in the attached email.

Comments related to ARC’s regional housing strategies are provided in the second email attachment.

The City can now proceed with finalizing and adopting the Amendment. Once that’s done, please provide the adopted version including the resolution of adoption which we’ll submit for the DCA records.

Best,

Donald Shockey AICP-CUD, LEED GA, CNU-A
Senior Planner
Community Development



(O) 470.378.1531 | DShockey@atlantaregional.org



Atlanta Regional Commission | 229 Peachtree Street, NE | Suite 100
Atlanta, Georgia 30303

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From: Juli M. Yoder <juli.yoder@gadca.onmicrosoft.com>
Sent: Tuesday, February 3, 2026 9:45 AM
To: Andrew Smith <ASmith@atlantaregional.org>
Cc: Planning <planning@dca.ga.gov>; Donald Shockey <DShockey@atlantaregional.org>
Subject: City of Norcross Comp Plan Amendment: Approved w/Advisory

Andrew:

Our staff has reviewed the comprehensive plan amendment for the City of Norcross and determined that it adequately addresses the Minimum Standards for Local Comprehensive Planning. However, we have provided advisory comments that we believe could assist the local government in making its plan more useful. Please review these comments with the local government before they adopt the plan amendment. We also have advisory comments for the plan preparer below. These comments need not be shared with the community, but they should be used to improve plans prepared for other communities in the future. If you have any questions about our comments, please contact us at 404-679-5279. As soon as your office provides written notice that the plan has been adopted and provides DCA with a digital copy of the final adopted version of this document, we will award Qualified Local Government status to the local government.

Advisory Comments on the Plan Update

Please consider addressing these items before moving forward with adoption of the plan amendment. We believe they will improve the usability of the document and help maximize its potential benefits.

- * The Land Uses by Character Area table, on page 42, was described as having had the “Skilled Nursing Facilities (no rehab)” use removed; however, it is still listed. It has been removed from the definitions. Please review if this use was intended to be removed from the table.
- * It appears that there is a list of the steering committee members on plan page 6, right before the table of contents. Please ensure this is legible, as right now it appears to be hidden.

Comments for the Plan Preparer

 Please carefully proofread this submittal for grammatical errors and typos before it is returned to the community for adoption. For instance:

- * On page 62, it appears that a section header for “Gwinnett Trails” was added to the page; however, no additional info or graphics were included with the header.
- * It appears that pages 114 and 115 may have been inadvertently shifted to the end of Appendix A as opposed to being situated directly following the community work program.

Thanks,





**GEORGIA DEPARTMENT
of COMMUNITY AFFAIRS**

[Learn more about our commitment to fair housing.](#)



Juli M. Yoder, AICP
Principal Planner |
Community & Regional Planning
Direct: [404-327-6860](tel:404-327-6860)
dca.georgia.gov



Outlook

Norcross Comprehensive Plan Housing

From Kristin Allin <KAllin@atlantaregional.org>

Date Tue 2/3/2026 1:52 PM

To Donald Shockey <DShockey@atlantaregional.org>

Donald,

ARC's Metro Atlanta Housing Strategy Toolkit identifies the need to add housing choices in every area throughout the metro area, including increasing density, types of housing, and price points. The Norcross Comprehensive Plan aligns with the recommendations of ARC's Metro Atlanta Housing Strategy. The one-page recommendations for Norcross are here: [Norcross City Snapshot](#) and resources accompany these recommendations found here: [Resources - Metro Atlanta Housing Strategy](#).

Further information on the toolkit is here:

About the Metro Atlanta Housing Strategy Toolkit

The Metro Atlanta Housing Strategy Toolkit provides detailed information and data about the region's housing market and offers a set of actionable steps that local communities can consider taking to address their housing issues. Housing Submarkets in the ARC region are defined using home sales data for a point in time. Census data and demographic changes are incorporated to develop strategies and action steps for housing within each submarket.

A Guide for A Healthy Housing Market

The tool is a guide to help the cities and counties in the ARC region understand and take the necessary steps to develop a stronger, healthier housing market that works for everyone.

What is the Definition of Affordable?

The U.S. Department of Housing and Urban Development (HUD), the federal agency responsible for housing policy, defines affordable housing as housing that costs no more than 30% of a household's income. This includes rental costs (including utilities) and, for homeowners, mortgage payments, property taxes, insurance, and utilities. The 30% threshold is designed to ensure that households can afford other essential expenses beyond housing, such as food, transportation, and healthcare.

Housing Strategies and Action Steps

Six housing strategies identified in the tool provide actionable steps and resources to address housing challenges through actionable solutions:

- Increase Supply
- Preserve Affordable Supply
- Reduce Housing & Transportation Costs
- Expand Capital Resources
- Promote Housing Stability
- Develop Leadership & Collaboration on Affordability

Kristin Allin
Principal Planner
Community Development



(O) 470.378.1636 | KAllin@atlantaregional.org



Atlanta Regional Commission | 229 Peachtree Street, NE | Suite 100
Atlanta, Georgia 30303

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Outlook

FW: [External Sender] 2026 City of Norcross Comprehensive Plan Amendment - Review Notice and Comments Request

From Donald Shockey <DShockey@atlantaregional.org>

Date Tue 2/3/2026 1:59 PM

To Donald Shockey <DShockey@atlantaregional.org>

Donald Shockey AICP-CUD, LEED GA, CNU-A

Senior Planner

Community Development



(O) 470.378.1531 | DShockey@atlantaregional.org



Atlanta Regional Commission | 229 Peachtree Street, NE | Suite 100
Atlanta, Georgia 30303

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From: Austin Shelton <Austin.Shelton@Doravillega.us>

Sent: Tuesday, January 27, 2026 3:35 PM

To: Donald Shockey <DShockey@atlantaregional.org>

Cc: Andrew Smith <ASmith@atlantaregional.org>

Subject: RE: [External Sender] 2026 City of Norcross Comprehensive Plan Amendment - Review Notice and Comments Request

Afternoon all!

After reading through the changes, the only comment I have is it seems (to me) overly complicated to split Character Area 7 into two, if the main difference is that larger-scale developments should go on or near Buford Highway, not near the historic town.

Other than that, mostly praise from me. I applaud expanding housing development recommendations to most character areas, as well as changing from building heights to being more focused on context. It's an easier argument for people to understand, and gets the City out of creating and enforcing arbitrary design decisions.

My only recommendation is that the City should add an explicit goal to proactively rezone properties to allow for more diverse types of development, if they have not already done so. Don't wait for it to come to you, make changes where you want to see it.



Austin Shelton

Director of Planning and Community
Development

☎770-451-8745 ✉

austin.shelton@doravillega.us

📍2421 Van Fleet Circle, Ste 200,
Doraville, GA 30360

🌐www.doravillega.us | 



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

AGENDA REPORT

To: Mayor and Council

From: Helen Balch, AICP
Community Development & Planning Director

Meeting Date: February 16, 2026 – Policy Work Session (PWS)

Item No.: 2026-45

Title: RZ2025-008; PKST Lively LLC, c/o Troutman Pepper Locke LLP; 705 Lively Ave

CC: Eric Johnson, City Manager
Tracy Rye, AICP, Assistant City Manager

Recommendation

Approval of rezoning to M1, Light Industry, Zoning District

Background

The applicant is requesting to rezone to the M1 (Light Industry) zoning district on a 12.8-acre lot to allow for full utilization of an existing M1 and R100 property. The southwest corner of the property is zoned R100 and is currently used for parking as depicted on the site plan. There is an existing two (2) story, 19,226 square foot principal building on site and several accessory buildings identified. Existing parking is surfaced with asphalt, concrete, and gravel. The property is currently used for a bus company operation, fleet vehicle parking, and outdoor storage.

The Planning & Zoning Board recommends approval of RZ2025-008 subject to the following conditions:

- (1) the property shall be developed in conformity with the City of Norcross Unified Development Ordinance;
- (2) parking and any future development along the rear of the subject property shall remain setback at least 50 feet from the abutting R-75 single-family homes; and
- (3) motor vehicle-related sales and service uses shall be prohibited; however, motor vehicle repair and maintenance as an accessory use shall be permitted.

Financial Impact

N/A

Consistent with Comprehensive Plan? (If applicable, please select which goal applies)

4. Maintain a Vibrant Economy and Continue to Facilitate Job Growth
 - a. Policy 1-2 calls for redeveloping and enhancing existing commercial and industrial uses.

Attachments

1. Agenda Report - RZ2025-008
2. Staff Report
3. Rezoning Application_Redacted
4. Letter of Intent
5. Proposed Site Plan
6. Applicant for RZ2025-008 Presentation for 02.16.2026



REZONING

Case Number	RZ2025-008
Petitioner	PKST Lively, LLC (c/o Troutman Pepper Locke LLP)
Property Location	705 Lively Avenue
Current Zoning	M1 (Light Industry) and R100 (Single-Family Residence)
Proposed Zoning	M1 (Light Industry District)
Proposed Use(s)	Bus Company Operation, Parking, Fleet Parking, and Outdoor Storage
Character Area	Character Area 10: South Cemetery Street
Site Acreage	12.8 Acres
District	6
Land Lot	243
Parcel #	6243 119
Taxes Paid	Yes
Historic District	N/A

COMMUNITY DEVELOPMENT AND PLANNING DEPT. RECOMMENDATIONS

Based on the analysis of this case, Staff recommends **APPROVAL** of rezoning to M1 (Light Industry District), subject to the following:

1. The property shall be developed in conformity with the City of Norcross Unified Development Ordinance.
2. Parking and any future development along the rear of the subject property to remain setback at least 50 feet from the abutting R-75 single-family homes, as shown on the site plan dated 01/12/2021.
3. All parking spaces shall be striped.
4. No motor vehicle related sales and service uses allowed.

Standards Governing the Exercise of Zoning Power

According to Section 103-11, the criteria by which a zoning action can be approved or denied are as follows:

1) Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties.

The proposed use may be consistent with the development of adjacent and nearby properties. To the north, east, and west are predominantly warehouse related uses, industrial uses and an auto repair use. To minimize the impact on the adjacent residential subdivision to the south, staff is recommending that parking and any future development remain setback at least 50 feet from the southern boundary line as shown on the site plan attached to this analysis.

2) Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property.

The proposed use may not adversely affect the existing use or usability of adjacent or nearby property. To ensure protection of the existing R-75 subdivision to the south, The Marshes at Oakbrook, staff is recommending that parking and any future development adhere to the 50-foot zoning setback adjacent to a residential district that the M1-Light Industry district prescribes.

3) Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned.

The property may have a reasonable economic use as currently zoned. The current zoning is mostly M1, Light Industry, which does support light industrial related uses.

4) Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities or schools.

The proposal may not result in a use which could cause an excessive burdensome use of existing streets, transportation facilities, utilities, or schools. The site as presented is fully developed. The property owners plan to continue the existing use.

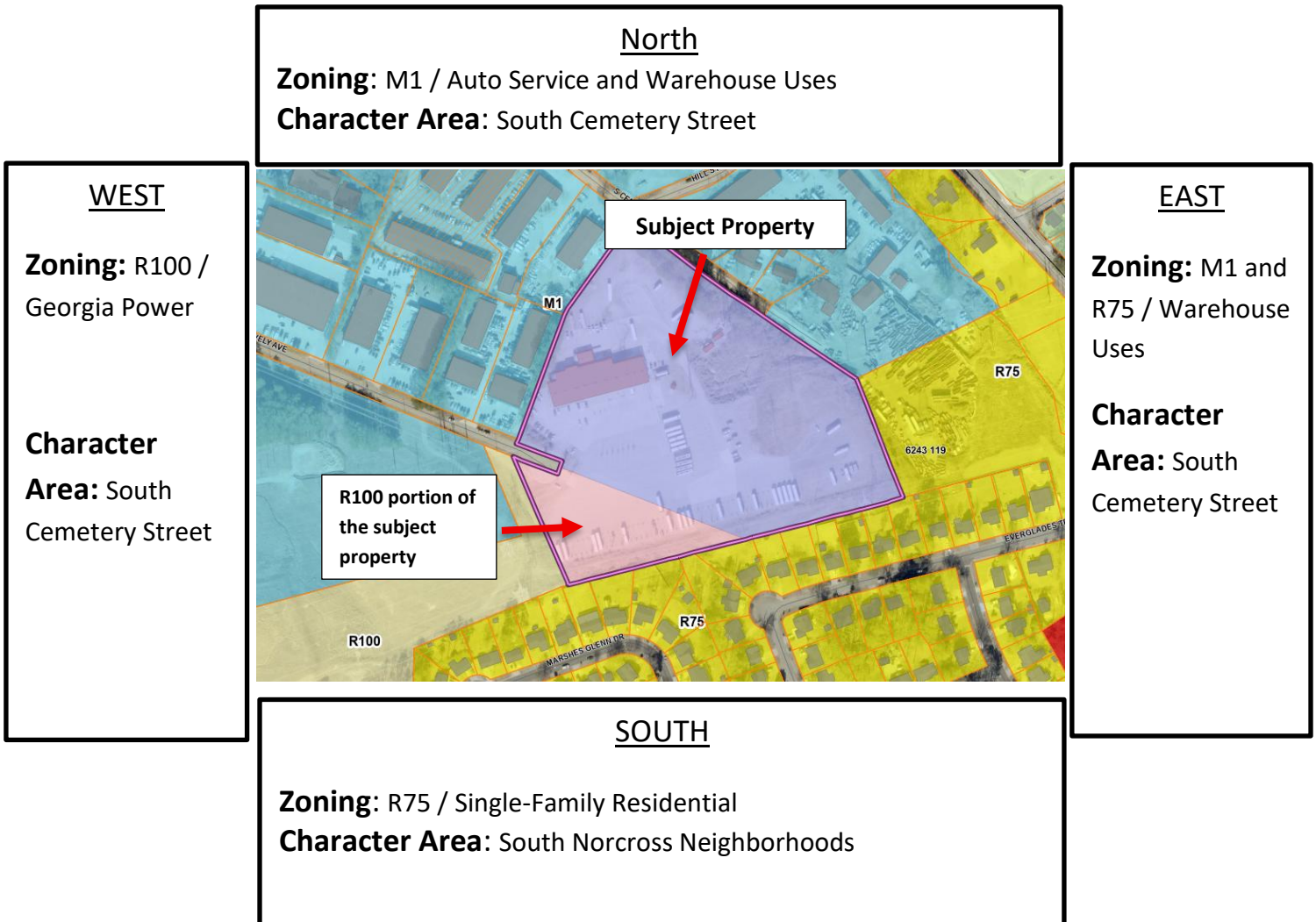
5) Whether the zoning proposal is in conformity with the policy and intent of the Comprehensive Plan.

The proposal is in conformity with the policy and intent of the Comprehensive Plan. The subject parcel is located within South Cemetery Street Character Area. The South Cemetery Street Character Area is a preferred location for light industrial, heavy commercial, and auto related commercial uses. Specifically, clean, light industrial uses that have a minimal impact on nearby residential use are encouraged, as well as transportation, warehousing, and distribution uses carefully planned to avoid freight traffic impacts on residential areas. Policy 1-2 calls for redeveloping and enhancing existing commercial and industrial uses.

6) Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal.

There are no known existing or changing conditions affecting the use of the property.

Board	Meeting Type	Meeting Date	Time	Location
P&Z	Hearing	2/4/2026	6:30 PM	Conference Room 2 nd Floor
MCC Policy	Meeting	2/16/2026	6:30 PM	Conference Room 2 nd Floor
MCC Regular	Hearing	3/2/2026	6:30 PM	Council Chambers 1 st Floor



Current zoning districts for the property

The M1 light industry district is comprised of lands that are located on, or have ready access to, a major street or state highway and are well adapted to industrial development but whose proximity to residential or commercial districts makes it desirable to limit industrial operations and processes to those that are not objectionable by reason of the emission of noise, vibration, smoke, dust, gas, fumes, odors or radiation and that do not create fire or explosion hazards or other objectionable conditions.

The R100 single-family residence zoning district is intended primarily for single family residences and related uses on large sized lots in the city. The Community Development & Planning Department does not have records of when this piece of the property may have been added or rezoned as part of the overall site.

Requested zoning district for the property

The M1 (Light Industry) district is comprised of lands that are located on, or have ready access to, a major street or state highway and are well adapted to industrial development but whose proximity to residential or commercial districts makes it desirable to limit industrial operations and processes to those that are not objectionable by reason of the emission of noise, vibration, smoke, dust, gas, fumes, odors or radiation and that do not create fire or explosion hazards or other objectionable conditions.

Summary of the applicant's proposal

The applicant is requesting to rezone to the M1 (Light Industry) zoning district on a 12.8-acre lot to allow for full utilization of an existing M1 and R100 property. The southwest corner of the property is zoned R100 and is currently used for parking as depicted on the site plan. There is an existing two (2) story, 19,226 square foot principal building on site and several accessory buildings identified. Existing parking is surfaced with asphalt, concrete, and gravel. The property is currently used for a bus company operation, fleet vehicle parking and outdoor storage.

Non-residential criteria

Proposed number of buildings: One 19,226 square foot principal building (existing)

Impervious surface shown: Maximum impervious allowed is 90 percent

Existing Parking: 66 Bus Spaces, 12 Van Spaces, and 97 standard parking spaces identified

Parking Required for a Bus Station Use: 1 per 200 SF GFA of terminal building (96 spaces)



REZONING APPLICATION

PROPERTY OWNER'S INFORMATION

Owner's Name: PKST Lively, LLC

Owner's Address: 150 N Riverside Plaza, STE 3810

City: Chicago State: IL Zip Code: 60606
Phone: [REDACTED] Cell Phone: [REDACTED] Email: [REDACTED]

APPLICANT'S CONTACT INFORMATION

Applicant's Name: PKST Lively, LLC (c/o Troutman Pepper Locke LLP)

Applicant's Address: 150 N Riverside Plaza

Suite: STE 3810 City: Chicago State: IL Zip Code: 60606
Phone: [REDACTED] Cell Phone: [REDACTED] Email: [REDACTED]

PROPERTY LOCATION

Tax Parcel Number(s): R6243 119 Size in acres: 12.8

Address(es): 705 Lively Ave

Number of existing structures: ^{1 primary with accessory buildings} Number of parking spaces: 177

PROPOSED USE

Current Zoning: M1/R100 Requested Zoning: M 1

Date of Pre-Application Mtg: 11/5/2025

Is the request in conformity with the Current Land Use Plan? Yes No

Comp Plan Designation: CA 10 (South Cemetery) If No, Comp Plan Amendment is required

Is this site located in the National/Local Historic District? Yes No

If yes, what are the plans for the historic resources, if any, onsite N/A

Rezoning Impact Analysis
705 Lively Avenue

(1) Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property.

The proposed zoning change of a portion of the property from R100 to M1 is well-suited to the existing and development of adjacent and nearby properties. Much of the property is already zoned M1, which permits uses such as parking and outdoor storage yards. The property abuts M1 zoning to the north and east and abuts R100 and R75 zoned property to the west and south. The M1 zoned properties are improved with existing industrial uses, such as fleet services and auto repair shops. Lively Avenue generally is an industrial street and the subject property is located at its terminus. The R100 zoned property to the west is not developed and is located under the same power lines that bisect the subject property. The property to the south of the subject property is zoned R75 is developed with single family homes that abut the property at the rear. Although the property abuts some residentially zoned properties, the property is located in a node of industrial zoning and uses that makes the zoning proposal appropriate. The proposed zoning will accommodate a use that is consistent with uses on adjacent and nearby properties.

(2) Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property.

The property is located within a growing industrial corridor. As noted above, adjacent properties are zoned M1 and are improved with similar industrial uses. The property is already used for compatible bus company operation, fleet vehicle and outdoor storage uses. The proposed zoning cures an existing nonconformity on a small portion of the property. The proposed zoning will allow the entire property to be used in a manner that is consistent with existing uses on adjacent and nearby properties, creating a cohesive industrial corridor.

(3) Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned.

The current zoning of the property limits its economic viability. A large portion of the property is already zoned M1, but a small triangular section on the southwestern corner of the property is zoned R100. The property is located beneath several power lines, which prohibits any vertical development, making residential development infeasible. In contrast, the property is well suited for non-vertical development, including outdoor storage and fleet vehicle parking, both of which already exist on the site. Rezoning the entire property to M1 will bolster the long-term economic feasibility of the property.

(4) Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.

No adverse impact is expected on existing streets or transportation facilities. All necessary utilities are already available to serve the site. Due to the lack of residential use proposed, there will be no impact on schools.

(5) Whether the zoning proposal is in conformity with the policy and intent of the comprehensive plan.

The zoning proposal conforms with the policy and intent of the City of Norcross Comprehensive Plan. The comprehensive plan designates the site as Character Area 10 (South Cemetery). Both auto-related commercial and light-industrial uses are allowed in the South Cemetery area. The comprehensive plan notes that the South Cemetery area is intended to provide a concentration of light industrial and heavier commercial uses, and it does not contemplate any residential uses in the area. The proposed M1 zoning will allow the entire property to conform with the policy and intent of the comprehensive plan.

(6) Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal.

As noted above, the property is currently split zoned, with most of the property zoned M1 and a small portion to the southwest zoned R100. The existing outdoor storage and fleet vehicle parking uses occurring on the R100 portion of the property are allowed in the M1 district but are not permitted in the R100 district. The City of Norcross has a goal of reducing nonconforming uses and this proposal seeks to eliminate the nonconformity on the small portion of the property by cohesively zoning the property M1. Additionally, as noted above, the existing powerlines bisecting the property, limit the viable uses on the property, including use as residential.

troutman.com

Jessica L. Hill

November 25, 2025

City of Norcross Community Development Department
65 Lawrenceville St.
Norcross, GA 30071
Attn: Helen Balch, AICP Community Development & Planning Director

RE: Letter of Intent and Project Summary - 705 Lively Avenue

Dear Helen,

This application requests a rezoning of the R100 portion of a 12.8-acre property located at 705 Lively Avenue (the "**Property**") from R100 to M1. Currently, the Property is primarily zoned M1, however, a small, triangular portion in the southwest corner is zoned R100. This application seeks to bring the entire Property under the M1 zoning district.

The Property is currently used for a bus company operation, fleet vehicle parking and outdoor storage, which are permissible uses in the M1 district. The portion of the Property currently zoned R100 has historically been used for parking and outdoor storage uses consistent with the M1 zoning of the balance of the Property. The Norcross Comprehensive Plan places the site in Character Area 10 (South Cemetery). The Comprehensive Plan envisions that the South Cemetery area will be comprised of light industrial and commercial uses and does not contemplate any residential uses in the area. Rezoning would align the Property with the historical use, the use of the balance of the Property and the Comprehensive Plan.

The R100 portion of the Property is located beneath multiple powerlines, making any vertical development, including residential homes, infeasible. Conversely, the Property is better suited for industrial uses, such as outdoor storage and vehicle parking, that do not require any vertical development. Furthermore, rezoning the entire Property to M1 will further the City of Norcross' goal of reducing nonconforming uses.

The responses to the codified criteria for the rezoning request are enclosed in this application together with a preservation of rights on behalf of the applicant. The Applicant respectfully requests that the Norcross City Council grant the requested rezoning. Thank you for your consideration of this application.

Sincerely,



Jessica L. Hill

troutman.com

Jessica L. Hill
jessica.hill@troutman.com

November 25, 2025

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65 Lawrenceville St.
Norcross, GA 30071
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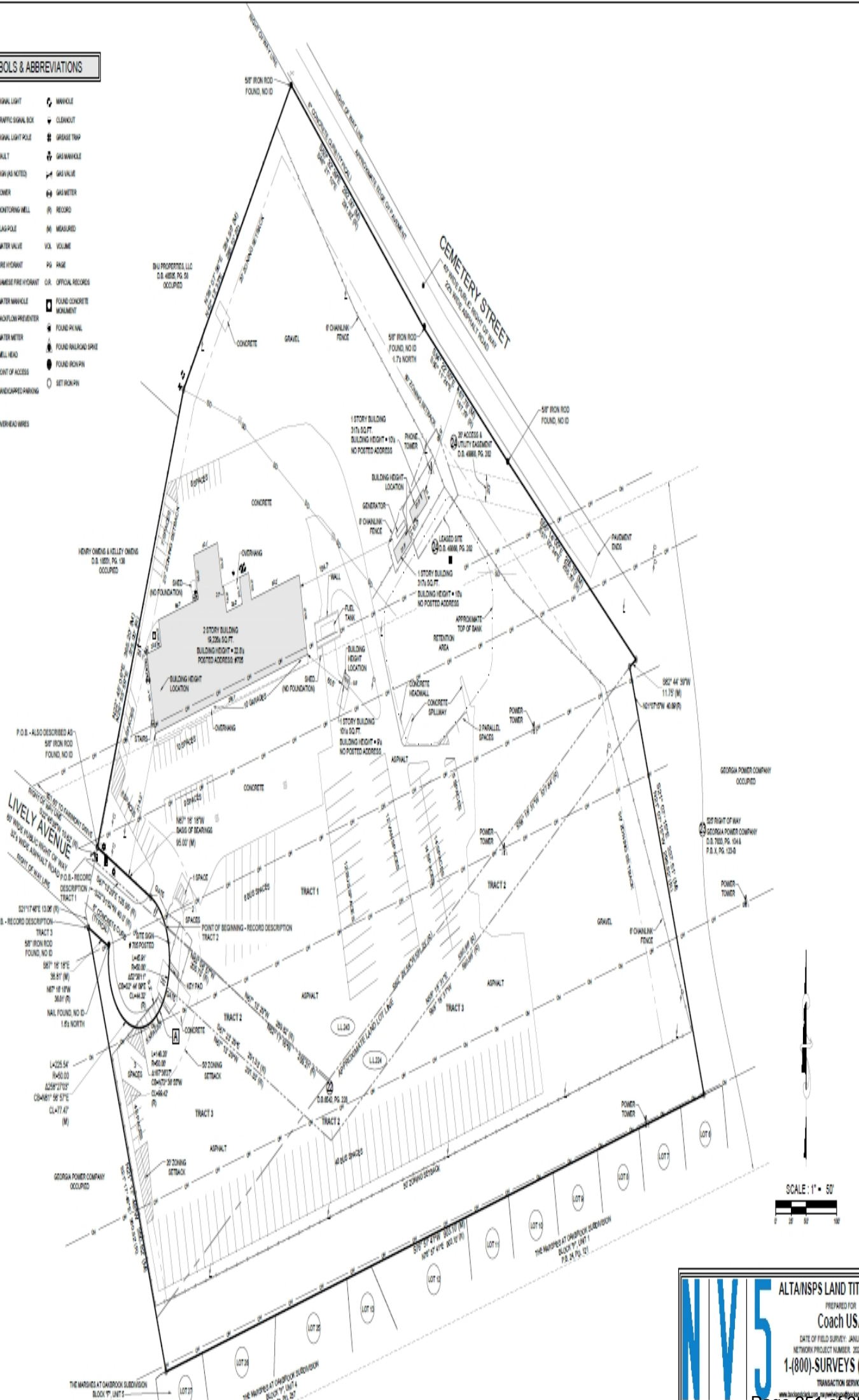
Sincerely,



Jessica L. Hill

LEGEND OF SYMBOLS & ABBREVIATIONS

- POWER POLE
- LIGHT POLE
- UTILITY WIRE
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC VALVE
- TRANSFORMER
- AIR CONDITIONER UNIT
- TELEPHONE MANHOLE
- TELEPHONE pedestal
- CABLE BOX
- METERED DIG SECTION
- STORM DRAIN MANHOLE
- STORM DRAIN VALVE
- STORM PIPE
- INDICATES MUTUAL OWNERSHIP
- BENCHMARK
- OVERHEAD WIRES
- MANHOLE
- TRAFFIC SIGNAL BOX
- CLEANOUT
- GREASE TRAP
- GAS MANHOLE
- GAS VALVE
- GAS METER
- RECORD
- MEASURED
- VALVE
- VOLUME
- PG PAGE
- OFFICIAL RECORDS
- FOUND CONCRETE MONUMENT
- FOUND PLUMB
- FOUND BALANCED DRIVE
- FOUND IRON PIN
- SET IRON PIN



SHEET 2 OF 2

NW5

ALTAINSPS LAND TITLE SURVEY

PREPARED FOR
Coach USA

DATE OF FIELD SURVEY: JANUARY 12, 2021
NETWORK PROJECT NUMBER: 202009124-001 RLS

1-(800)-SURVEYS (787-8397)

TRANSACTION SERVICES

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Aerial Image

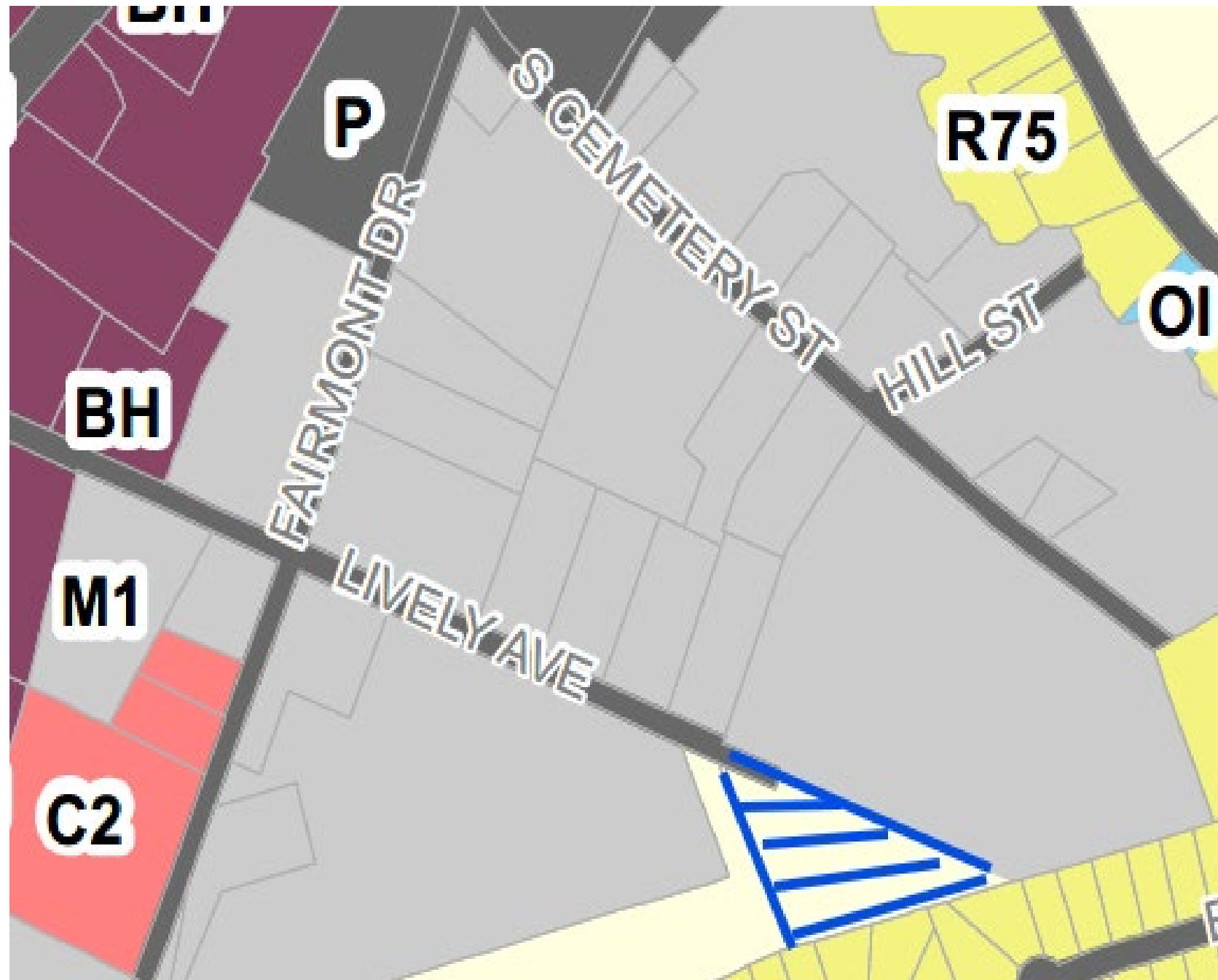
705 Lively Avenue



Current Zoning

705 Lively Avenue

The property is primarily zoned M1, with a small triangular portion zoned R100



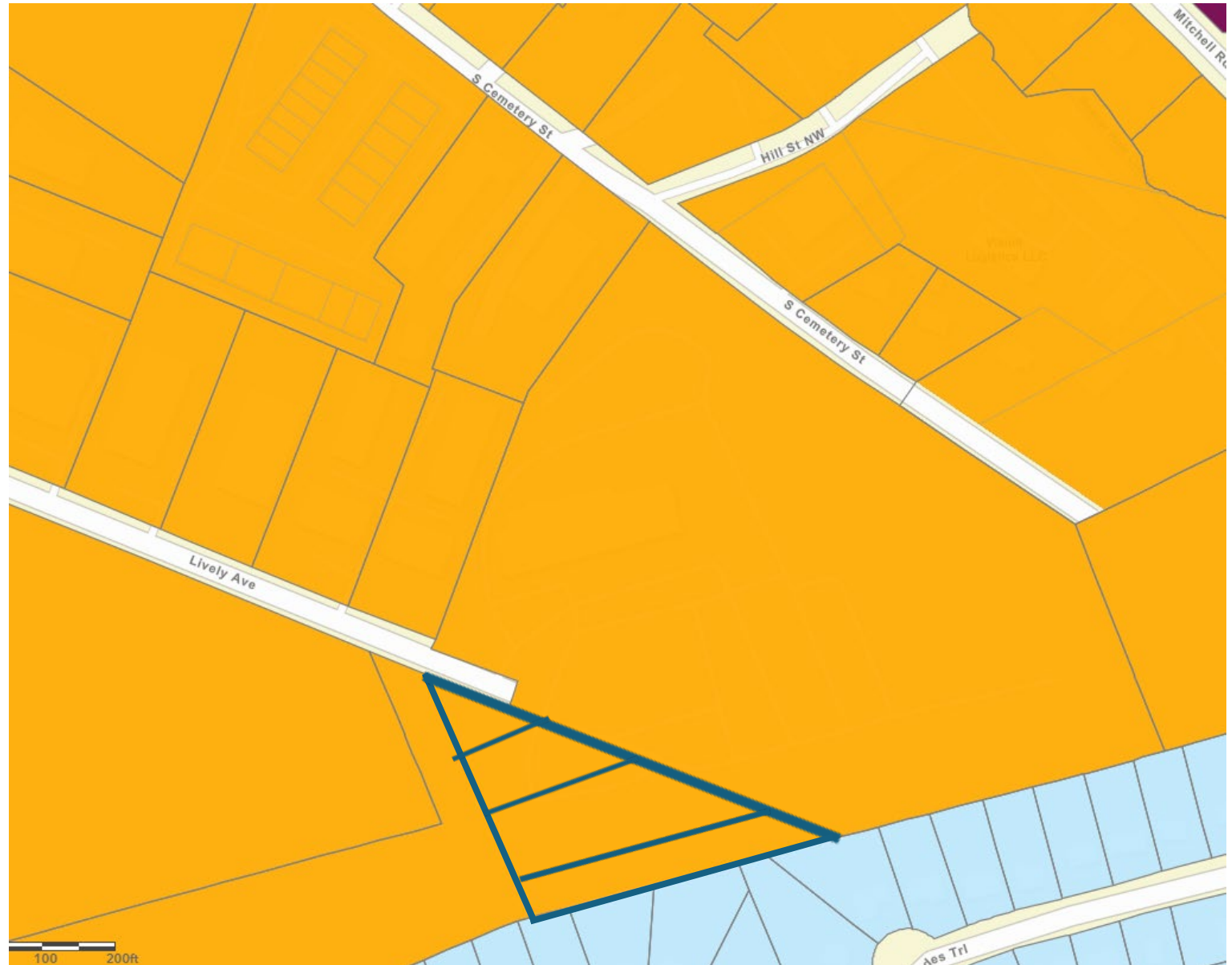
Comprehensive Plan

705 Lively Avenue

Comprehensive Plan Designation
CA 10 – South Cemetery

The Vision for CA 10:

“A unique district in Norcross providing a mix of public and private spaces [including] a concentration of light industrial and heavier commercial uses.”



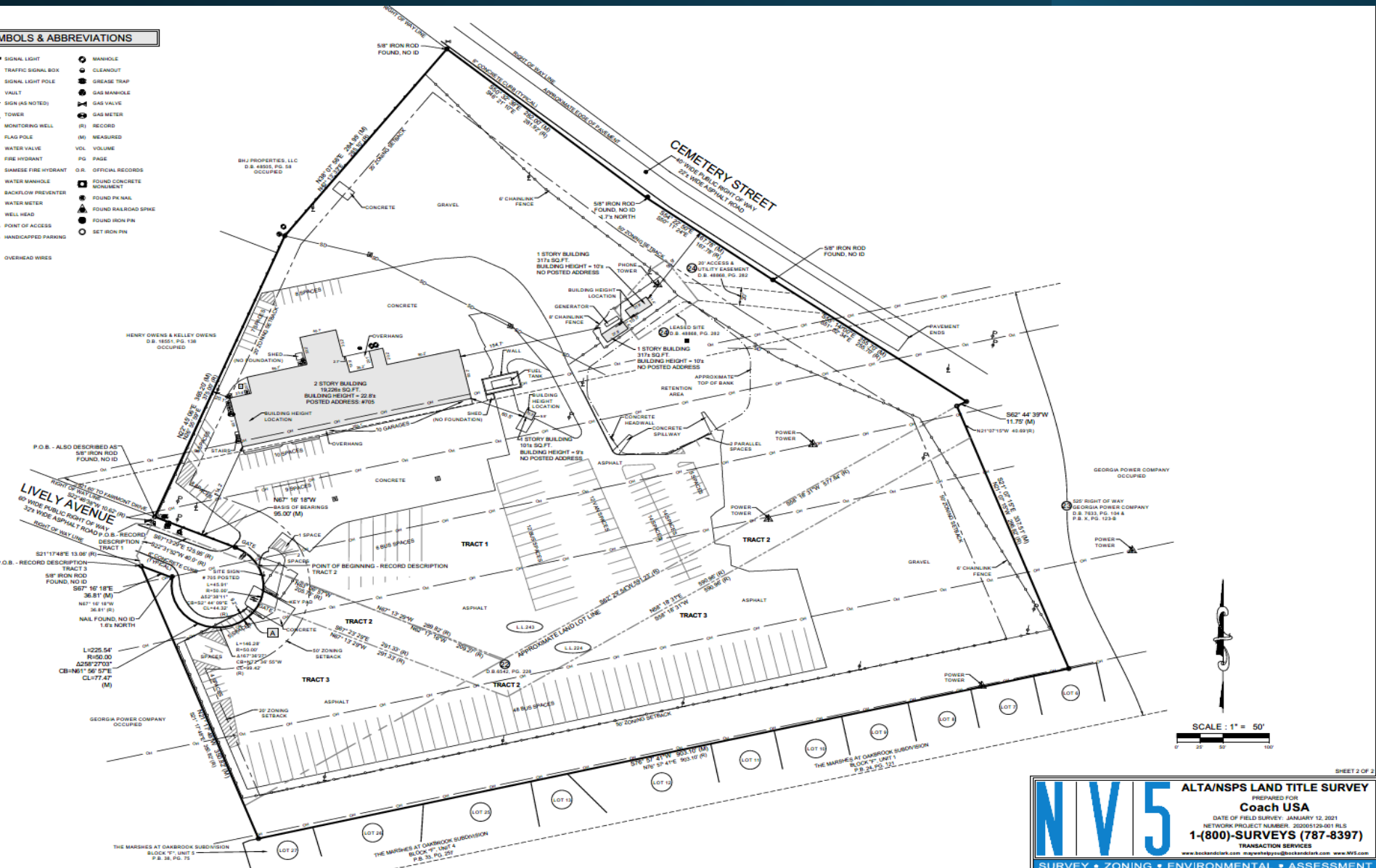
Existing Site Facts

- 12.8-acre property located at 705 Lively Avenue
- The property is currently used for a bus, trucking, and van parking business (including maintenance), fleet vehicle parking, and outdoor storage
- The R100 portion of the property has historically been used for parking and outdoor storage uses
- The R100 portion of the Property is located beneath multiple powerlines, making vertical development infeasible

Property Survey

LEGEND OF SYMBOLS & ABBREVIATIONS

- | | | |
|----------------------------|-----------------------|-------------------------|
| POWER POLE | SIGNAL LIGHT | MANHOLE |
| LIGHT POLE | TRAFFIC SIGNAL BOX | CLEANOUT |
| GUY WIRE | SIGNAL LIGHT POLE | GREASE TRAP |
| ELECTRIC MANHOLE | Vault | GAS MANHOLE |
| ELECTRIC METER | SGN (AS NOTED) | GAS VALVE |
| TRANSFORMER | TOWER | GAS METER |
| AIR CONDITIONER UNIT | MONITORING WELL | (R) RECORD |
| TELEPHONE MANHOLE | FLAG POLE | (M) MEASURED |
| TELEPHONE PEDESTAL | WATER VALVE | VOL VOLUME |
| CABLE BOX | FIRE HYDRANT | PG PAGE |
| MITERED END SECTION | SIAMSESE FIRE HYDRANT | O.R. OFFICIAL RECORDS |
| STORM DRAIN MANHOLE | WATER MANHOLE | FOUND CONCRETE MONUMENT |
| STORM DRAIN INLET | BACKFLOW PREVENTER | FOUND PK NAL |
| STORM PIPE | WATER METER | FOUND RAILROAD SPRK |
| INDICATES MUTUAL OWNERSHIP | WELLS HEAD | FOUND IRON PIN |
| BENCHMARK | POINT OF ACCESS | SET IRON PIN |
| | HANDICAPPED PARKING | |
| | OVERHEAD WIRES | |



SHEET 2 OF 3

NV5 ALTA/NSPS LAND TITLE SURVEY
 PREPARED FOR
Coach USA
 DATE OF FIELD SURVEY: JANUARY 12, 2021
 NETWORK PROJECT NUMBER: 20205120-001 RLS
1-(800)-SURVEYS (787-8397)
 TRANSACTION SERVICES
 www.peakstone.com mayweather@peakstone.com www.NV5.com

Rezoning Request

Requesting:

- Rezoning the R100 portion of the property to M1 to bring the entire property under the M1 zoning district

Existing Use:

- Currently used for a bus, trucking, and van parking and maintenance operation, fleet vehicle parking, and outdoor storage
- Rezoning the entire property to M1 furthers the City's goal of reducing nonconforming uses

Norcross Comprehensive Plan:

- Designation – Character Area 10 (South Cemetery), which envisions light industrial and commercial uses, rather than residential uses
- This request would align the entire property with the Comprehensive Plan designation

Applicant's Proposed Conditions

1. The property shall be developed in conformity with the City of Norcross Unified Development Ordinance.
2. Parking and any future development along the rear of the subject property to remain setback at least 50 feet from the abutting R-75 single-family homes, ~~as shown on the site plan dated 01/21/2021.~~
- ~~3. All parking shall be striped.~~
4. No motor vehicle sales and service uses allowed; provided, however, motor vehicle repair and maintenance as an accessory use shall be permitted.

Existing Gravel Parking Photos

705 Lively Avenue



Existing Gravel Parking Photos

705 Lively Avenue



Existing Service Facility Photos

705 Lively Avenue



Existing Service Facility Photos

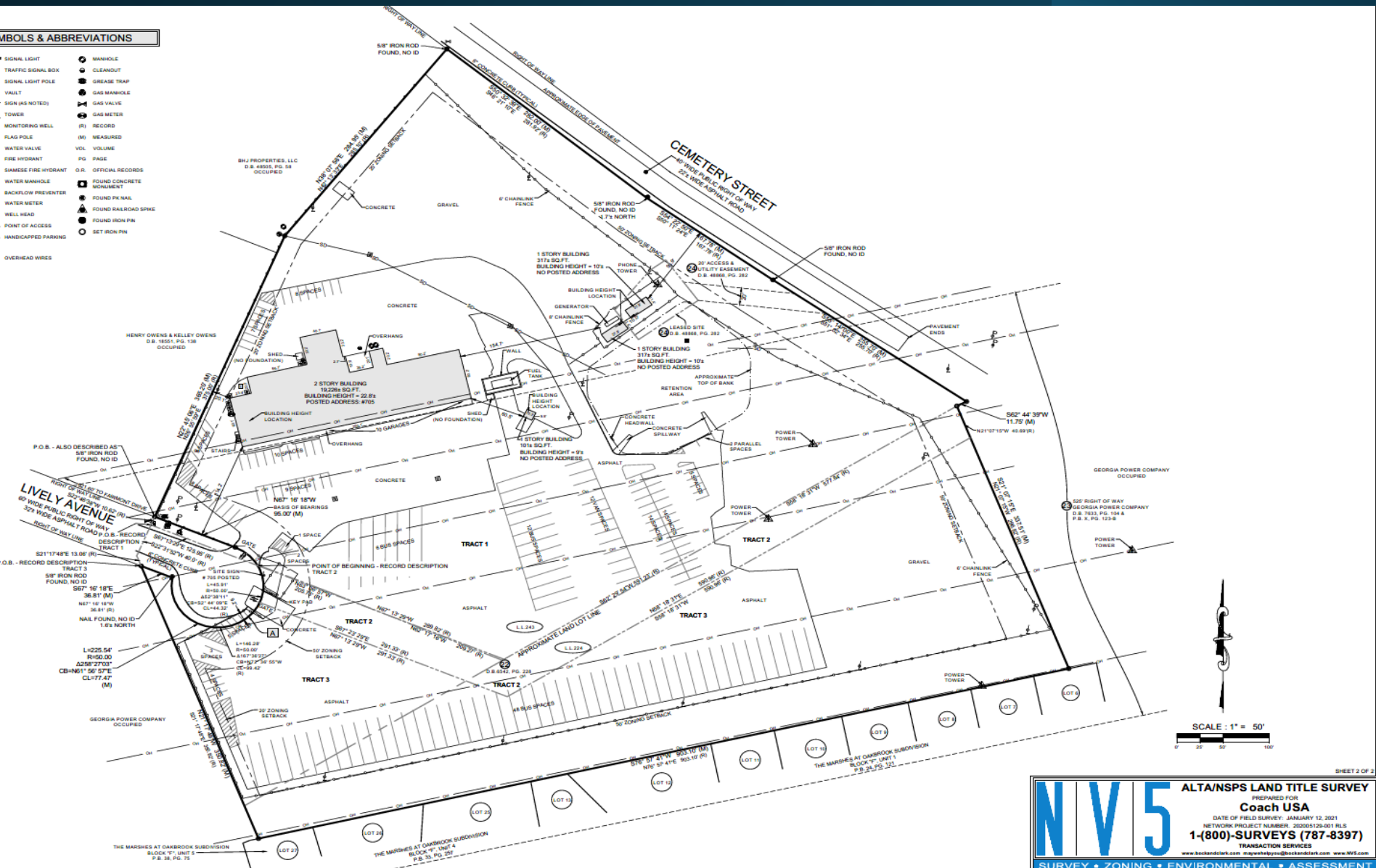
705 Lively Avenue



Property Survey

LEGEND OF SYMBOLS & ABBREVIATIONS

- | | | |
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| POWER POLE | SIGNAL LIGHT | MANHOLE |
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Thank You!



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REALTY TRUST



Mayor: Craig Newton • Mayor Pro Tem: Bruce Gaynor • Councilmember: Andrew Hixson • Councilmember: Josh Bare
Councilmember: Matt Myers • Councilmember: Marshall Cheek • City Manager: Eric Johnson • City Clerk: Monique Philip

AGENDA REPORT

To: Mayor and Council

From: Helen Balch, AICP
Community Development & Planning Director

Meeting Date: February 16, 2026 – Policy Work Session (PWS)

Item No.: 2026-67

Title: TEXT2026-002; Amendments to the Unified Development Ordinance

CC: Eric Johnson, City Manager
Tracy Rye, AICP, Assistant City Manager

Recommendation

Approval of amendments to the Unified Development Ordinance

Background

The purpose of the proposed amendment is to require a regular appeal process for decisions of the Architectural Review Board (ARB), Tree Preservation Board (TPB), and Historic Preservation Commission (HPC), in order to ensure consistency with O.C.G.A. § 36-66-5.1(a)(2). The amendment clarifies the procedures and authority for appeals of ARB decisions.

The Planning & Zoning Board recommends approval of amendments as presented.

Financial Impact

N/A

Consistent with Comprehensive Plan? (If applicable, please select which goal applies)

1. Continues to define Norcross' sense of place
 - a. Policy 1-6: Regularly review the UDO in the light of new court rulings, best practices, and issues that may have arisen for possible amendment.

Attachments

TEXT2026-002_UDO Amendment Section 104-3

Update

Ordinance TEXT2026-002

An Amendment to the City Code of Ordinance

Chapter and Purpose: Subpart B Unified Development Ordinance, Section as noted.

Enacting Clause; The Mayor and City Council of the City of Norcross, Georgia hereby ordains that the adopted Code of Ordinances is hereby amended as more particularly set forth below. It is the intention of the Mayor and City Council, and it is hereby ordained that all following provisions shall become and be made part of the Code of the City of Norcross.

1. Amendment to edit the language as noted on the attached, to add those items shown as underlined and highlighted, and delete those items shown as red strikethrough, any items completely deleted are reserved. For purposes of defined items, new definitions are added where they fit alphabetically within the existing defined terms section

Sec. 104-3. Decision making responsibilities.

- (a) There are three basic categories of development reviews and actions associated with such reviews pursuant to this UDO:
 - (1) Legislative actions involve a change in land use policy or any final legislative action detailed in O.C.G.A. § 36-66-3(4). A public hearing is required, and final approval must be made by the Mayor and City Council. Examples include, but are not limited to, rezoning decisions, special use permits and comprehensive plan amendments.
 - (2) Quasi-judicial actions involve the application of discretionary standards required by this UDO to an application other than a zoning decision as defined in O.C.G.A. § 36-66-3(4). It requires a public hearing, and procedural due process. Examples include variances, special use permits and appeals of administrative decisions, as well as design reviews that require interpretation of a set of design guidelines.
 - (3) Administrative actions involve the application of the standards of the UDO to an application by a UDO Administrator (section 103-4, UDO Administrators). A public hearing is not required. An administrative approval typically occurs late in the development process. Examples include building permits, sign permits, and certificates of occupancy.
- (b) The following table summarizes the review and approval authority of various review bodies involved in Legislative reviews, for each associated approval processes.

Figure 104-3(b) Legislative Action Approval Processes

Approval Process KEY: R = Review & Recommendation D = Final Decision A = Appeal PH = Public Hearing PM = Public Meeting	Cross-reference	Review and Approval Authority				
		UDO Administrator	Architectural Review Board	Historic Preservation Commission	Planning and Zoning Board	Mayor and City Council
Annexations	Sec. 104-5K	R			R-PH	D-PH
Concept plan approval submitted with a rezoning application ¹	Sec. 403-4	R/D			R-PH	D-PH
Concurrent variance request	Sec. 104-5	R			R-PH	D-PH

Planned development approval submitted with a rezoning to a PRD district ²	Sec. 104-5	R	R		R-PH	D-PH
Special exceptions	Sec. 104-5	R				D-PH
Special use permit	Sec. 104-6G	R			R-PH	D-PH
Telecommunications permit	Sec. 104-5	R			R-PH	D-PH
Text amendment (comprehensive plan or UDO)	Sec. 104-5	R			R-PH	D-PH
Zoning map amendment (rezoning)	Sec. 104-5	R			R-PH	D-PH

Note:

- 1 Sketch plans not requiring rezoning or special use permit approval can be approved by the Community Development Director as part of the preliminary plat review process. Whereas sketch plans submitted as part of a required rezoning will be reviewed as part of that rezoning.
 - 2 Rezonings to or within the PRD district require an approved concept plan and architectural renderings of proposed buildings reviewed first by the Architectural Review Board, before the application is submitted to the Planning and Zoning Board.
- (c) The following table summarizes the review and approval authority of various review bodies involved in Quasi-Judicial reviews, for each associated approval processes.

Figure 104-3(c) Quasi-Judicial Action Approval Processes

Approval Process KEY: R = Review & Recommendation D = Final Decision A = Appeal PH = Public Hearing PM = Public Meeting	Cross-reference	Review and Approval Authority							
		UDO Administrator	Architectural Review Board	Historic Preservation	Tree Preservation Board	Zoning Board of Appeals	Planning and Zoning Board	Mayor and City Council	
<i>Design Review</i>									
Minor Design Plan*	Sec. 104-6D	D							
Major Design Plan*	Sec. 104-6D	R	D						
Final major subdivision plat approval	Sec. 403-8	R						D-PH	
Major Design Plan in Local Historic District	Sec. 104-6E	R		D					
Historic Review—Cert. of Appropriateness in National Historic District and Regular Cert. of Appropriateness outside of the National Historic District	Sec. 104-6F	R	D						
Historic Review—Cert. of Appropriateness in Local Historic District	Sec. 104-6E	R		D					
Demolition permit in national historic district	Sec. 104-5	R	R					D-PH	
Demolition permit in local historic district	Sec. 104-5	R		R				D-PH	
<i>Variances, Exceptions, and Appeals</i>									

Variance	Sec. 104-6K	R				D-PH		
Appeals of Administrative Decision other than Tree Removal	Sec. 104-6C	R				A		
Appeal of Administrative Decision regarding Tree Removal	Sec. 104-6C	R			A			
Appeals of decisions by the ARB, HPC, or TPB	Sec. 104-6C	R						A
Stream buffer variance	Sec. 104-5	R						D-PH

- (d) Permits that may be approved by a UDO Administrator through the administrative review process fall under three different review sub-categories: building review by the city Building Official, engineering review by the City Engineer, and zoning review by the Zoning Administrator. The following table summarizes the different administrative permits that may be granted under this UDO and which UDO Administrator review them.

Figure 104-3(d) Administrative Action Processes

Approval Process	Cross-reference	Review and Approval Authority		
		Building Official	City Engineer	Zoning Administrator
Administrative Variance	Sec. 104-7A		■	■
Building Permit ¹	Sec. 104-7B	■	■	
Certificate of Appropriateness	Sec. 104-7C			■
Certificate of Completion	Sec. 104-7D	■		
Certificate of Occupancy	Sec. 104-7E	■		
Change of Occupancy certificate	Sec. 104-7F	■		
Commercial Filming Permit	Sec. 104-7G		■	
Demolition Permit ²	Sec. 104-7H	■		■ ³
Development Permit	Sec. 104-7I	■	■	■
Exemption Plat	Sec. 403-10	■	■	■
Land Disturbance Permit	Sec. 104-7J	■	■	
Plat Amendments		■	■	■
Preliminary Plat	Sec. 403-5		■	■
Parking Waiver	Sec. 104-7K			■
Sign Permits ⁴	Sec. 104-7L	■		■
Temporary Outdoor Activities Permit	Sec. 104-7M	■	■	■
Temporary Outdoor Retail Display Permit	Sec. 104-7N	■	■	■
Trade Permits, both commercial and residential ⁵	Sec. 104.7P	■		
Tree Removal, both commercial and residential	Sec. 104-7O		■	■
Utility Permits	Sec. 104-7Q		■	
Zoning verification letter	Sec. 104-7R			■

Notes:

1 Building Permits fall under the following categories: Single-family townhome; Single-family Detached Home; Duplex; Residential 4-plex; Condominium; New commercial construction; Residential remodel; and Residential Storage

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- 2 Demolition Permits fall under the following categories: Residential demolition outside of the historic district; Residential demolition inside the historic district; Residential interior or limited demolition; Commercial interior or limited demolition; and Commercial demolition removal of entire building or section
 - 3 Zoning Administrator reviews demolition permits inside the historic district only
 - 4 Sign Permits fall under the following categories: Temporary sign; New monument sign; Building sign
 - 5 Trade permits are first classified as being either residential or commercial, and then may be for electrical repairs and upgrades, gas line repairs and upgrades, HVAC repairs and upgrades, low voltage repairs and upgrades, plumbing repairs and upgrades, or re-roof

(Ord. No. 08-2019, § 1, 6-3-2019; Ord. No. 08-2022, § 1, 8-1-2022; Ord. No. 04-2024, § 1, 11-4-2024)

Sec. 103-5. Architectural Review Board (ARB).

(a) *ARB powers.*

- (1) The Architectural Review Board (ARB) is hereby created.
- (2) The ARB shall be the review authority of permit applications related to the following:
 - a. New construction residential facades, including paint color;
 - b. New construction commercial facades;
 - c. Modifications to existing commercial facades;
 - d. Public building facades;
 - e. Public monuments and pavilions;
 - f. Solar panel landscape screening and any other applicable landscape regulations in this UDO.
- (3) The authority of the ARB shall encompass all areas within the city limits except where the property in question fall under the authority of the Historic Preservation Commission.

(b) *ARB membership and terms.*

- (1) The ARB shall consist of five members appointed by the Mayor and City Council. A minimum of three members must be citizens of the city.
- (2) The ARB membership shall include at least one architect or engineer, and one citizen at large.
- (3) The ARB shall elect its chairperson and vice-chairperson from among its members. The chairperson and vice-chairperson shall serve for one year or until they are re-elected, or their successors are elected.
- (4) The term of office of each member of the ARB shall be three years with staggered terms, as determined by the Council upon initial appointment. Members shall serve at the pleasure of the City Council.
- (5) Any member of the ARB shall be disqualified to act upon a matter in which the member has an interest.

(c) *ARB rules and standards.*

- (1) The ARB shall set a meeting date which will recur each month for the purposes of reviewing applications for certificate of appropriateness.
- (2) The standards that the ARB shall use as the basis of its approvals are the architectural design guidelines of the city, and the policies of the adopted comprehensive plan. Current copies of such standards shall be printed and maintained at the Community Development Department and shall be made available to the public for distribution, inspection and copying to the general public during normal business hours.
- (3) The rules governing the calling and conducting of ARB meetings are set forth in section 103-3, general rules of procedure; meetings; minutes, and records.

(d) Appeal of ARB decision. Appeals of decisions of the ARB shall be taken pursuant to O.C.G.A. § 36-66-5.1(a)(2).
~~to the City Council in the following manner.~~

- ~~(1) Any person, jointly or severally, aggrieved or adversely affected by any decision of the ARB may within 30 calendar days of the decision request in writing an appeal to the City Council.~~
- ~~(2) The city shall fix a reasonable time for the hearing of the appeal by the City Council and give at least 15 calendar days public notice thereof and due notice to the parties in interest.~~
- ~~(3) City Council shall decide within 30 calendar days from the date of the hearing unless such time is extended with the approval of the appealing party.~~

Sec. 103-8. Tree Preservation Board (TPB).

(a) *TPB powers.*

- (1) A Tree Preservation Board is hereby established to assist the Community Development Department in interpreting and enforcing the provisions of this UDO and to advise the Mayor and City Council on matters pertaining to the preservation of trees and the conservation of tree units within the city.
- (2) The Tree Preservation Board shall have the power to grant variances to this chapter 200, article V based on a hardship not created by the applicant.
- (3) The Tree Preservation Board shall have the power to hear appeals of any person aggrieved or adversely affected by an administrative decision made by the Community Development Director in the course of administering the provisions of this UDO pertaining to the preservation of trees and the conservation of tree-canopy cover within the city.

(b) *TPB membership and terms.*

- (1) The Tree Preservation Board shall consist of five members appointed by the Mayor and City Council.
- (2) The members shall be residents or property owners of the city, except that up to two members may be nonresidents or non-property owners with professional expertise in arboriculture or horticulture or the land development/construction field.
- (3) Each member of the Tree Preservation Board shall serve for three years.

(c) *TPB rules and standards.*

- (1) Meetings. The Tree Preservation Board shall meet not less frequently than quarterly and shall establish rules and regulations for its operations consistent with the provisions of this UDO and chapter 200.
- (2) The Tree Preservation Board shall have the power to adopt and promulgate such further administrative guidelines and standards as may be necessary or desirable to carry out the provisions of this UDO and chapter 200. The maintenance of the city's community tree species list shall be the responsibility of the Tree Preservation Board.
- (3) Current copies of the community tree species list and other such administrative guidelines, standards, or regulations shall be maintained at the Community Development Department and shall be made available to the public for inspection and copying during normal business hours.

(d) *Appeals of TPB decisions.* Appeals of decisions of the TPB shall be taken pursuant to O.C.G.A. § 36-66-5.1(a)(2), to the City Council in the following manner:

- ~~(1) Any person, jointly or severally, aggrieved or adversely affected by any decision of the TPB may within 30 calendar days of the decision request in writing an appeal to the City Council.~~
- ~~(2) The city shall fix a reasonable time for the hearing of the appeal by the City Council and give at least 15 calendar days public notice thereof and due notice to the parties in interest.~~
- ~~(3) City Council shall decide within 30 calendar days from the date of the hearing unless such time is extended with the approval of the appealing party.~~
- ~~(4) In reviewing a decision of the TPB, the City Council may remand the matter to the TPB for further action. When a decision is made by the City Council on appeal to approve a plan, said approval shall constitute final plan approval for purposes of this article.~~
- ~~(5) Decisions shall be made based on the record presented to the TPB and the substantial evidence standard shall apply.~~
- ~~(6) All decisions of the City Council regarding appeals of decisions of the TPB shall be final and shall in all instances be subject to judicial review in the manner prescribed by law.~~

Sec. 103-6. Historic Preservation Commission (HPC).

- (a) *HPC powers.* The Historic Preservation Commission (HPC) is hereby established and created, and is authorized to:
- (1) Prepare and maintain an inventory of all property within the city of Norcross having the potential for designation as historic property;
 - (2) Recommend to the City Council specific districts, sites, buildings, structures, or objects to be designated by ordinance as historic properties or historic districts;
 - (3) Review application for certificates of appropriateness, and grant or deny same in accordance with the provisions of this UDO;
 - (4) Recommend to the City Council that the designation of any district, site, building, structure or object as a historic property or as a historic district be revoked or removed;
 - (5) Restore or preserve any historic properties acquired by the city;
 - (6) Promote the use of facade easements and conservation easements, as appropriate, in accordance with the provisions of the Georgia Uniform Conservation Easement Act (O.C.G.A., § 44-10-1 et seq.)
 - (7) Conduct educational programs on historic properties located within the city and on general historic preservation activities;
 - (8) Make such investigation and studies of matters relating to historic preservation, including consultation with historic preservation experts, the City Council or the HPC itself may, from time to time, deem necessary or appropriate for the purposes of preserving historic resources;
 - (9) Seek out local, state, federal or private funds for historic preservation and seek pre-approval from City Council for any grant request and make recommendations on the findings to the City Council concerning the most appropriate uses of any funds acquired;
 - (10) Consult with historic preservation experts in the Division of Historic Preservation of the Department of Natural Resources or its successor and the Georgia Trust for Historic Preservation, Inc.;
 - (11) Submit to the Historic Preservation Division of the Department of Natural Resources (or its successor) a list of historic properties of historic districts designated;
 - (12) Perform historic preservation activities as the official agency of the city historic preservation program;
 - (13) Employ persons, if necessary, to carry out the responsibilities of the HPC;
 - (14) Receive donations, grants, funds, or gifts of historic property and acquire and sell historic properties. The HPC shall not obligate the city without prior consent;
 - (15) Review and make comments to the Historic Preservation Division of the Department of Natural Resources concerning the nomination of properties within its jurisdiction to the National Register of Historic Places; and
 - (16) Participate in private, state and federal historic preservation programs and with the consent of the City Council, enter into agreements to do the same.
- (b) *HPC Membership and terms.*
- (1) The HPC shall consist of five members appointed by the City Council. All members shall be residents of the city, or the owner of a property in the historic district, and a majority of the members shall be persons who have demonstrated special interest, experience or education in history, architecture or the preservation of historic resources.

-
- (2) To the extent available in the city, at least three members shall be appointed from among professionals in the disciplines of architecture, history, architectural history, planning, archaeology or related professions.
 - (3) Members shall serve three-year terms.
- (c) *HPC rules and standards.*
- (1) The HPC shall adopt rules and standards for the transaction of its business and for consideration of application for designation of certificates of appropriateness, such as by-laws, removal of membership provision, and design guidelines and criteria. The HPC shall have the flexibility to adopt rules and standards without amendment to this chapter.
 - (2) The HPC shall provide for the time and place of regular meetings and a method for the calling of special meetings.
 - (3) The HPC shall select such officers as it deems appropriate from among its members.
 - (4) A quorum shall consist of a majority of the members.
 - (5) The HPC shall be subject to all conflict of interest laws set forth in the state statutes and in the City Charter.
 - (6) The HPC shall have the authority to accept donations and to augment existing commission budgets.
 - (7) A public record shall be kept of the HPC proceedings and actions.
- (d) *Appeals of HPC decisions.* Appeals of decisions of the HPC shall be taken pursuant to O.C.G.A. § 36-66-5.1(a)(2), to the City Council in the following manner:
- ~~(1) Any person, jointly or severally, aggrieved or adversely affected by any decision of the HPC may, within 30 calendar days of the decision, or, in the case of a failure of the HPC to act, within 15 days of the expiration of the 45-day period allowed for the HPC action, request in writing an appeal to the City Council.~~
 - ~~(2) The city shall fix a reasonable time for the hearing of the appeal by the City Council and give at least 15 calendar days public notice thereof and due notice to the parties in interest.~~
 - ~~(3) City Council shall decide within 30 calendar days from the date of the hearing unless such time is extended with the approval of the appealing party.~~
 - ~~(4) City Council may approve, modify and approve, or reject the determination made by the HPC, if the City Council finds that the HPC abused its discretion in reaching its decision.~~
 - ~~(5) In reviewing a decision of the HPC, the City Council may remand the matter to the HPC for further action. When a decision is made by the City Council on appeal to approve a plan, said approval shall constitute final plan approval for purposes of this article.~~
 - ~~(6) Decisions shall be made based on the record presented to the HPC and the substantial evidence standard shall apply.~~
 - ~~(7) All decisions of the City Council regarding appeals of decisions of the HPC shall be final and shall in all instances be subject to judicial review in the manner prescribed by law.~~



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

AGENDA REPORT

To: Mayor and Council

From: David Versel, Economic Development Director

Meeting Date: February 16, 2026 – Policy Work Session (PWS)

Item No.: 2026-64

Title: Downtown Parking Policies and Related Amendments to the Unified Development Ordinance

CC: Eric Johnson, City Manager

Recommendation

Approve recommended policies and direct the Community Development staff to prepare for consideration amendments to the Unified Development Ordinance (UDO) to better facilitate economic and business development by eliminating minimum parking requirements for commercial uses in Historic Downtown Norcross.

Background

At the September 2, 2025, Regular Council Meeting Council approved a motion to accept the findings of the 2025 Downtown Norcross Parking Study. The Study presented multiple policy recommendations related to the regulation of parking, minimum parking standards for new development, and a potential in-lieu fee program to support the financing of future parking operations and improvements.

Since the acceptance of the study findings, Staff has begun to take steps to address some of the issues raised in the study. In October 2025, Staff prepared a map of preferred parking areas for employees of downtown businesses and presented it to the Historic Norcross Business Association (HNBA) – this action supported the study’s recommendation to ensure that employees did not park in “prime” spaces in the core of downtown. Staff also conducted a thorough review of current policies and regulations in the UDO. Through this review, Staff concluded that the current UDO standards for minimum parking are likely to create significant obstacles for multiple planned commercial developments in downtown Norcross.

While the existing UDO language does grant a 35 percent reduction in minimum parking requirements in the downtown area (25 percent for public parking facilities and 10 percent for proximity to bus transit), it does not permit private property or business owners to count public parking spaces towards their remaining parking requirements. As such, any new building, addition, or change of use within an existing structure would be required to provide significant amounts of off-

street parking spaces that likely cannot be accommodated on-site¹. This would require a property / business owner to either request a variance or make arrangements to use privately-owned parking in other locations. Neither option is conducive to supporting the City's longstanding goal of encouraging investment and development in downtown Norcross.

Concurrently, the City has been moving forward with a plan to add 63 more public parking spaces adjacent to City Hall. This follows the recent investment in 48 new public spaces along South Peachtree Street at the south end of downtown. The City is also actively exploring additional opportunities for future expansions of the public parking supply in the downtown area.

Knowing that several downtown development projects are likely to move forward soon, Staff encourages Mayor & Council to review downtown parking policies and determine if changes to the UDO are required. As a note, these options are only intended to apply to developments within the bounds of the existing Downtown Dining District.

Staff presented the following three alternative policy options to Mayor & Council at the January 20, 2026, Policy Work Session.

- Option 1: Maintain existing requirements
- Option 2: Only require parking for additional square footage
- Option 3: Eliminate off-street parking requirements in downtown

Update

Based on discussion at the January 20, 2026, Policy Work Session, the consensus among Mayor & Council was that Option 3 was the preferred approach, but that further consideration should be given to three additional issues. Each issue is considered below.

1. How should downtown parking improvements be funded?

There are multiple options for financing the development and maintenance of public parking. The following points summarize alternative approaches that may be applicable.

- **Paid Parking:** The most common method used by municipalities to raise revenue to fund downtown parking is to directly charge those using the parking spaces via parking meters or a mobile app. While this approach was considered in the Parking Study, Mayor & Council did not favor this approach at the January 20, 2026 meeting.
- **Parking In-Lieu Fee:** The Parking Study recommended assessing a one-time fee to businesses as part of their permitting processes. The consultant suggested a two-tiered system: 1) a fee of \$875 per space to cover maintenance costs for existing parking spaces, and 2) a fee of up to \$17,750 per space to offset the costs of building new public parking infrastructure. Mayor & Council did not favor this approach at the January 20, 2026 meeting.
- **Special Tax District:** This model assesses an ad valorem tax on properties or businesses within a specific area. In Georgia, special tax districts are typically used to fund items of public benefit such as water and sewer systems, hospitals, and parks. Per the City Attorney, state law mandates that all properties in a special tax district be taxed at a uniform rate, so there cannot be different rates applied to restaurants, office spaces, retail shops, residences, etc. Staff is not aware of this model being used to fund parking in Georgia, but we have identified a few examples from other states:
 - Salem, Oregon, implemented a Downtown Business Parking Tax in 1975. Under this system, parking was free to motorists, with revenue generated via an annual tax assessed to downtown businesses based on contributions to parking demand. In 2025, the City implemented a pilot program with paid

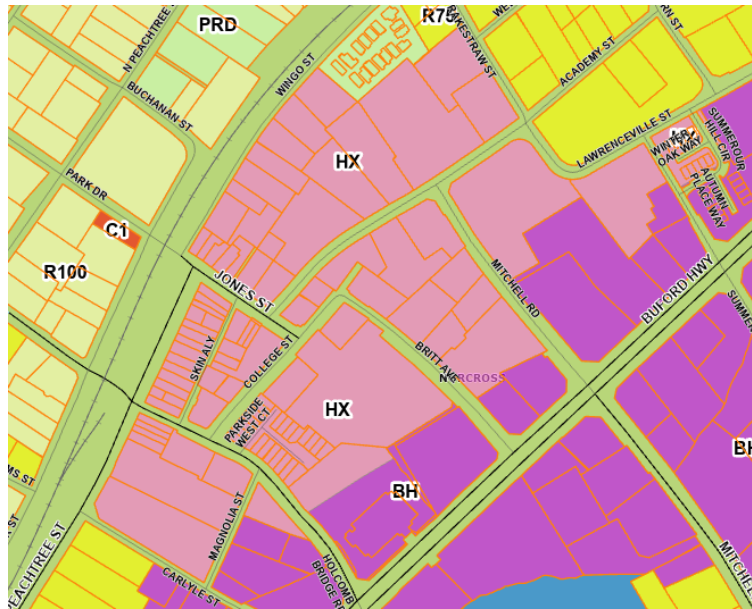
¹ As an example, existing UDO standards would require the proposed restaurant at 59 S. Peachtree Street to add 22 off-street parking spaces but none of these spaces could be accommodated on-site.

- parking via mobile app. This new program raised significantly more revenue than anticipated, and the City repealed the parking tax in January 2026.
- Oak Bluffs, Massachusetts utilizes a Parking Mitigation Trust. Under this system, businesses that cannot provide sufficient off-street parking spaces to meet code requirements can pay an annual in-lieu fee to cover the public costs of maintaining the public parking supply. The annual fee is \$100/space for up to 5 spaces, \$75/space for each additional space from 6-15, and \$50/space for each additional space in excess of 15. Using the example of a restaurant that would require 22 off-street spaces, the annual fee would be \$1,600.
 - In the Coconut Grove business district in Miami, Florida, property owners that cannot provide off-street spaces can choose to pay either a one-time fee of \$10,000/space or a monthly fee of \$50/space for the use of on-street spaces needed to satisfy minimum parking requirements. Again, using the restaurant example, the business would need to pay either an upfront fee of \$220,000 or an annual fee of \$13,200. A business would need to operate for 17 years for the recurring annual fees to exceed the upfront fee.
- **Municipal Community Improvement District (CID):** This follows the same model as the existing Gateway85 CID, in which commercial property owners vote to impose an additional ad valorem property tax to fund improvements within a geographic area. A CID is able to leverage its tax base through bonding (without the need for public referendum) and other public financing arrangements that, unlike those obligations of a public authority, would not require a guaranty or pledge from the City. The CID can directly pledge the attributable tax revenues, without any burden on the City.
 - **Direct Appropriation:** Diverging views were expressed on using direct appropriations from the General Fund to finance downtown parking. On one hand, this model may raise fairness concerns, as downtown property owners and businesses directly benefit from these investments. On the other hand, the counterargument is that downtown Norcross is an asset to the entire community and that its economic vitality sustains property values throughout the City. This is the method currently used to manage the downtown parking system. According to the Public Works Director, there are minimal direct expenditures to maintain downtown parking, as most costs are attributable to staff time, and any repaving comes out of the road resurfacing budget.

Staff Recommendation: Consideration of either a Special Tax District or Municipal CID would require significant planning and study, including direct engagement with downtown businesses and property owners to ensure their support. Staff recommends proceeding with this work over the next few months. In the meantime, Staff recommends continuing with the existing approach of using direct appropriations to expand and maintain the downtown parking supply.

2. **Where should parking minimums be eliminated?**

The initial proposal was for Downtown Dining District. This includes vacant and underdeveloped parcels outside of the historic core of downtown that could eventually be developed for higher intensity commercial uses that would generate additional parking demand. Upon consideration of this issue, Staff recommends limiting the elimination of minimum parking requirements to a smaller geographic area. The most logical boundary would be the existing HX historic mixed-use zoning district, as this area only includes the historic commercial core and surrounding parcels, and not larger parcels closer to Buford Highway or Mitchell Road. The current boundaries of the HX District are shown below.



Staff Recommendation: Amend the UDO to eliminate parking minimums in the HX historic mixed-use district. This would only apply to certain use types, as discussed below.

3. Which land use categories will still require minimum parking standards?

There was discussion at the January 20, 2026, Policy Work Session regarding the use types for which off-street parking should still be required. Presuming that the elimination of parking minimums would only apply within the HX zoning district, Staff reviewed all uses currently permitted by right or by special use permit in the HX district and how each use should be handled.

Staff Recommendation:

- Eliminate parking requirements in the HX district for the following use types:
 - Residential – accessory dwelling unit only
 - Retail sales, personal services, medical or dental offices, or professional services less than 5,000 square feet
 - Professional and business offices less than 10,000 square feet
 - Food and drink uses less than 5,000 square feet
- Maintain existing parking requirements for all other permitted use types:
 - Services: banks and financial institutions, business college or business school, day care center
 - Libraries, museums, art galleries, art centers, and similar uses
- Maintain existing parking requirements for all special permit uses and other use types not listed above:
 - Residential – townhouse
 - Residential – bed and breakfast or hotel
 - Retail sales, personal services, medical or dental offices, or professional services greater than 5,000 square feet – only applies to square footage above this amount
 - Professional and business offices greater than 10,000 square feet – only applies to square footage above this amount
 - Food and drink uses greater than 5,000 square feet – only applies to square footage above this amount
 - Services – outdoor theater or other service establishments
 - Educational, cultural, religious, philanthropic, social, or fraternal
 - Recreation, amusement, entertainment

Financial Impact
None at this time.

Consistent with Comprehensive Plan? (If applicable, please select which goal applies)

Goal 1. Continue to define Norcross' unique sense of place, where nature-based and cultural assets are conserved and enhanced

- Policy 1-2: Redevelop and enhance existing commercial and industrial areas
- Policy 1-4: Encourage mixed-use development and pedestrian-oriented design standards

Goal 2: Continue to Strengthen Norcross as a Livable, Inclusive, and Safe Environment

- Policy 2-4: Encourage walkability, interaction among businesses, clear visibility of entryways and centralized open space.

Goal 3: Increase Opportunities for Travel via Different Modes within and Outside the Community

- Policy 3-1: Promote safe and efficient transportation for pedestrians, cyclists, transit riders, and drivers.
- Policy 3-3: Coordinate transportation improvements with existing and planned developments.
- Policy 3-11: Apply smart city technologies in a practical and fiscally responsible manner, such as the adoption of smart parking in the downtown area, as new technologies and best practices emerge.

Goal 4. Maintain a Vibrant Economy and Continue to Facilitate Job Growth

- Policy 4-4: Encourage the development of downtown as a vibrant center for culture, government, dining, residential, and retail diversity.

Next Steps

Provide guidance to Staff on how to proceed. If desired, Staff will prepare proposed UDO amendments for discussion with the Planning & Zoning Board and future consideration by Mayor & Council.

Attachments

None

Update

N/A



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

AGENDA REPORT

To: Mayor and Council

From: Jon Robinson, Finance Director

Meeting Date: February 16, 2026 – Policy Work Session (PWS)

Item No.: 2026-34

Title: Appropriate \$5 Million for the Construction of the Public Safety Administration Building

CC: Eric Johnson, City Manager

Recommendation Approval to appropriate \$5,000,000.00 in available funds in the General Fund to be used as a funding source for the construction of the Public Safety Administration building.

Background In May 2025, Mayor and Council approved the transfer of the \$5,000,000 from the MEAG Municipal Competitive Trust Fund. The intent of the transfer was to position these funds to be leveraged for the Public Safety project.

Financial Impact Appropriating these funds will allow the City to apply cash toward the construction costs, reducing the amount to be financed, and lower overall borrowing/financing costs associated with this project.

Consistent with the Comprehensive Plan? (If applicable, please select which goal applies.)

Attachments

May 5, 2025 Agenda item

Budget Amendment Item 26-021626-2



Mayor: Craig Newton • **Mayor Pro Tem:** Marshall Cheek • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Bruce Gaynor • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

City of Norcross

Legislation Details (With Details)

File #:	25-7292	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	5/5/2025 6:30 PM	In Control:	Mayor and Council
Title:	MEAG Municipal Competitive Trust Transfer to Assist Funding the Public Safety Building		

Sponsors:

Code Sections:

Attachments:

1. [Agenda Report - MEAG Municipal Competitive Trust Transfer to Assist Funding the Public Safety Building](#)
2. [MCT February Statement](#)
3. [MEAG Transfer Approval Letter](#)
4. [Georgia Fund 1 Performance](#)

Title

MEAG Municipal Competitive Trust Transfer to Assist Funding the Public Safety Building

Drafter

Eric Johnson

Motion

A motion to authorize the transfer of \$5,000,000 from MEAG's Short-Term Portfolio Flexible Operating account to the City of Norcross General Fund, and apply MEAG's Intermediate Extended Maturity Portfolio Generation Trust account, comprised of approximately \$5,000,000, towards the purchase of electricity from MEAG over a 17-month period.



Mayor: Craig Newton • **Mayor Pro Tem:** Marshall Cheek • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Bruce Gaynor • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

AGENDA REPORT

To: Mayor and Council

From: Eric Johnson, City Manager

Meeting Date: May 5, 2025 – Regular Council Meeting (RCM)

Item No.: 25-7292

Title: MEAG Municipal Competitive Trust Transfer to Assist Funding the Public Safety Building and Reduce the Investment Risk Profile for the City of Norcross

Recommendation

- 1) To transfer \$5,000,000 from MEAG's Short-Term Portfolio Flexible Operating account to the City of Norcross General Fund.
- 2) To apply MEAG's Intermediate Extended Maturity Portfolio Generation Trust account, comprised of approximately \$5,000,000, towards the purchase of electricity from MEAG over a 17-month period. MEAG will internally transfer \$300,000 a month for 16 months crediting our purchased electricity bill and the remaining account balance will be credited on the 17th month. These funds will be used to reduce 17 monthly invoices from MEAG to the City of Norcross for energy purchased. This will result in a budget surplus in the Electric Fund of \$300,000 per month, replenishing the \$5,000,000 at the end of the 17-month bill crediting period.

Background

The City of Norcross has an investment fund with MEAG called the Municipal Competitive Trust (MCT). This fund was originally set up to offset market disruptions, such as deregulation of electricity sales. It was also established to invest in new generation, like Plant Vogtle's nuclear reactor.

MEAG is only approved to invest these funds in government backed treasury bonds. The City has not previously made any withdrawals from the MCT fund allowing the investments to mature over the years. As of February 28, 2025, the total fund balance was \$15,576,863.10

Financial Impact

Leveraging \$5,000,000 from the MCT fund will reduce the loan amount required for the Public Safety building while also reducing the City's financing costs. Transferring an additional \$5,000,000 to ultimately be invested in the State's Georgia Fund 1 will reduce the City's investment risk profile.

Consistent with Comprehensive Plan? (If applicable, please select which goal applies)

1. Continues to define Norcross' sense of place
2. Continues to Strengthen Norcross as a Livable, Inclusive, and Safe Environment
3. Increases Opportunities for Travel via Different Modes within and Outside the Community
4. Maintains a Vibrant Economy and Continue to Facilitate Job Growth
5. Ensures that Norcross Residents have a Variety of Attainable, Quality Housing Options
6. Furthers the City's Tradition of Strong Leadership and High Level of Quality Services

Attachments

- 1) MCT February Statement
- 2) MEAG Transfer Approval Letter
- 3) Georgia Fund 1 Performance

Municipal Competitive Trust

MONTHLY ACTIVITY STATEMENT

FROM: 02/01/2025 TO: 02/28/2025

CITY OF NORCROSS
65 LAWRENCEVILLE STREET
NORCROSS GA 30071

Intermediate Extended Maturity Portfolio

Account	Transaction	Shares	Price	Amount
85-000055-06	FLEXIBLE OPERATING ACCOUNT			
	Balance Forward - January 31, 2025	3,018.15	95.64	\$288,655.39
02/28/2025	DIVIDENDS AT 0.191	5.969	96.58	\$576.47
02/28/2025	Unrealized Gain/(Loss)	0.000	0.00	\$2,837.07
	Ending Balance - February 28, 2025	3,024.11	96.58	\$292,068.93
85-000056-06	GENERATION TRUST ACCOUNT			
	Balance Forward - January 31, 2025	52,464.28	95.64	\$5,017,684.12
02/28/2025	DIVIDENDS AT 0.191	103.755	96.58	\$10,020.68
02/28/2025	Unrealized Gain/(Loss)	0.000	0.00	\$49,316.41
	Ending Balance - February 28, 2025	52,568.04	96.58	\$5,077,021.21

Intermediate Portfolio

Account	Transaction	Shares	Price	Amount
86-000080-06	FLEXIBLE OPERATING ACCOUNT			
	Balance Forward - January 31, 2025	49,226.70	95.93	\$4,722,317.62
02/28/2025	DIVIDENDS AT 0.2075	105.894	96.46	\$10,214.54
02/28/2025	Unrealized Gain/(Loss)	0.000	0.00	\$26,090.15
	Ending Balance - February 28, 2025	49,332.60	96.46	\$4,758,622.31
86-000109-06	GENERATION TRUST ACCOUNT			
	Balance Forward - January 31, 2025	2,873.45	95.93	\$275,650.44
02/28/2025	DIVIDENDS AT 0.2075	6.181	96.46	\$596.24
02/28/2025	Unrealized Gain/(Loss)	0.000	0.00	\$1,522.91
	Ending Balance - February 28, 2025	2,879.64	96.46	\$277,769.59

Short-Term Portfolio

Account	Transaction	Shares	Price	Amount
87-000088-06	FLEXIBLE OPERATING ACCOUNT			
	Balance Forward - January 31, 2025	51,434.78	100.17	\$5,152,221.61
02/28/2025	DIVIDENDS AT 0.3725	191.269	100.17	\$19,159.45
02/28/2025	Unrealized Gain/(Loss)	0.000	0.00	\$-0.03
	Ending Balance - February 28, 2025	51,626.05	100.17	\$5,171,381.03

MUNICIPAL COMPETITIVE TRUST
CITY OF NORCROSS
65 LAWRENCEVILLE STREET
NORCROSS GA 30071

For Inquiries About Your Account Contact:
Phone: 1-800-773-3863
Fax: 1-252-972-1908

Municipal Competitive Trust
P.O. Box 4365
Rocky Mount, N.C. 27803-0365

March, 2025

Artricia Monfort
Manager, Treasury Operations
Municipal Electric Authority of Georgia
1470 Riveredge Parkway NW
Atlanta, GA 30328

Dear Ms. Monfort:

This letter serves as authorization to withdraw from the City of Norcross Municipal Competitive Trust as indicated below:

Intermediate Extended Maturity Portfolio Generation Trust Account

Account Number: X _____

Amount: \$5,000,000 or total account balance over the 17-month period by transferring \$300,000 a month for 16 months and the remaining account balance for the 17th month. These funds will be used to reduce 17 monthly invoices from MEAG to the City of Norcross for energy purchased. The first payment will commence April 2025, and the 17th and final payment will end this transaction August 2026.

Short-Term Portfolio Flexible Operating Account

Account Number: X _____

Amount: \$5,000,000 to be transferred to the City of Norcross account listed within 5 business days of receipt of this letter.

City Name: Norcross
Bank Name: Truist
Bank Routing Code: X _____
Account Name: X _____
Account Number: X _____

If you have any questions, please contact Jon Robinson, City of Norcross Finance Director at 678-421-2067

Sincerely,

Craig Newton
Mayor _____

(Signed by the City Designated Officer)

Attachment: MEAG Transfer Approval Letter (25-7292 : MEAG Municipal Competitive Trust Transfer to Assist Funding the Public Safety

Georgia Fund 1 Monthly Yield

(Calculated on an annualized basis, net of fees)

	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025
January	0.11	0.14	0.11	0.14	0.31	0.53	1.33	2.43	1.60	0.06	0.06	4.20	5.38	4.37
February	0.12	0.16	0.11	0.15	0.33	0.56	1.37	2.43	1.60	0.05	0.09	4.49	5.39	4.43
March	0.13	0.16	0.12	0.16	0.35	0.65	1.51	2.44	1.17	0.05	0.17	4.58	5.38	
April	0.14	0.15	0.13	0.16	0.37	0.79	1.65	2.45	0.80	0.04	0.34	4.75	5.39	
May	0.15	0.13	0.13	0.17	0.38	0.84	1.72	2.42	0.50	0.036	0.68	5.00	5.39	
June	0.15	0.12	0.13	0.17	0.40	0.94	1.86	2.41	0.25	0.035	1.08	5.12	5.40	
July	0.15	0.11	0.14	0.18	0.39	1.03	1.95	2.39	0.20	0.042	1.56	5.21	5.38	
August	0.15	0.11	0.14	0.18	0.39	1.04	1.97	2.20	0.15	0.045	2.13	5.36	5.36	
September	0.17	0.11	0.14	0.18	0.42	1.08	2.03	2.08	0.11	0.044	2.37	5.37	5.17	
October	0.18	0.13	0.15	0.18	0.42	1.09	2.18	1.89	0.10	0.05	2.87	5.38	4.84	
November	0.18	0.12	0.15	0.17	0.42	1.10	2.23	1.69	0.07	0.05	3.58	5.40	4.69	
December	0.18	0.12	0.15	0.24	0.47	1.21	2.35	1.62	0.06	0.05	3.92	5.39	4.56	

Update

Attachment: Georgia Fund 1 Performance (25-7292 : MEAG Municipal Competitive Trust Transfer to Assist Funding the Public Safety Building)

Finance Department Budget Adjustment Entry

Purpose: Appropriate \$5M in funds to the Public Safety Administration building construction			
Item Number: 26-021626-2			
Effective Date: 3/2/2026			
Description	Account Number	Increase/Debit	Decrease/Credit
Capital Funds - Buildings & Improvements	310-5.3210.541300	5,000,000	
Transfer in From General Fund	310-391113		5,000,000
Transfer to Capital Projects Fund	100-5-100.621310	5,000,000	
Claim on Cash - General Fund	100-111100		5,000,000
	Totals	10,000,000	10,000,000



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

AGENDA REPORT

To: Mayor and Council

From: William J. Diehl

Meeting Date: February 16, 2026 – Policy Work Session (PWS)

Item No.: 2026-72

Title: Phase II Property Corrective Deed and Parking Easement between City and DDA

CC: Eric Johnson, City Manager

Recommendation

Authorize the City to execute the Parking Easement and Corrective Deed between the City and the Downtown Development Authority as presented

Background

This is an agenda item to correct an ambiguous legal description in a historical deed and to document parking arrangements between City and DDA owned properties.

During the redevelopment of Lillian Webb Park, the City conveyed assemblages of City owned property to the north of Lillian Webb Park (often referred to as the Phase II Properties) to the DDA subject to various intergovernmental agreements and other instruments. That assemblage included the parking facilities connected to the City's Community Center and the Rectory, although those properties remained owned by the City. There is no current parking agreement memorialized and recorded in the land/title records. Moreover, the legal description in deeds conveyed from the City to the DDA were not based on surveyed or replated legal descriptions describing this parking area, but rather made references to the locations of existing buildings.

The City and the DDA's best interests are served by issuing a corrective deed using a more definitive legal description and by memorializing a parking easement to document the City's right to use the parking facilities adjacent to the City's buildings. The attached documents accomplish both of those goals. The City will retain its use of the parking lot to the north of the Community Center in its current condition. The City also retains its right to review and approve any sale of Phase II properties between the DDA and a potential buyer.



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

Financial Impact

None

Consistent with Comprehensive Plan? (If applicable, please select which goal applies)

1. Continues to define Norcross' sense of place
2. Continues to Strengthen Norcross as a Livable, Inclusive, and Safe Environment

Attachments

1. Corrective Deed (Mitchell Road)
2. Prior Deed
3. Parking Easement

AFTER RECORDING, RETURN TO:

Brian T. Easley
MAHAFFEY PICKENS TUCKER, LLP
1550 North Brown Road, Suite 125
Lawrenceville, Georgia 30043
File # 3852.0010
Gwinnett County Parcel Nos # R6254 200, R6254 199, R6243 001, R6243 001A, R6243 176, and R6243
174

NOTE TO CLERK:

**Please cross-reference to
Deed Book 56614, Page 585,
Gwinnett County, Georgia records.**

CORRECTIVE QUITCLAIM DEED

STATE OF GEORGIA
COUNTY OF GWINNETT

THIS INDENTURE, Made the ___ day of January, 2026, between

**CITY OF NORCROSS, GEORGIA, a municipal corporation duly chartered by the
State of Georgia**

as party or parties of the first part, hereinafter called Grantor, and

**DOWNTOWN DEVELOPMENT AUTHORITY OF THE CITY OF
NORCROSS, a public body corporate and politic created pursuant to O.C.G.A § 36-
42-1 et. seq., as activated by the City of Norcross**

as parties of the second part, hereinafter called Grantee.

WITNESSETH that: Grantor for and in consideration of the sum of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATIONS (\$10.00) in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee,

All that tract or parcel of land lying and being in Land Lots 242, 243, 254, and 255, 6th District, City of Norcross, Gwinnett County, as more particularly described in Exhibit "A" attached hereto and incorporated herein by reference, together with any and all improvements, fixtures, and appurtenances located thereon.

TO HAVE AND TO HOLD the said tract or parcel of land, unto the said party of the second part, his heirs and assigns, so that neither the said party of the first part nor its successors, nor any other person claiming under it shall at any time, claim or demand any right, title or interest to the aforesaid described premises or its appurtenances.

THE PURPOSE OF THIS CORRECTIVE QUIT CLAIM DEED is to correct that certain deed which is recorded at Deed Book 56614, Page 585, in the Gwinnett County, Georgia Records which contained defective legal descriptions. Exhibit "A" below provides a corrected legal description for a portion of land that was intended to be conveyed by Grantor to Grantee.

[SIGNATURES CONTAINED ON FOLLOWING PAGE]

IN WITNESS WHEREOF, the Grantor, has caused this Corrective Quit Claim Deed to be executed and delivered by its duly authorized officers, the day and year first above written.

Signed, sealed and delivered
in the presence of:

GRANTOR:

CITY OF NORCROSS, GEORGIA, a
municipal corporation duly chartered by
the State of Georgia

Unofficial Witness

By: _____

Name:

Title:

Notary Public

Attest: _____

Name:

Title:

[NOTARY SEAL]

EXHIBIT A

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOTS 242, 243, 254, AND 255 OF THE 6TH DISTRICT OF FULTON COUNTY, GEORGIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND ANGLE IRON AT THE COMMON CORNER OF LAND LOTS 242, 243, 254, AND 255 SAID DISTRICT AND COUNTY;

THENCE S29°49'03"E A DISTANCE OF 51.79 FEET TO A FOUND 1" OPEN-TOP PIPE;

THENCE N43°15'27"E A DISTANCE OF 61.70 FEET TO A PLACED 1/2" REBAR ON THE SOUTHERLY R/W OF MITCHELL STREET (VARIABLE R/W) THE POINT OF BEGINNING:

THENCE FOLLOWING SAID SOUTHERLY R/W OF MITCHELL STREET ALONG A NON-TANGENTIAL CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 56.23 FEET, WITH A RADIUS OF 1,675.00 FEET, BEING SUBTENDED BY A CHORD BEARING OF S35°09'45"E, WITH A CHORD LENGTH OF 56.23 FEET, TO A CALCULATED POINT;

THENCE ALONG A COMPOUND CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 71.47 FEET, WITH A RADIUS OF 3,849.63 FEET, BEING SUBTENDED BY A CHORD BEARING OF S36°39'22"E, WITH A CHORD LENGTH OF 71.47 FEET, TO A CALCULATED POINT;

THENCE S37°31'43"E A DISTANCE OF 45.78 FEET TO A FOUND 1/2" REBAR AND CAP BEARING THE TEXT "LSF 1160 LECRAW";

THENCE S52°07'54"W A DISTANCE OF 5.00 FEET TO A CALCULATED POINT;

THENCE S37°48'12"E A DISTANCE OF 55.76 FEET TO A FOUND 1/2" REBAR;

THENCE DEPARTING SAID SOUTHERLY R/W OF MITCHELL STREET S44°32'07"W A DISTANCE OF 173.69 FEET TO A CALCULATED POINT;

THENCE S44°32'25"W A DISTANCE OF 15.22 FEET TO A CALCULATED POINT ON THE CENTERLINE OF A CONCRETE RETAINING WALL;

THENCE ALONG SAID CENTERLINE OF CONCRETE RETAINING WALL S35°37'04"E A DISTANCE OF 13.75 FEET TO A CALCULATED POINT;

THENCE S44°44'27"W A DISTANCE OF 55.19 FEET TO A CALCULATED POINT;

THENCE N60°50'57"W A DISTANCE OF 13.85 FEET TO A CALCULATED POINT;

THENCE DEPARTING THE CENTERLINE OF SAID CONCRETE RETAINING WALL S44°32'25"W A DISTANCE OF 70.77 FEET TO A CALCULATED POINT ON THE NORTHERLY R/W OF BRITT ROAD (VARIABLE 40' R/W);

THENCE FOLLOWING SAID NORTHERLY R/W OF BRITT ROAD N46°44'47"W A DISTANCE OF 83.73 FEET TO A FOUND 1" OPEN-TOP PIPE;

THENCE N47°58'35"W A DISTANCE OF 57.80 FEET TO A CALCULATED POINT;

THENCE N47°58'35"W A DISTANCE OF 40.93 FEET TO A CALCULATED POINT;

THENCE ALONG A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 25.03 FEET, WITH A RADIUS OF 200.00 FEET, BEING SUBTENDED BY A CHORD BEARING OF N51°33'38"W, WITH A CHORD LENGTH OF 25.01 FEET, TO A CALCULATED POINT;

THENCE N55°08'42"W A DISTANCE OF 14.03 FEET TO A FOUND 1/2" REBAR;

THENCE DEPARTING SAID NORTHERLY R/W OF BRITT ROAD N44°10'22"E A DISTANCE OF 106.27 FEET TO A CALCULATED POINT;

THENCE N56°07'08"W A DISTANCE OF 142.39 FEET TO A CALCULATED POINT IN AN ASPHALT PARKING LOT;

THENCE N49°11'18"E ALONG A LINE LOCATED PARALLEL TO AND 5.00 FEET EASTERLY OF AN EXISTING 1-STORY FRAME BUILDING WITH ATTIC A DISTANCE OF 73.66 FEET TO A CALCULATED POINT IN AN ASPHALT PARKING LOT;

THENCE N40°48'42"W ALONG A LINE LOCATED PARALLEL TO AND 5.00 FEET NORTHERLY OF AN EXISTING 1-STORY FRAME BUILDING WITH ATTIC A DISTANCE OF 133.89 FEET TO A CALCULATED POINT ON THE EASTERLY R/W OF LAWRENCEVILLE ROAD (VARIABLE R/W);

THENCE ALONG SAID EASTERLY R/W OF LAWRENCEVILLE ROAD N58°51'45"E A DISTANCE OF 122.51 FEET TO A CALCULATED POINT;

THENCE N58°51'45"E A DISTANCE OF 115.72 FEET TO A CALCULATED POINT AT THE MITERED INTERSECTION OF THE EASTERLY R/W OF LAWRENCEVILLE STREET WITH THE SOUTHERLY R/W OF MITCHELL ROAD;

THENCE ALONG SAID MITERED R/W S76°30'55"E A DISTANCE OF 28.25 FEET TO A FOUND 1/2" REBAR;

THENCE ALONG THE SOUTHERLY R/W OF SAID MITCHELL ROAD S31°27'38"E A DISTANCE OF 58.14 FEET TO A CALCULATED POINT;

THENCE N58°32'25"E A DISTANCE OF 5.00 FEET TO A CALCULATED POINT;

THENCE S31°27'38"E A DISTANCE OF 45.66 FEET TO A CALCULATED POINT;

THENCE S32°49'50"E A DISTANCE OF 80.10 FEET TO A PLACED 1/2" REBAR ON THE SOUTHERLY R/W OF MITCHELL ROAD, WHICH IS THE POINT OF BEGINNING.

SAID LAND HAVING AN AREA OF 141,733 SQUARE FEET, OR 3.254 ACRES, MORE OR LESS, as reflected on that certain Lot Combination Plat prepared by Kenyon L. Miller, P.L.S, dated November 20, 2025, of record in Plat Book __, Page __, Gwinnett County, Georgia records.

AFTER RECORDING, RETURN TO:
Thompson, O'Brien, Kemp & Nasuti, P.C.
Attn: Real Estate Department
40 Technology Parkway South, Suite 300
Norcross, Georgia 30092

No title search performed at the
request of Grantor and Grantee

QUIT CLAIM DEED

THIS INDENTURE, made this 23rd day of May, 2019, by and between **CITY OF NORCROSS, GEORGIA**, a municipal corporation duly chartered by the State of Georgia ("GRANTOR") and **DOWNTOWN DEVELOPMENT AUTHORITY OF THE CITY OF NORCROSS**, a public body corporate and politic created pursuant to O.C.G.A. § 36-42-1 *et. seq.*, as activated by the City of Norcross, Georgia, a Georgia Municipal Corporation ("GRANTEE");

WITNESSETH:


That GRANTOR, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATION, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged by GRANTOR, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell, convey and forever QUITCLAIM unto GRANTEE, all that tract or parcel of land lying and being located in Land Lots 242, 243, 254 and 255 of the 6th District, City of Norcross, Gwinnett County, Georgia, being more particularly described in **Exhibit "A"** and visually depicted in **Exhibit "B"**, each of said Exhibits being attached hereto and by this reference made a part hereof, and all rights or interests therein, including any easement or private way rights, TOGETHER WITH all buildings and other improvements situated thereon or attached thereto and all tenements, hereditaments, improvements, appurtenances, rights, easements, licenses, benefits and rights-of-way, to the same being, belonging, or in anywise appertaining (the "Property").

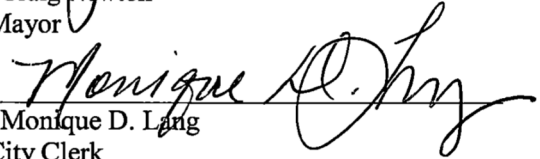
TO HAVE AND TO HOLD the Property unto GRANTEE, so that neither GRANTOR nor any person or persons claiming by, through or under GRANTOR shall at any time, by any means or ways, have, claim or demand any right or title to the Property.

IN WITNESS WHEREOF, GRANTOR has caused this Quit Claim Deed to be executed and delivered by its duly authorized officers as of the date first written above.

GRANTOR:

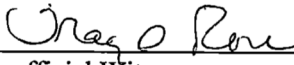
CITY OF NORCROSS, GEORGIA, a municipal corporation duly chartered by the State of Georgia

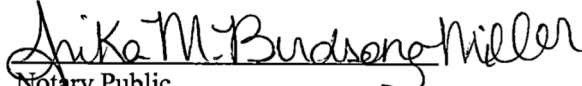
By: 
Name: Craig Newton
Title: Mayor

Attest: 
Name: Monique D. Lang
Title: City Clerk



Signed, sealed and delivered in the presence of:


Unofficial Witness


Notary Public

My commission expires:

(NOTARY SEAL)



EXHIBIT "A"

LEGAL DESCRIPTION

Parcels 10 through 15 with the tax identification numbers and estimated acreage identified below, according to the present system of numbering property in the City of Norcross, Gwinnett County, Georgia. On information and belief said Parcels 10 through 15 are as illustrated and more particularly described on the following pages:

Tax ID numbers and approximate acreage of each lot:

10. Tax Id# 6254 200 (crafted parcel), 0.92 acres
11. Tax Id# 6254 199, 0.56 acres
12. Tax Id# 6243 001, 0.61 acres
13. Tax Id# 6243 001A, 0.43 acres
14. Tax Id# 6243 176, 0.33 acres
15. Tax Id# 6243 174, 0.38 acres

Parcels 10 and 11:

As to Parcel 10: Only that portion of Parcel 10 as is consistent with the image of Tax Parcel R6254 200 as shown on Exhibit "B" attached hereto and incorporated herein by this reference, which portion of said tax parcel comprises approximately .92 acres of land, more or less, but which **does not and shall not** include (a) any part of the building currently existing thereon (herein the "Current Building"), or (b) the required minimum set-backs so that the Current Building will be compliant with zoning regulations as are currently existing and applicable to the City of Norcross, Georgia, the Current Building and the remainder of the lands on which the Current Building is situated.

TRACT 1:

All that tract or parcel of land, lying and being in Land Lots 242, 254, and 255 of the 6th District of Gwinnett County, Georgia, in the City of Norcross, and being more particularly described as follows:

Beginning at a point formed by the intersection of the southwestern side of Mitchell Road and the southeastern side of Lawrenceville Street; and from said point of beginning; run thence in a southwesterly direction along the southeastern side of Lawrenceville Street, a distance of 149 feet to an iron pin; thence south 35 degrees 05 minutes 27 seconds east, a distance 171.14 feet to a point; running thence north 57 degrees 34 minutes 13 seconds east, 71.91 feet along the southern line of Land Lot 254 to a point; thence in a southwestern direction a distance of 52 feet to an iron pin; thence run in a northeastern direction a distance of 71 feet to an iron pin located on the southwestern side of Mitchell Road; thence in a northwestern direction along the southwestern side of Mitchell Road, a distance of 202 feet to the point of beginning.

Less and except that portion of the above described property conveyed by Right-of-way Deed from Charles Gaa to the City of Norcross dated November 1, 1983, as recorded in Deed Book 2664, page 559, Gwinnett County, Georgia records.

Parcels 10 and 11 continued:

TRACT 2:

All that tract or parcel of land, lying and being in Land Lots 243 and 255 of the 6th District, Gwinnett County, Georgia and being more particularly described as follows:

Beginning at an angle iron located at the northernmost corner of Land Lot 243 which point is also the common corner of Land Lots 242, 243, 254, and 255 of said District and County; thence running southwesterly along the line dividing Land Lots 243 and 255 of said District 72 feet to a pipe; thence running northwesterly along the southwesterly line of property now or formerly owned by J.M. Weathers, 187.5 feet to an iron bar located on the southeasterly right-of-way line of Lawrenceville Street; thence running southwesterly along the southeasterly right-of-way line of Lawrenceville Street, and following the curvature thereof, 285.8 feet to an iron pin; thence continuing southwesterly along southeasterly right-of-way line of Lawrence Street 79.3 feet to a pipe located at the northernmost corner of property now or formerly owned by Norcross Improvement Club; thence running southeasterly along the northeasterly property line, of said Norcross Improvement Club Property, 90 feet to an "X" marked on sidewalk located on the northwesterly right-of-way line of College Street, formerly known as Church Street; thence running northeasterly along the northwesterly right-of-way line of College Street 65.55 feet to a pipe; thence continuing northeasterly along the northwesterly right-of-way line of College Street, 60.5 feet to a bolt; thence running southeasterly along the terminus of College Street 23.95 feet to a pipe; thence running southwesterly along the southeasterly right-of-way line of College Street 100 feet to a nail and cap; thence running southeasterly along northeasterly right-of-way line of College Street and Britt Avenue 15.05 feet to an iron pin; thence running southwesterly along the right-of-way line of College Street and Britt Avenue 5.55 feet to an iron pin; thence running southeasterly along the northeasterly right-of-way line of Britt Avenue, 84 feet to an "X" marked on sidewalk; thence running northeasterly along the right-of-way line of Britt Avenue, 4.2 feet to an iron pin; thence running southeasterly along the northeasterly right-of-way line of Britt Avenue 101 feet to an iron pin; thence running northeasterly along the northwesterly line of property now or formerly owned by C.R. Carter 91.4 feet to an iron pin; thence continuing northeasterly along the northwesterly line of said Carter property 104.35 feet to a pipe; thence continuing northeasterly, 114.5 feet to a pipe located on the line dividing Land Lots 242 and 243 of said District and County; thence running northwesterly along said Land Lot line, 52 feet to an angle iron located at the point of beginning. Said property being described as per plat of survey of the property of Norcross Methodist Church by Ansel Poe & Associates, Inc., dated May 9, 1968

TRACT 3:

All that tract or parcel of land, lying and being in Land Lots 243 and 254 of the 6th District, Gwinnett County, Georgia and being more particularly described as follows:

TO FIND THE POINT OF BEGINNING, begin at an angle iron on the corner common to Land Lots 254, 255, 243 and 242 of said District, running thence south 57 degrees 34 minutes 13 seconds west 71.91 feet along the southern line of Land Lot 254 to a pipe; run thence north 35 degrees 05 minutes 27 seconds west 171.14 feet to an iron pin on the southeastern right-of-way of Lawrenceville Street (have a 40 foot right-of-way); run thence south 58 degrees 51 minutes 00 seconds west 149.05 feet along said right-of-way to a point; run thence southwesterly along an arc following said right-of-way to a 3/4 inch pipe 214.92 feet; run thence south 55 degrees 32 minutes 19 seconds east 88.49 feet to an X in concrete sidewalk located on the northwest right-of-way line of College Street; run thence north 35 degrees 10 minutes 28 seconds east 25.52 feet to an iron pin being the Point of Beginning; run thence north 35 degrees 10 minutes 28 seconds east 40.03 feet to a pipe; run thence north 40 degrees 49 minutes 32 seconds east 60.55 feet to a bolt; run thence south 50 degrees 26 minutes 28 seconds east 23.95 feet to an iron pin; run thence south 43 degrees 19 minutes 56 seconds west 100.01 feet to a point on the right-of-way of College Street and Britt Avenue; run thence North 52 degrees 49 minutes 47 seconds west 15.05 feet to the Point of Beginning, said property being more particularly shown as Tract No. 1 having 0.048 acres on plat by survey of Lloyd C. McNally, Jr., Surveyor, dated May 30, 1984, said plat being made a part hereof by reference.

?



Parcels 12 and 13:

All that tract or parcel of land lying and being in the sixth (6th) Land District of Gwinnett County, Georgia, and in the City of Norcross and described as follows: BEGINNING on Britt Street at the corner of this place and the Methodist Church property and running southeast along Britt Street, eighty-six (86) feet to an iron stake; thence northeast along a line parallel to the Methodist Church property line two hundred (200) feet to a corner; thence northwest along the line of this property and the property formerly owned by W.P. Walker eight-six (86) feet to a corner; thence southwest two hundred (200) feet to the beginning point. Said property being the B.F. Mitcham home lot and bounded as follows: On the South by Britt Street; on the East by lot formerly owned by Paul Mitcham; on the North by lands formerly owned by W. P. Walker and on the West by land of or formerly owned by W.P. Walker and the Methodist Church. Being improved property having located thereon one frame dwelling.

ALSO, all that tract or parcel of land lying and being in the Sixth Land District of Gwinnett County, Georgia, and in the City of Norcross, and described as follows: BEGINNING on Britt Street at the corner of this tract and land of J. Harold Mitcham, formerly B.F. Mitcham and running East along Britt Street sixty (60) feet to Frank Robertson's corner; thence northeast along Frank Robertson's property line two hundred (200) feet to the corner of Paul Burns property; formerly Homer Christian property; thence West along the Paul Burns line sixty (60) feet to J. Harold Mitcham's corner; thence southwest along the said J. Harold Mitcham line two (200) hundred feet to beginning point.

The combined tracts of land being the same tract or parcel of land as deeded from W.J. Norris to B.F. Mitcham, by deed dated November 1st, 1919 and recorded in the Clerk's Office of Gwinnett Superior Court in Deed Book 35, Page 93, on November 18, 1919.

This aforementioned land being the same as conveyed per Deed of Assent dated July 24, 1990, from Theresa Kirby Carter, as Executrix under the Last Will and Testament of Claude Russell Carter, deceased to Theresa Kirby Carter, recorded in Deed Book 6124, Page 341, Gwinnett County, Georgia Records.

TOGETHER WITH:

All that tract or parcel of land lying and being in the City of Norcross, Georgia, more particularly described as follows:

BEGINNING at the northeast corner of property owned by C.R. Carter, said corner being North 39 degrees 40 minutes east and 195.2 feet from and iron pin corner on the line between C.R. Carter and Frank Robertson property on the northeast side of Britt Street; thence running North 48 degrees 56 minutes West, 133.5 feet to a corner; thence running North 45 degrees 07 minutes East 185.5 feet to an iron pin in the western side of Mitchell Road; thence running southeasterly, along the west side of Mitchell Road a distance of 115 feet, more or less, to a corner; thence running South 39 degrees 40 minutes West 165 feet, more or less, to the point of beginning.

Parcel 14:

All that tract or parcel of land lying and being in Land Lots 242 and 243 of the 6th District, Gwinnett County, Georgia, and being more particularly described as follows:

To find the true point of beginning, commence at a ½ inch rebar set on the Southwesterly right of way line of Mitchell Street (60 foot right of way) which point is 400.05 feet Northwesterly as measured along the Southwesterly right of way line of Mitchell Street from the intersection of said right of way with the Northwesterly right of way line of Buford Highway (100 foot right of way) and run thence South 42 degrees 59 minutes 30 seconds West 173.98 feet to the TRUE POINT OF BEGINNING; from the true point of beginning thus established, running thence South 42 degrees 59 minutes 30 seconds West 15.22 feet to a point; running thence South 37 degrees 09 minutes 59 seconds East 13.75 feet to a point; running thence South 43 degrees 11 minutes 32 seconds West 55.19 feet to a point; running thence North 62 degrees 23 minutes 52 seconds West 13.85 feet to a point running thence South 42 degrees 59 minutes 30 seconds West 70.77 feet to an iron pin set on the Northeasterly right of way of Britt Street (40 foot right of way); running thence North 48 degrees 17 minutes 42 seconds West along the Northeasterly right of way of Britt Street 83.73 feet to a ½ inch pipe found; running thence North 40 degrees 15 minutes 54 seconds East 165.16 feet to a point; running thence South 37 degrees 09 minutes 59 seconds East 92.93 feet to the true point of beginning, being a tract of 0.366 acres designated as Tract 1 on Survey of Property in the City of Norcross by Benchmark Engineering Corporation, dated May 2, 1988, and revised January 4, 1993.

TOGETHER WITH, a perpetual, non-exclusive 10 foot wide sanitary sewer easement over and across the remaining property of Grantors designated as Tract 2 on the above-reference survey for the purpose of installing, servicing, maintaining, and using a sanitary sewer line to connect to the county sanitary sewer line in said Tract 2. Said survey by Benchmark Engineering Corporation being incorporated herein and made a part hereof by reference to more particularly locate said sanitary sewer easement.

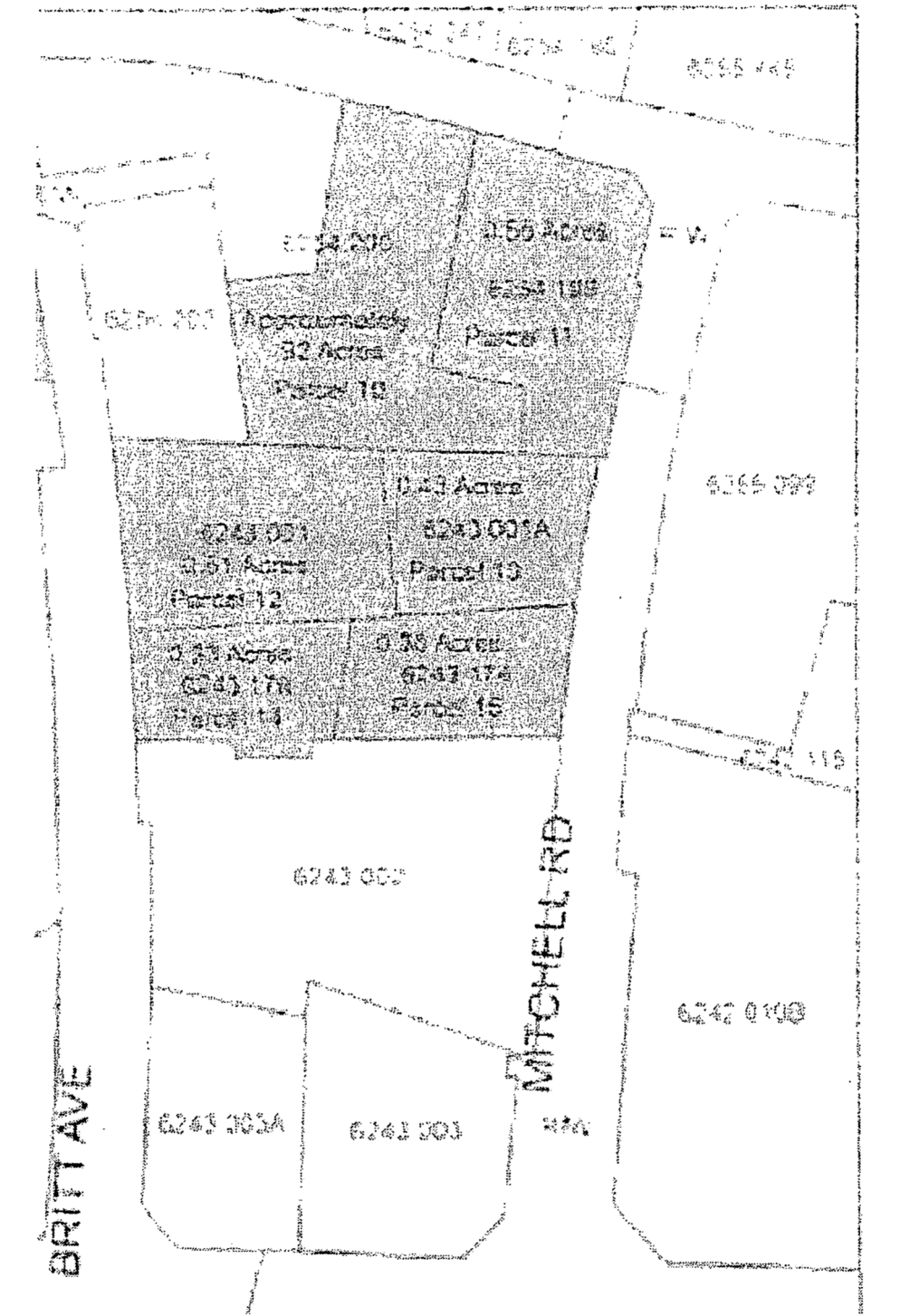
Parcel 15:

ALL THAT TRACT OR PARCEL of land lying and being in Land Lots 242 and 243 of the 6th District, Gwinnett County, Georgia containing .376 acres and being designated as

Tax Parcel No. 6-243-174 according to a Boundary Survey for The City of Norcross, prepared by Q-B Engineering, Inc., by Gilbert E. Quinones (Georgia Registered Land Surveyor No. 2810), dated December 12, 2003, and being more particularly described as follows:

BEGINNING at a point marked by an iron pin set, said point being located on the southwesterly right-of-way line of Mitchell Street (60' R/W), said point being located 400.05 feet along aforesaid right-of-way line in a generally northwesterly direction from its intersection with Buford Highway (100' R/W), leaving the aforesaid right-of-way line, run thence South 42 degrees 59 minutes 30 seconds West a distance of 173.98 feet to a point marked by an iron pin set; run thence North 37 degrees 09 minutes 58 seconds West a distance of 92.93 feet to a point marked by an iron pin found; run thence North 40 degrees 15 minutes 54 seconds East a distance of 170.60 feet to a point marked by an iron pin set, said point being located on the aforesaid right-of-way line of Mitchell Street (60' R/W); run thence along the aforesaid right-of-way line the arc of a curve a distance of 100.45 feet to a point marked by an iron pin set, said point being the point of BEGINNING, said arc having a radius of 2,704.03 feet and being subtended by a chord bearing and distance of South 39 degrees 59 minutes 01 seconds East 100.44 feet.

EXHIBIT "B"



PARKING EASEMENT AGREEMENT

THIS PARKING EASEMENT AGREEMENT (the “**PEA**”) is made as of this _____ day of _____, 2026 by the Downtown Development Authority of Norcross (the “**DDA**”) and the City of Norcross, Georgia a Georgia municipal corporation (the “**City**”) (collectively, the “**Parties**”).

RECITALS

WHEREAS, DDA owns and controls the real property recently consolidated by a consolidation plat, which is attached hereto as **EXHIBIT A** and incorporated by reference (hereinafter the “**Phase II Property**”) and which contains approximately 3.254 acres; and

WHEREAS, the City owns adjoining parcels including but not limited to the properties known as the Community Center and the Welcome Center (now or formerly tax parcel identification numbers R6254 202; R6254 609, respectively) (collectively, the “**City Properties**”); and

WHEREAS, the Parties desire to create certain easements to provide public access and parking within certain portions of the Phase II Property for the express benefit of the City Properties and for other public benefits as provided herein; and

WHEREAS the Parties desire that a 0.373 acre portion of the Phase II Property may be held during the tenure of this agreement for certain public benefits and made subject to this PEA and that such easements will be confined to the area identified as Tract 1 in the attached **EXHIBIT B** (the “**Parking Area**”).

NOW, THEREFORE, in consideration of the mutual rights and privileges granted herein, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Parties do hereby agree as follows:

ARTICLE 1 DEFINITIONS

Section 1.1 Definitions.

For purposes of this PEA, the following definitions will apply:

- (a) The phrase “Access Points” shall mean every existing point of vehicular or pedestrian access and egress shown on Exhibit B where the Parking Area adjoins the City Properties and provides vehicular or pedestrian access from the City Properties to the parking facilities on the Parking Area.
- (b) The phrase “Drive Aisles” shall mean the drive aisles and other paved areas (other than sidewalks and parking spaces) which serve the Parking Area.
- (c) The term “Owner” shall mean each and every person, firm, entity, political subdivision, authority, or corporation owning any portion of the Parcels. The term “Owner” shall include the successors, assigns, heirs and legal representatives of an Owner.

The term “Owner” shall not mean or refer to a holder of a mortgage, deed of trust, security agreement, lien or other encumbrance on the Parcels or any portion thereof, or the holder’s successors and assigns, unless the holder has been appointed as a receiver or has acquired fee simple title pursuant to foreclosure proceedings or by deed in lieu of foreclosure.

(d) The term “Parcels” shall refer to the Phase 2 Property and the City Properties, each being a “Parcel”.

(e) The term “User” shall mean an Owner, a tenant, the general public, subtenant or occupant of an Owner, or any employee, agent, business licensee, customer, contractor or invitee of an Owner or of any such tenant, subtenant or occupant.

(f) The word “in” with respect to an easement granted “in” a particular Parcel means, as the context may require, “in”, “to”, “on”, “over”, “through”, “upon”, “across”, and “under” or any one or more of the foregoing.

(g) The phrase “Dominant Estate” shall refer to the City Properties.

(h) The phrase “Servient Estate” shall refer to Tract 1 of the Phase II Property.

(i) The term “Utilities” shall include, but not limited to, water, gas, electricity, telephone, storm and sanitary sewers, septic systems and storm water retention and drainage facilities, that provide proper service for the improvements built or to be built on the Parcels and shall also include, to the extent granted or reserved herein, the non-exclusive rights and easements to utilize any such facilities currently in existence or thereafter installed upon or serving the Parcels, including any storm water drainage and detention facilities.

(j) The grant of an easement by an Owner shall bind and burden the Parcel of such Owner, which shall, for the purpose of this PEA, be deemed to be the servient estate (provided that if only a portion of a Parcel is bound and burdened by the easement, only that portion shall be deemed to be the servient estate).

(k) The grant of an easement to an Owner shall benefit the Parcel owned by such Owner, as an appurtenance thereto, which shall, for the purpose of this PEA, be deemed to be the dominant estate (provided that if only a portion of a Parcel is so benefited, only that portion shall be deemed to be the dominant estate).

(l) Unless provided otherwise, all easements granted herein are nonexclusive in common with all Users and irrevocable, and the Owners reserve and retain the right to convey similar easements to such other parties as the Owners may deem proper so long as such easements do not burden or otherwise affect any other Owner’s Parcel or interfere with the easements granted hereunder.

All easements granted hereunder shall exist by virtue of this PEA, without necessity of confirmation by any other document. However, upon the request of an Owner, the other Owner (or Owners) will sign and acknowledge a document memorializing the existence or specific as-

built location of any easement, provided the form and substance of the document is reasonably acceptable to said Owner.

ARTICLE 2 EASEMENTS

Section 2.1 Easements for Vehicular and Pedestrian Access.

- (a) Grant of Easements for Vehicular and Pedestrian Access. The DDA hereby gives, grants and conveys to the City for the benefit of the Dominant Estate and for the public the non-exclusive, right, privilege, and easement in common with all other Users, of pedestrian and vehicular ingress, egress, and regress, in and over the Access Points, Drive Aisles, and parking spaces located upon the Parking Area. The easement shall inure to the City's successors, assigns and successors in title, for their and their Users' general use, convenience, and benefit,
- (b) Maintenance. The City shall, at its sole expense, operate, insure, maintain, clean and repair the Parking Area and keep the same in good condition and repair (replacing all improvements located thereon as necessary) and in a safe, clean and sanitary condition, free and clear of rubbish, debris, or other hazards, and free and clear of snow and ice.
- (c) Obstructions. No fence, structure, or other permanent obstruction of any kind shall be placed, kept, permitted, or maintained on any portion of the Access Points or Drive Aisles.
- (d) Insurance. The City shall maintain or cause to be maintained public liability insurance insuring against claims on account of loss of life, bodily injury or property damage that may arise from, or be occasioned by the condition, use or occupancy of the City Properties and the Phase II Property. Said insurance shall have limits for loss of life or bodily injury in the amounts of not less than \$2,000,000 for each person and \$2,000,000 for each occurrence and shall name the DDA as an additional insured.
- (e) No Encumbrance of Tract 2. Notwithstanding anything to the contrary, no part of this PEA shall be interpreted or deemed to restrict or encumber, in any way, any portion of Tract 2 as depicted in Exhibit B.

Section 2.2 Reservation of DDA's Right to Develop Utilities.

Notwithstanding this Agreement, it is understood by the parties that the DDA does hereby reserve from the City and its respective successors, assigns and successors in title, non-exclusive rights and access to install, connect, tap in, maintain, relocate, repair and replace any Utilities to serve all or any portion of the Phase II Property or any subsequent development thereto, including without limitation, in, across, over and upon Tract 1 of the Phase II Property. To the extent necessary, the Parties agree to record a separate utility easement showing the as-built Utilities on site after engineering is complete, which shall include any non-exclusive rights and easements to utilize any such facilities currently in existence upon or serving the Parking Area, including any storm water facilities.

TERM

Section 2.3 Term.

The provisions of this PEA shall become effective on the date this PEA is recorded in the Office of the Register of Deeds for Gwinnett County, Georgia, and shall remain in effect for a period of fifty (50) years thereafter unless and until modified in accordance with the terms hereof.

It is expressly recognized by the Parties that during the term of this PEA the Parking Area may be marketed for sale by the DDA as a part of a redevelopment opportunity for the entire Phase II Property. In the event of such sale (which shall be subject to approval by the City's City Council as provided for in intergovernmental agreements between the parties), this Agreement may be terminated, amended, or otherwise modified as mutually agreed to by the Parties. It is the current intention of the parties that such an amendment or modification would provide adequate parking facilities within a reasonable distance of the City Properties and of a similar quantity as currently exists on the Parking Area.

ARTICLE 3 RESTRICTIONS

Section 3.1 Use Restrictions. The DDA and City shall not use or allow the Parking Area to be used for any use other than for parking and ancillary uses related to the City Property's primary use.

ARTICLE 4 [Reserved]

ARTICLE 5 MISCELLANEOUS

Section 5.1 Notices.

Any notice, demand, consent, refusal, approval, statement, or other communication by and between Owners which may be given, served, made, or obtained under this PEA shall be served in person, delivered by a nationally recognized overnight delivery service such as FedEx or mailed by United States registered or certified mail, postage prepaid, to any Owner, and shall be deemed to have been given when actually received (or if receipt is refused, when physically tendered for receipt). Notices shall be addressed to the Owner of any Parcel at the addresses set forth in any conveyance document of record evidencing the conveyance of said Parcel to an Owner. An Owner may, however, at any time change its address for the above purposes by giving written notice stating the change and setting forth the new address. Any Owner may also request that notice be

given to its mortgagee, by giving the other Owners notice of such mortgage and an address to which notice is to be sent.

Section 5.2 Amendment.

This PEA may be amended only by the Parties; provided, however, that any such amendment shall be in writing, signed, and acknowledged by the Parties or their successors and assigns and recorded in the Real Estate Records of Gwinnett County, Georgia.

Section 5.3 Captions.

The captions of this PEA are intended only as a matter of convenience and for reference. They do not define, limit, or describe the scope of intent of this PEA, and they shall not affect the interpretation hereof.

Section 5.4 Waiver of Default.

The consent or approval by a party to or of any act or request by the other party requiring consent or approval shall not be deemed to waive or render unnecessary the consent or approval to or of any subsequent similar acts or requests. The rights and remedies given to a party by this PEA shall be deemed to be cumulative, and no one such right and remedy shall be exclusive of any of the others, or any other right or remedy at law or in equity which a party might otherwise have by virtue of a default under this PEA. The exercise of a right or remedy by a party shall not impair such party's right to exercise any other right or remedy.

Section 5.5 No Partnership, Joint Venture, or Principal Agent Relationship.

Nothing in this PEA nor any acts of the parties shall be deemed by the parties, or by any third person, to create the relationship of principal and agent, or of partnership, or of joint venture, or of any association between the parties, and no provisions of this PEA are intended to create or constitute any person or third party beneficiary hereof.

Section 5.6 Successors.

This PEA shall be binding upon and inure to the benefit of the successors and assigns of the Parties.

Section 5.7 Severability.

If any provision of this PEA shall to any extent be invalid or unenforceable, the remainder of this PEA (or the application of such provision to persons or circumstances other than those in respect of which it is invalid or unenforceable) shall not be affected thereby, and each provision of this PEA shall be valid and enforceable to the fullest extent permitted by law.

Section 5.8 Governing Law.

This PEA shall be construed, interpreted and enforced in accordance with the laws of the State of Georgia.

Section 5.9 Written Consent Required.

Whenever a party is required to consent or approve of any matter with respect to which its consent or approval is required by this PEA, such consent or approval shall be given in writing and shall (except as otherwise provided in this PEA) not be unreasonably withheld, conditioned, or delayed.

Section 5.10 Covenants Run With the Land.

It is intended that the covenants, easements, agreements, promises, and duties of each party as set forth in this PEA shall be construed as covenants and not as conditions, and that to the fullest extent legally possible, all such covenants shall run with the land for a period of fifty (50) years thereafter or constitute equitable servitudes as between the Parcel of the covenantor, as the servient estate, and the Parcel of the covenantee, as the dominant estate.

Section 5.11 Counterparts.

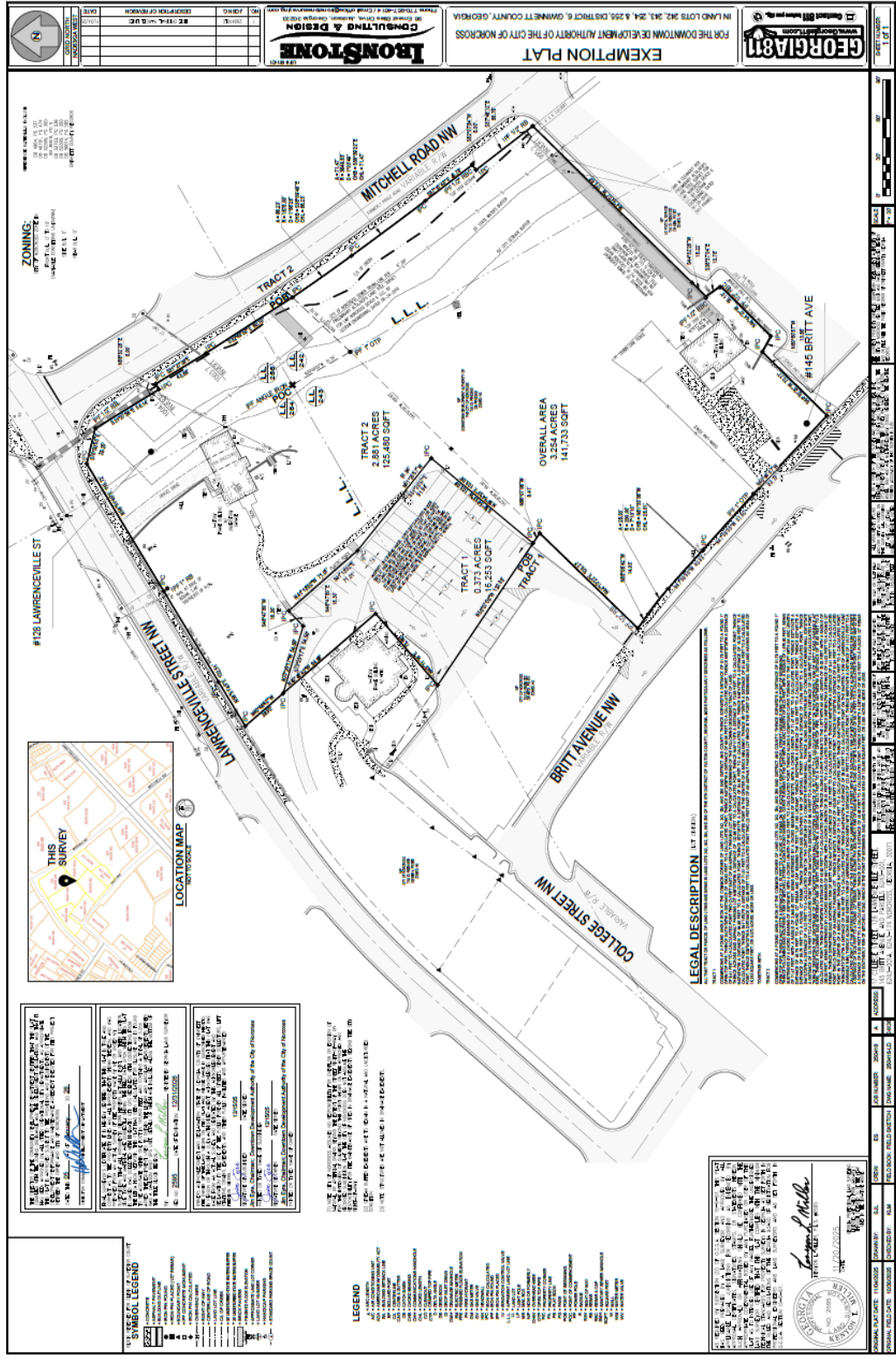
This PEA may be signed in several counterparts, each of which shall be deemed an original, and all such counterparts shall constitute one and the same instrument. Any counterpart to which is attached the signature of all parties shall constitute an original of this PEA.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

IN WITNESS WHEREOF, each party has caused its duly authorized officers to sign and seal this PEA as of the date and year first-above written.

CITY OF NORCROSS	DOWNTOWN DEVELOPMENT AUTHORITY OF THE CITY OF NORCROSS, GEORGIA
By: _____	By: _____
Its: Mayor	Its: Chairman
Witness: _____	Witness: _____
Sworn to on this ____ Day of _____, 2026.	Sworn to on this ____ Day of _____, 2026.
_____	_____
(Affix Seal)	(Affix Seal)

EXHIBIT B PARKING AREA





Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

AGENDA REPORT

To: Mayor and Council
From: Council Member Josh Bare
Meeting Date: February 16, 2026 – Policy Work Session (PWS)
Item No.: 2026-68
Title: Re-establishment of Norcross 101
CC: Eric Johnson, City Manager

Recommendation

Approve the re-establishment of the Norcross 101 or similarly named Resident Class.

Background

It has been several years since the City has offered a Norcross 101 or similar class cohort for its residents. The general premise is that Norcross 101 would be a class cohort offered by the City to residents on an application basis, one to two times each year. The class cohort teachings would be geared towards providing a deeper understanding of general municipal operations, and more specifically, as they relate to the City of Norcross, residents would apply to take part in a five to six-week-long class cohort that meets weekly for two hours. Successful applicants must commit to participating in the class for the proposed period to complete the program. Programs would be limited to 20-25 people per class cohort.

Class content will be provided by the City Manager's Office, with assistance from Department Heads, the Mayor, and the Council. Proposed class offerings could consist of an NPD ride-along, inclusive of Code Enforcement, primers of Zoning and Community Development, Economic Development, Public Works, Parks, Norcross Power, and Finance, among others in addition to something like lunch with a Council Member or lunch with the Mayor. The cohort teachings would be like Leadership Gwinnett or Glance Gwinnett offerings.

Financial Impact

Unknown currently.

Consistent with Comprehensive Plan? (If applicable, please select which goal applies)

6. Furthers the City's Tradition of Strong Leadership and High Level of Quality Services—*The city maintains an open-door government that actively strives to positively engage all citizens and community groups.*

Attachments

Update



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

AGENDA REPORT

To: Mayor and Council

From: Mayor Pro Tem Gaynor
Councilmember Myers

Meeting Date: February 16, 2026 – Policy Work Session (PWS)

Item No.: 2026-71

Title: Ethics Ordinance Revision

CC: Eric Johnson, City Manager

Recommendation

Adopt the attached model ethics ordinance and resolution to update the existing ordinance to the model ordinance published by the Georgia Municipal Association.

Background

The city adopted its Code of Ethics in 2019. That Code was adopted from the GMA model code as it existed at that time. Maintaining this code is a component of the City's status as a City of Ethics, a designation by GMA. Since adopting this Code of Ethics, GMA has revised its model ordinance. The city has not adopted this revised ordinance.

The revisions contemplated here provide greater detail on the expectations and ethical requirements for public officials and employees. The revisions continue to use an appointed attorney to investigate the complaint. These revisions deviate from the GMA model but are consistent with other jurisdictions' codes.

The attached resolution is a model resolution and, likewise, is a component of the City's designation as a City of Ethics.

Financial Impact

None.

Consistent with Comprehensive Plan? (If applicable, please select which goal applies)

1. Continues to define Norcross' sense of place
2. Furthers the City's Tradition of Strong Leadership and High Level of Quality Services

Attachments

1. Compare Redlines Ordinance
2. Ethics Ordinance
3. Ethics Resolution

Update

AN ORDINANCE TO AMEND THE CODE OF ORDINANCES, CITY OF NORCROSS GEORGIA; TO RECODIFY THE CODE OF ETHICS; TO PROVIDE FOR PENALTIES; TO PROVIDE FOR CODIFICATION; TO PROVIDE FOR SEVERABILITY; TO REPEAL CONFLICTING ORDINANCES; TO PROVIDE AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

ENACTING CLAUSE. The Mayor and City Council of the City of Norcross, Georgia, hereby ordains that the adopted Code of Ordinances is hereby amended as more particularly set forth below. It is the intention of the Mayor and City Council that ~~As used in this section,~~ the following ~~words~~provisions shall ~~have the meaning ascribed to them below (unless otherwise required by context);~~

~~Accusation means a written, legibly drawn statement, under oath, setting forth, at a minimum:~~

~~(1) — The name(s) become and position be made a part of the Code of the official against whom the accusation is made; City of Norcross, and the Sections in the Code of Ordinances be numbered accordingly to accomplish that intention.~~

~~WHEREAS, the duly elected governing authority of the City of Norcross, Georgia (the “City”) is authorized by O.C.G.A. § 36-35-3 to adopt ordinances relating to its property, affairs and local government; and~~

~~WHEREAS, the governing authority deems it essential to the proper operation of democratic government that the public officials, appointees, and staff be, and give the appearance of being, independent, impartial, and responsible to the people; that governmental decisions and policies be made in the proper channels of the governmental structure; and that public office not be used for personal gain; and~~

~~WHEREAS such measures are necessary to provide the public with confidence in the integrity of its government.~~

~~NOW THEREFORE it is the policy of the City that its officials, employees, appointees, and volunteers conducting official city business: Serve others and not themselves; Be independent, impartial and responsible; that they use resources with efficiency and economy; that they treat all people fairly; and that their exercise of power in their position be used for the well-being of their constituents; and that the City create an environment of honesty, openness and integrity.~~

~~NOW THEREFORE BE IT AND IT IS HEREBY ORDAINED: That the Code of Ordinances of the City of Norcross, Georgia is hereby amended as provided.~~

SECTION 1.

The Code of Ordinances shall be stricken, amended, and replaced as provided below by striking code sections 2-300 to 2-309 in their entirety, thereby deleting Article VIII of the Code of Ordinance and replacing Article VIII with sections to be enumerated 2-300 through 2-310, to be known as the City of Norcross Code of Ethics of 2025, which said sections shall thereafter read as follows:

~~Sec. (2) — The citation of the specific section(s)~~**2-300. PURPOSE.** The purpose of this code of ethics which the official is accused of violating; is to:

~~(3) — All of the particular facts and circumstances which constitute the alleged violation, with any and all relevant supporting documents attached. An accusation shall clearly address~~(a) Encourage high ethical standards in official conduct by city officials;

~~(b) — Establish guidelines for ethical standards of conduct for all such officials by setting forth those acts or actions that are incompatible with the interest of the city;~~

~~(c) — Require disclosure by such officials of private financial or other interest in matters within~~affecting the city; and

~~(d) — Serve as a basis for disciplining those who refuse to abide by the Code's terms.~~

~~Sec. scope~~**2-301. SCOPE.** The provisions of this code of ethics shall be applicable to all elected or appointed city officials and to the City's members of appointed committees and authorities. Notwithstanding anything herein to the contrary, state law and the charter of the city shall be controlling in the event of an actual conflict with the provisions of this code of ethics. This ordinance shall be interpreted to supplement, and not replace, said provisions of state law and the charter. This code of ethics shall not limit, abridge, amend, or modify in any way other remedies or procedural processes that may give rise from facts or circumstances implicated in any investigation or acquisition made in relationship with this code.

~~Sec. Appointed city official means~~**2-302 DEFINITIONS.** Solely for the purpose of this code of ethics:

~~(a) — City official or official, unless otherwise expressly defined does not include city employees but does mean the mayor, members of the city council, municipal court judges (including substitute judges), City Manager, City Clerk, City Treasurer, City Attorney, City Auditor,~~city manager, city clerk, city attorney, city solicitor and all other persons holding positions designated by the city Charter to

~~be appointed by the Mayor and/or members of the City Council charter, as amended. The term appointed “city official” also includes all individuals, including city employees, appointed by the Mayor and/or City Council council as appropriate to all city authorities, boards, commissions, committees, boards, task forces, or other bodies unless specifically exempted from this article by the City Council which can or may vote or take formal action or make official recommendations to the mayor and/or city council.~~

~~City official~~ **(b) Decision** means any ordinance, resolution, contract, franchise, formal action or other matter voted on by the city council or other city board or commission, as well as the discussions or deliberations of the council, board, or commission which can or may lead to a vote or formal action by that body.

~~(c) Employee~~ means any person who is either an elected city official or an appointed city official.

~~Benefit~~ means anything of monetary value that a reasonably prudent person would recognize as being likely to be intended to influence a city official or a full-time or part-time employee in the performance or non-performance of an official action of the city.

~~Confidential information~~ means information which has been obtained in the course of holding public office, employment, an independent contract or otherwise acting as a public servant, and which information is not available to members of the public under the Georgia Open Records Act or other law or regulation and which the public servant is not authorized to disclose, including:

- ~~(1) Any written information that could lawfully be excepted from disclosure pursuant to state law, unless the public servant disclosing it is authorized to do so by state law, or pursuant to some other pertinent law, policy or procedure;~~
- ~~(2) Any non-written information which, if it were written, could be excepted from disclosure under state law, unless the public servant disclosing it is authorized to do so by the state law, or pursuant to some other pertinent law, policy or procedure; and~~
- ~~(3) Information which was obtained in the course of or by means of a record or oral report of a lawful executive or closed session, whether or not the disclosure of the information would violate state law, unless the public servant disclosing it is authorized by state law to do so, or unless the public servant disclosing it has been properly authorized to disclose it pursuant to an applicable law, policy or procedure; however, when such information is also available through channels which are open to the public, this provision does not prohibit public servants from disclosing the availability of those channels.~~

~~Elected city official~~ means the Mayor and the members of the City Council of the City of Norcross.

~~Employee~~ means any full or part time employee of the City of Norcross, other than city officials as defined herein.

~~Entity means a sole proprietorship, partnership, limited partnership, firm, corporation, professional corporation, holding company, joint stock company, receivership, trust or any other entity recognized by law through which business may be conducted.~~

Family(d) Immediate family means the spouse, mother, father, grandparent, brother, sister, son or daughter of any city official ~~or employee~~ related by blood, adoption, or marriage. The relationship by marriage shall include in-laws.

~~Interest means any personal pecuniary benefit accruing to a public servant or the public servant's partner in interest, whether in the public servant's own name or the name of any person, property or business from which the public servant is entitled to receive any personal benefit, as a result of a matter which is or which is expected to become the subject of an official action by or with the city.~~

(e) Incidental interest means an interest in a person, entity or property which is not a substantial interest as defined herein and which has insignificant value.

~~Partner in interest means, when used in this article in connection with a public servant, as in the phrase "a public servant or a partner in interest," any and all of the following:~~

- ~~(1) A member of the public servant's immediate family;~~
- ~~(2) A business with which the public servant or a member of the public servant's immediate family is associated;~~
- ~~(3) Any other person with whom the public servant or a member of their immediate family is in business, or is negotiating or has an agreement concerning future employment or the future conferring of any personal benefit, whether in the public servant's own name or the name of any business or person from whom the public servant is entitled, or expects to become entitled, to receive any personal benefit, as a result of a contract or transaction which is, or which is expected to become, the subject of an official action by or with the city. The term "partner in interest" does not imply or require any form of legal partnership or formal agreement; or~~
- ~~(4) When used in the phrase "a public servant or partner in interest," the term "partner in interest" refers only to a partner in interest of the public servant to whom reference is being made, and not to any other person's partner in interest.~~

~~Public servant means a city official or a city employee as defined herein.~~

(f) Remote interest means an interest of a person, ~~property~~ or entity, including a city official ~~or employee~~, which would be affected in the same way as the general public. For example, the interest of an official in the property tax rate, general city fees, city utility charges, or a comprehensive zoning ordinance, or similar matters is deemed remote to the extent that the official would be affected in common with the general public.

~~Special master means the judge or attorney appointed pursuant to section 2-309(a) below to review accusations, with the power to conduct investigations, to take evidence and to hold hearings to address the subject matter of any accusation which such special master determines sufficiently states a claim of a violation of this article.~~

(g) **Substantial interest** means an interest, either directly or through a member of the immediate family, in another person, ~~property~~ or entity, where:

(1) ~~The the~~ interest is ~~as follows~~:

a. ~~Ownership~~ownership of five percent or more of the voting stock, shares or equity of the ~~property or entity~~; or

b. ~~Ownership~~ownership of \$5,000.00 or more of the equity or market value of the ~~property or entity~~; or

(2) ~~The the~~ funds received by the person from the other person, ~~property~~ or entity during the previous 12 months either equal or exceed:

(a. ~~—~~) \$5,000.00 in salary, bonuses, commissions or professional fees, or \$5,000.00 in payment for goods, products or services, or (b) ten percent of the ~~recipient's~~recipient's gross income during that period, whichever is less;

b. ~~The(3) the~~ person serves as a corporate officer or member of the board of directors or other governing board of a for-profit entity other than a corporate entity owned or created by the ~~City Council; or which entity receives an amount of \$5,000.00 or more~~city council; or

c. ~~The(4) the~~ person is a creditor, debtor, or guarantor of the other person, ~~property~~ or entity in an amount of \$5,000.00 or more.

~~(Ord. No. 02-2019, § 1, 2-4-2019)~~

Sec. 2-~~301~~. Purpose303 PROHIBITIONS.

~~The purpose of this code of ethics is to:~~

(1) ~~Encourage high ethical standards in (a) No city official~~ ~~conduct by city officials and employees;~~

(2) ~~Establish guidelines for ethical standards of conduct for all such officials by setting forth those acts or actions that are incompatible with the interest of the city;~~

(3) ~~Require disclosure by such officials of private financial or other interest in matters affecting the city;~~
~~and~~

(4) ~~Serve as a basis for disciplining those who fail to abide by its terms.~~

~~(Ord. No. 02-2019, § 1, 2-4-2019)~~

~~Sec. 2-302. Scope.~~

~~The provisions of this code of ethics shall be applicable to all city officials and employees. Notwithstanding anything herein to the contrary, state law and the Charter of the city shall be controlling in the event of an actual conflict with the provisions of this code of ethics. This ordinance shall be interpreted to supplement, and not replace, said provisions of state law and the Charter.~~

(Ord. No. 02-2019, § 1, 2-4-2019)

~~Sec. 2-303. Policies of the code of ethics.~~

The public trust requires city officials and employees to fulfill their duties faithfully and honestly and to subordinate any personal interest, which conflicts with the public interest. City officials and employees are trustees of the people and should strive to further the general welfare and not use public office or such position to unethically improve their own private standing. The principal policies that form the foundation of this code of ethics are as follows:

- (1) ~~The trust of citizens in their government is cultivated when individual public servants act with integrity and when the public is aware that its servants act with integrity.~~
- (2) ~~The constitutions, laws and regulations of the United States and the state of Georgia and ordinances of the City of Norcross should be upheld as a minimum standard of conduct.~~
- (3) ~~The most effective way to eradicate unethical practices is to consistently act with the highest moral principles and react appropriately to the ethical decisions of secure special privileges or exemptions for himself or herself or others.~~
- (4) ~~City officials and employees should exercise sound judgment and apply ethical principles in making decisions that in any manner reflect upon their elected office.~~
- (5) ~~All citizens should be treated with courtesy, impartiality and equality.~~

(Ord. No. 02-2019, § 1, 2-4-2019)

~~Sec. 2-304. Intent of the code of ethics.~~

It is the intent of this code of ethics that city officials and employees shall not knowingly engage in any activity that is incompatible with the proper discharge of their official duties or which would tend to impair their judgment or actions in the performance of their official duties. Furthermore, city officials and employees should avoid any action that might result in or create the appearance of:

- (1) ~~Using public office or position in an unethical manner for private gain;~~
- (2) ~~Impeding city efficiency or economy; or~~
- (3) ~~Affecting adversely the confidence of the public in the integrity of those who conduct the affairs and business of the city.~~

(Ord. No. 02-2019, § 1, 2-4-2019)

~~Sec. 2-305. Code of ethics for city employees.~~

Employees of the city shall treat all citizens with courtesy, impartiality, fairness, and equality under the law, and shall avoid both actual and potential conflicts between their private self interest and the public interest. Prohibited conduct of each such employee shall include, but not be limited to, the following:

- (1) ~~Requesting, using, or permitting the use of any publicly owned or publicly supported property, vehicle, equipment, labor, or service for the personal convenience or the private advantage of themselves or any other person, except as otherwise allowed by law;~~
- (2) ~~Engaging in private employment with, or rendering services for, any private person who has business transactions with the city, unless they have notified their department director and the Human Resources Director in writing of the nature and extent of such employment or services;~~

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- ~~(3) — Appearing on behalf of any private person, other than themselves, before any public body in the city;~~
 - ~~(4) — Accepting gifts with a value of more than \$100.00, whether in the form of money, things, favors, loans, or promises, that would not be offered or given to them if they were not an employee;~~
 - ~~(5) — Disclosing any confidential information concerning for any purpose other than official or employee, or any other person, or any property or governmental affairs duties on behalf of the city, without prior formal authorization of the governing body;~~
 - ~~(6) — Using or permitting the use of confidential information to advance the financial or personal interest of themselves or any other person; or~~
 - ~~(7) — Appointing of any person related to them by blood or marriage to fill an office, position, employment, or duty, when the salary, wages, pay, or compensation is to be paid out of public funds.~~

~~(Ord. No. 02-2019, § 1, 2-4-2019)~~

~~(b) No city official, in any matter before the council or other city body, relating to a person or entity in which the official has a substantial interest, shall fail to disclose for the record such interest prior to any discussion or vote or fail to recuse himself/herself from such discussion or vote as applicable.~~

~~(c) No city official or employee shall act as an agent or attorney for another in any matter before the city council or other city body.~~

~~**(d) No city official or employee shall Sec. 2-306. Code of ethics for city officials.**~~

~~City officials shall treat all citizens with courtesy, impartiality, fairness, and equality under the law, and shall avoid both actual and potential conflicts between their private self-interest and the public interest. Prohibited conduct of each city official shall include the following:~~

- ~~(1) — City officials shall not have a substantial interest that conflicts with their responsibilities and duties as trustees of the public good; or~~
- ~~(2) — City officials shall not directly or indirectly engage in financial transactions as a result of, or primarily rely upon, confidential information obtained in the course of their office or received due to their position.~~
- ~~(3) — *Acceptance of gifts.* City officials shall not solicit or accept, directly or indirectly, any benefit or payment from any person, corporation or group that has, or is seeking to obtain, a contractual or other business or financial relationship with the city; provide however that the prohibitions against acceptance of gifts shall not apply in the case of:
 - ~~a. — Occasional nonmonetary receive, or agree to receive, any compensation, gift(s) of insignificance or trinkets or gifts, such as a calendar, memento or pen, received in the normal course of business with a value of/or less than \$100.00;~~
 - ~~b. — Award publicly presented in recognition of public service;~~
 - ~~c. — Transaction authorized by and performed in accordance with O.C.G.A. § 16-10-6 as now or hereafter amended;~~~~

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- d. ~~A commercially reasonable loan or other financial transaction made in the ordinary course of business by an institution or individual authorized by the laws of the state to engage in the making of such loan or financial transaction;~~
 - e. ~~Campaign contributions made and reported in accordance with state laws;~~
 - f. ~~Items listed under O.C.G.A. § 16-10-2 that are specifically itemized as "a thing of value shall not include" as now or hereafter amended;~~
 - g. ~~Promotional items generally distributed to the general public, city officials or employees; or~~
 - h. ~~Food, beverage, admission or expenses afforded city officials, members of their immediate families, or others that are associated with normal and customary business or social functions, activities, or events.~~
- (4) ~~Use of public property. City officials shall not use city property of any kind for other than officially approved activities, nor shall they direct a city employee to use such property for other than official purposes.~~
- (5) ~~Use of confidential information. City officials shall not directly make use of, or permit others to make use of, for the purpose of furthering a private interest, city information not made available to the general public.~~
- (6) ~~Coercion. City officials shall not use their position in any way to coerce, or give the appearance of coercing:~~
- a. ~~Another person to provide any benefits to themselves or to their immediate family as defined herein;~~
 - b. ~~A city employee, an appointed official of the city, or a contract employee to provide any benefit to themselves or to their immediate family as defined herein; or~~
 - c. ~~Any judge in the outcome of matters before the court.~~
- (7) ~~Purchases. City officials shall not order any goods or services for the city or on behalf of the city without proper authorization in compliance with the city Code.~~
- (8) ~~Conflicts of interest. City officials shall not represent private interests, other than their own, in any action, reward, or gratuity in any matter or proceeding against the city or any portion of its government; or vote or otherwise actively participate in the negotiation or the making of any contract between the city government and any business or entity in which they have a substantial interest. City officials shall not connected with, or related to, the duties of his office in excess of \$50.00 except as may be provided by law.~~
- (e) No city official or employee shall enter into any contract with, or have any interest in, either directly or indirectly, the city except as authorized by state law.
- a. ~~(i)~~ This prohibition shall not be applicable to the professional activities of the ~~City Attorney~~city attorney in ~~their~~his or her work as an independent contractor and legal advisor on behalf of the city.

b. ~~(ii)~~ This prohibition shall not be applicable to an otherwise valid employment contract between the city and a city official who is not elected (such as, by way of example, a ~~City Manager~~city manager, city administrator or chief of police).

e. ~~(iii)~~ Any official who has a proprietary interest in an ~~entity~~agency doing business with the city shall make that interest known in writing to the city ~~elected officials council~~ and the ~~City Clerk~~city clerk.

~~(9) City employees. City officials shall (f)~~ All public funds shall be used for the general welfare of the people and not use for personal economic gain.

~~(g)~~ Public property shall be disposed of in accordance with state law.

~~(h)~~ No city official shall solicit or accept other employment to be performed, or compensation to be received, while still a city official if the employment or compensation could reasonably be expected to impair such official's judgment or performance of city duties.

~~(i)~~ If a city official accepts or is soliciting a promise of future employment from any person or entity who has a substantial interest in a person, entity or property which would be affected by any decision upon which the official might reasonably be expected to act, investigate, advise, or make a recommendation, the official shall disclose the fact to the city council and shall recuse himself/herself and take no further action on matters regarding the potential future employer.

~~(j)~~ No city official or employee for personal or shall use city facilities, personnel, equipment or supplies for private business during regular business hours or during the employee's scheduled shift purposes, except to the extent such are lawfully available to the public.

~~(10) Travel expenses. City officials (k)~~ No city official or employee shall grant or make available to any person any consideration, treatment, advantage or favor beyond that which it is the general practice to grant or make available to the public at large.

~~(l)~~ A city official or employee shall not directly or indirectly make use of, or permit others to make use of, official information not made available to the general public for the purpose of furthering a private interest.

~~(m)~~ A city official or employee shall not use his or her position in any way to coerce, or give the appearance of coercing, another person to provide any financial

benefit to such official or persons within the official's immediate family, or those with whom the official has business or financial ties amounting to a substantial interest.

(n) A city official or employee shall not order any goods and services for the city without prior official authorization for such an expenditure. No city official shall attempt to obligate the City nor give the impression of obligating the city without proper prior authorization.

(o) No city official or employee shall draw travel funds or per diem or expense money from the city to attend a seminar, convention, conference or similar meeting for attendance at meetings, seminars, training or other educational events and then fail to attend the seminar, conference, convention or similar meetings such events without promptly reimbursing the city thereafter City therefore.

(p) No city official or employee shall attempt to unduly influence the outcome of a case before the Municipal Court of the City of Norcross nor shall any city official engage in ex parte communication with a municipal court judge of the City of Norcross on any matter pending before the Municipal Court of the City of Norcross.

(q) No city official shall knowingly or recklessly act in a manner that violates the City Charter and/or exceeds his or her authority under the City Charter.

Sec. (11) — Commitments. City officials shall not act or create the appearance of acting on behalf of the city by promising to authorize or prevent any future official action of any nature, without proper authorization.

(12) — False statements. City officials shall not make an intentionally false or materially misleading statement or in any manner commit fraud in relation to any city or public business.

(13) — Disclosure. City officials shall disclose the nature of any substantial interest they have in a matter at the time such matter is presented to the City Council for discussion and/or action. Such disclosure shall be recorded into the minutes of the meeting and become part of the public record.

(14) — Deliberation and vote prohibited. City officials shall **2-304 CONFLICT OF INTEREST.**

(a) A city official may not participate in a City Council appointed board, committee or council meeting during the discussion, debate, deliberation or vote, or otherwise take part in the vote or decision-making process on any agenda item, a matter affecting an immediate family member or any official act person, entity, or action property in which he or she the official has a substantial interest. Provided, however, that such officials shall not be precluded from

~~addressing a council-appointed board, committee or the City Council during the discussion of any agenda item or any official act or action in the same manner~~

~~(b) A city official who serves as a corporate officer or member of the general public board of directors of a nonprofit entity must disclose their interest in said entity to the mayor and council prior to participating in a vote or decision regarding funding of the entity by or through the city.~~

~~(c) Where the interest of a city official in the subject matter of a vote or decision is remote or incidental, the city official may participate in the vote or decision and need not disclose the interest.~~

~~**Sec. (15) — Duty to leave meeting.** To avoid the appearance of impropriety, after any member of the City Council or council-appointed board or committee member is determined to have a substantial interest or a potential substantial interest in any matter, they shall leave their regular seat as a member of the City Council or council-appointed board or committee and not return to it until deliberation and action on the matter is completed. Provided, however, that such official shall not be precluded from addressing an appointed council, board or committee or the City Council during the discussion of any agenda item or any official act or action in the same manner as a member of the general public.~~

~~(Ord. No. 02-2019, § 1, 2-4-2019)~~

~~**Sec. 2-307. Receipt of ethics accusations.**~~

~~(a) Ethics accusations against city officials and employees shall be filed in writing with the City Clerk. All Accusations shall be submitted and signed under oath, shall be legibly drawn setting forth the particular facts and circumstances which constitute the alleged violation, with any and all relevant supporting documents attached, and shall clearly address matters within the scope of this article.~~

~~(b) Within ten days of the receipt of an accusation in proper form alleging a violation of this code of ethics, the City Clerk shall:~~

~~(1) Forward a copy of the accusation to the city official or employee charged in the accusation;~~

~~(2) Deliver a copy of the accusation to the City Attorney, and~~

~~(3) Deliver a copy of the accusation to:~~

~~a. The Special Master appointed pursuant to subsection 2-309(a) below if the accusation is against a city official; or~~

~~b. The City Manager if the accusation is against an employee.~~

~~(c) Accusations shall be filed with the City Clerk within 90 days of the date such alleged violation of this code of ethics occurred, or within 90 days from the date the part making the accusation knew or should have known about the alleged violation so long as such date is not more than six months after the date the alleged violation occurred.~~

~~(Ord. No. 02-2019, § 1, 2-4-2019)~~

2-305 HEARING OFFICER.

(a) All complaints filed hereunder shall be heard before a hearing officer who:

(1) Shall be a competent attorney at law of good standing in his or her profession,

(2) Shall have at least five~~Sec. 2-308. Procedure; accusations against employees.~~

~~(a) Upon receipt of an accusation against an employee, the City Manager or his designee shall review and process all accusations against employees pursuant to the discipline and grievance policies and procedures set forth in the city employee handbook extant at the time of the alleged deficiency or infraction.~~

~~(b) An employee found in violation of any provision of this code of ethics shall be subject to the discipline, grievance and appeal policies set forth in the city employee handbook.~~

~~(Ord. No. 02-2019, § 1, 2-4-2019)~~

~~Sec. 2-309. Procedure; accusations against city officials.~~

~~(a) Appointment of Special Master.~~

~~(1) Accusations against appointed officials. The Chief Judge of the Municipal Court, or, in his or her absence, his or her designee who shall be another municipal court judge, or if no municipal court judge is available, the City Attorney, is hereby appointed as the Special Master for all accusations against appointed city officials. The Special Master may be removed for cause by a majority vote of the City Council. If the Special Master is removed for cause, the next most senior Municipal Court Judge or the City Attorney shall serve as Special Master.~~

~~(2) Accusations against elected officials. Within ten business days of the receipt of an accusation against an elected city official, the Chief Magistrate of the county and the City Attorney shall appoint a Special Master mutually agreeable to both of them to consider and hear any Accusation against an elected city official. Such Special Master shall be a judge, retired judge or a licensed attorney in good standing with the state Bar with not less than ten years' experience as an attorney in the state. The Special Master shall reside outside of the city limits, and shall swear or affirm that he or she has no interest in the outcome of the matter to be decided.~~

~~(3) Compensation of Special Master. The Special Master shall be compensated at the same hourly rate as the City Attorney, or at such other hourly rate as may be approved by Mayor and Council.~~

~~(b) Procedure before Special Master. Upon receipt of an accusation against a city official, the Special Master shall have the following duties and powers:~~

~~(1) Review the accusation to determine whether the accusation years' experience in the practice of law, and~~

~~(3) Shall not live or maintain an office within the city limits.~~

~~The city clerk and city attorney shall maintain a listing of no less than five qualified attorneys to serve as a hearing officer pursuant to this section. Upon receipt of a properly verified complaint, the city clerk or the city attorney shall draw names randomly from the listing of qualified hearing officers and appoint the first one who is available to serve in the matter. Once a hearing officer is appointed, no member of the City Council shall communicate with or otherwise contact the hearing officer, except as authorized herein, unless such member is the complainant or the member charged in the complaint; however, no party to a complaint shall engage in ex parte communications with the hearing officer.~~

~~(b) Original pleadings shall be filed with the city clerk and the city clerk shall cause the complaint to be served on the member charged as soon as practicable, but in no event later than seven (7) calendar days after receipt of a verified complaint. Service may be by personal service, by certified mail, return receipt requested, or by statutory overnight delivery.~~

(c) In all proceedings under this section, the burden of proof shall be on the complaining party. Further, the quantum of proof required to establish a violation under this article shall be by clear and convincing evidence.

Sec. 2-306 RECEIPT OF COMPLAINTS.

(a) All complaints against city officials shall be in written form and shall be filed with the city clerk, who will give the complaint to the Mayor and City Council and the City Attorney. If a complaint is alleged against a city employee, a copy of the complaint shall be given to the City Manager.

(b) All complaints shall be submitted and signed, shall state the name and contact information of the complainant, shall be legibly drawn and shall clearly address facts, circumstances, and other matters within the scope of this ordinance. Complaints must reasonably describe the nature of the alleged violation and the facts and circumstances giving rise to the complaint

(c) No action may be taken on any complaint which arises out of substantially the same facts or circumstance which have previously served as the basis for a complaint pursuant to this article.

(d) A separate complaint shall be filed for each person alleged to have engaged in any activity violating this article even if the allegations arise from the same factual basis. Each complaint shall state:

- (1) A separate count for each alleged violation;
- (2) The specific section of state law, the city Charter, or this article alleged to be violated for each count;
- (3) With specificity, the facts which are alleged to constitute the violation; and
- (4) The documentary evidence which the charging party possesses. Copies of said documentary evidence shall be attached to the complaint as exhibits.

(e) All complaints shall contain an oath that the facts set forth therein are true and correct to the best of the complainant's knowledge in substantially the following form:

STATE OF GEORGIA
COUNTY OF GWINNETT

Personally appeared before the undersigned officer duly to administer oaths. [Name of Person filing Complaint] , who under oath deposes that the statements in the foregoing Complaint are true and correct to the best of his/her knowledge and belief. The affiant further acknowledges that false statements made in this Complaint may result in prosecution against them for false swearing.

Sworn to and subscribed

On this ___ day of _____, 20___,

[Signature of Person Filing Complaint]

NOTARY PUBLIC

(f) To discourage the filing of ethics complaints solely for political purposes, ethics complaints against a person seeking election as a city official, whether currently serving as a city official or not, which are filed between the date of qualifying for municipal office and the date of certification of the election results will be held and will not be processed until the election results for that office have been certified.

Sec. 2-307 SERVICE OF COMPLAINT. The city clerk shall cause the complaint to be served on the city official charged as soon as practicable but in no event later than seven (7) calendar days after receipt of a proper, verified complaint. Service may be by personal service, by certified mail, return receipt requested or by statutory overnight delivery.

Sec. 2-308 PROCEDURE AND HEARINGS.

(a) Upon the hearing officer's appointment, he or she shall review the complaint, if any, to determine:

- (1) Whether the complaint conforms with the requirements of section 2-306(d);
- (2) Whether, upon consideration of the complaint, the complaint is unjustified, frivolous, patently unfounded; ~~or fails to state~~
- (3) Whether, upon consideration of the complaint and answer, the complaint demonstrates facts sufficient to invoke disciplinary ~~action or is to be considered for further investigation.~~ jurisdiction as set forth in this article.

~~(2) — Be empowered to dismiss those accusations that are unjustified, frivolous, patently unfounded or that fail to state facts sufficient to constitute~~

~~(b) If the complaint fails based upon the requirements of subsection (a violation) of this article; provided, however, that a rejection of such accusation by the Special Master section, the complaint shall not deprive be dismissed stating the basis for said dismissal. If the dismissal is based upon the failure to comply with section 2-306(d) or 2-306(e), the complaining party of any action he or she might otherwise shall have at law or in equity against 15 days to re-file the complaint correcting the defect.~~

~~(c) At any hearing held by the hearing officer, the city official or employee who is the subject of inquiry shall have the right to written notice of any hearing at least seven (7) calendar days before each such hearing, to be represented by counsel, to hear and examine the evidence and witnesses and, to oppose or try to mitigate the allegations. The city official subject to the inquiry shall have also have the right but not the obligation of submitting evidence and calling witnesses. Failure to comply with any time deadlines in this section of the ordinance shall not invalidate any otherwise valid complaint or in any way affect the power or jurisdiction of the Board of Ethics or the city council to act upon any complaint.~~

~~(3) — Be~~

~~(d) The Hearing Officer shall be empowered to collect evidence and information concerning any accusation complaint and to add to the findings and results of its investigation investigations to the file containing such accusation-complaint. In furtherance of this investigation, the hearing officer may:~~

~~(1) First, seek such further information from the complainant or the member charged through inquiry or written questions; provided, however the member charged shall have no obligation to answer any inquiries; and make a further determination as to whether the complaint demonstrates facts sufficient to invoke disciplinary jurisdiction as set forth in this article in accordance with subsection (b) of this section. If it is determined that the complaint should not be dismissed pursuant to this subsection, then the provisions of subsection (d)(2) of this section shall apply; or~~

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- (2) Conduct a hearing regarding the allegations set forth in the complaint. At any hearing, the person who is the subject of inquiry shall have the right to:
- a. Representation by counsel at all stages of these proceedings;
 - b. Written notice of the hearing at least ten calendar days before the hearing;
 - c. Hear and examine the evidence and witnesses;
 - d. Not testify (if he or she chooses not to do so); and
 - e. Submit evidence and call witnesses to oppose or mitigate the allegations. In all hearings held under this section, the rules of evidence applicable in civil cases shall apply.

(d) Hearing officer's determination.

- (1) All investigations under this section shall be completed within forty-five (45) days of the hearing officer's appointment. Within seven days of the completion of the investigation, the hearing officer shall:
- a. Dismiss the complaint on the grounds that it is unjustified, frivolous, patently unfounded, or that it fails to state facts sufficient to invoke the disciplinary jurisdiction of the city council; or
 - b. Prepare a report of findings and recommendations to the mayor and city council.
- (2) Should the hearing officer determine to submit a report in the matter, the report shall consist of:
- a. A written finding of facts;
 - b. A determination that the complaint establishes beyond a reasonable doubt that a violation has been committed, and, if so, the specific violation and evidence supporting the same; and
 - c. A recommendation regarding the punishment for such violation.
- (3) The hearing officer's failure to submit a report within the time provided shall result in the automatic dismissal of the ethics complaint.

(f) The hearing officer's written determination of findings and recommendations shall be delivered to the city clerk who shall provide a copy to the city attorney, the mayor and city council, and serve a copy on the complainant and person charged by personal service, by certified mail, return receipt requested, or by statutory overnight delivery. Such findings shall not be final until approved by vote of the city council.

Sec. (4) — ~~Be empowered to conduct probable cause investigations, to take evidence and hold hearings. The Special Master shall give the city official notice and an opportunity for a hearing.~~

~~(5) Be empowered to recommend to the City Council that any city official found to have violated any provision of this article receive a reprimand, censure or be requested to resign their office.~~

~~(6) Be empowered to refer an accusation to the appropriate law enforcement agent or agency for investigation and possible prosecution.~~

~~(7) The decision by the Special Master shall be reduced to writing and served upon all parties of interest within 60 days of receipt of the accusation.~~

~~(8) The Special Master shall appear in a public hearing before the City Council to present argument and evidence to justify the recommendation against a city official contained in subsection (5) above and make a recommendation of the proper penalty to be imposed.~~

~~(c) Procedure before Mayor and Council.~~

~~(1) Within 30 days following the presentation of the findings of the Special Master against a city official, the Mayor and City Council shall have the final authority to act on or reject the recommendations of the Special Master regarding a city official.~~

~~(2) If the subject of the accusation~~ **2-309 REPORT TO MAYOR AND COUNCIL.**

(a) Upon receipt of findings and recommendations from the hearing officer, the mayor and council may:

(1) By majority, accept the findings and recommendations of the hearing officer;

(2) By majority, accept the findings of fact and reject the recommended discipline, instead substituting its own discipline; or

(3) By a majority, reject the findings and recommendations and either:

a. Dismiss the complaint; or

b. Conduct its own hearing in accordance with section 2-299. Upon the completion of such hearing, the findings and recommendations of the mayor and council shall be binding.

~~(b) If the subject of the complaint is the Mayor or a member of the City Council, mayor or any city council member, he or she shall be disqualified and will not be allowed to vote pursuant to this section or participate in any discussion related thereto. Nor shall such position be counted for the purpose of establishing a quorum for this particular purpose. hearing held pursuant to this section other than as provided.~~

~~(3) Passage of a motion on the recommendation of the Special Master shall require the affirmative vote of a majority of qualified Council members present and voting as set forth above. For the purposes of this code of ethics, a majority means more than one-half of the qualified Council members present excluding abstentions. Upon a tie vote, the Mayor shall vote to break the tie.~~

~~(4) The Mayor and City Council shall have the final authority to act on or reject the recommendation within 30 days of the presentation by the Special Master.~~

~~(d) Penalties for Violation by city officials. Upon majority vote of the City Council, any violation of this code of ethics shall subject the city official to disciplinary action including reprimand, censure, or a request to the offending city official that he or she resign their office.~~

~~(e) City officials' right to appeal. (c) Upon a final judgment and certification of the minutes of the meeting disposing of the matter, the city clerk shall serve the respondent with a copy of the certified minutes and findings and recommendations by personal service, certified mail, return receipt requested, or by Federal Express or other overnight delivery service.~~

Sec. 2-310 RIGHT TO APPEAL.

~~(a) Any city official or complainant adversely affected by a disciplinary the final decision may obtain judicial review of such decision.~~

~~(b) An action taken for judicial review may be commenced by the City Council may appeal filing a petition for review under the decision to the county Superior Court in accordance with the laws of the state. Provided, however, that no action of the Special Master refusing or failing to take action pursuant to this code of ethics shall be reviewable by and State Court Appellate Practice Act (O.C.G.A. 5-3-1 et seq) in the Superior Court of Gwinnett County within thirty (30) days after the city council considers the complaint and reviews the recommendation by the Board of Ethics. The filing of such application shall act as supersedeas.~~

~~(f) Tolling for elections. To discourage the filing of ethics accusations solely for political purposes, accusations will not be accepted against a person seeking election as an elected official, whether currently serving as an elected official or not, from the date qualifying opens for the elected office at issue through the date the election results for that office are certified. The time for filing accusations against an elected official will not run during this period. Properly filed accusations will be accepted and processed after the election results have been certified.~~

(Ord. No. 02-2019, § 1, 2-4-2019)

SECTION 2.

The sections, subsections, paragraphs, sentences, clauses and phrases of this ordinance are severable, and if any section, subsection, paragraph, sentence, clause or phrase shall be declared illegal by the valid judgment or decree of any court of competent jurisdiction, such illegality shall not affect any of the remaining section, subsections, paragraphs, sentences, clauses and phrases of this ordinance.

SECTION 3.

All ordinances and parts of ordinances in conflict herewith are expressly repealed.

SECTION 4.

The effective date of this ordinance shall be _____.

IN WITNESS WHEREOF, I have hereunto set my hand and cause this seal to be affixed this ____ day of _____, 2025.

Craig Newton, Mayor

ATTEST:

Monique Philip, City Clerk

**AN ORDINANCE TO AMEND THE CODE OF ORDINANCES, CITY OF NORCROSS
GEORGIA; TO RECODIFY THE CODE OF ETHICS; TO PROVIDE FOR
PENALTIES; TO PROVIDE FOR CODIFICATION; TO PROVIDE FOR
SEVERABILITY; TO REPEAL CONFLICTING ORDINANCES; TO PROVIDE AN
EFFECTIVE DATE; AND FOR OTHER PURPOSES.**

ENACTING CLAUSE. The Mayor and City Council of the City of Norcross, Georgia, hereby ordains that the adopted Code of Ordinances is hereby amended as more particularly set forth below. It is the intention of the Mayor and City Council that the following provisions shall become and be made a part of the Code of the City of Norcross, and the Sections in the Code of Ordinances be numbered accordingly to accomplish that intention.

WHEREAS, the duly elected governing authority of the City of Norcross, Georgia (the “City”) is authorized by O.C.G.A. § 36-35-3 to adopt ordinances relating to its property, affairs and local government; and

WHEREAS, the governing authority deems it essential to the proper operation of democratic government that the public officials, appointees, and staff be, and give the appearance of being, independent, impartial, and responsible to the people; that governmental decisions and policies be made in the proper channels of the governmental structure; and that public office not be used for personal gain; and

WHEREAS such measures are necessary to provide the public with confidence in the integrity of its government.

NOW THEREFORE it is the policy of the City that its officials, employees, appointees, and volunteers conducting official city business: Serve others and not themselves; Be independent, impartial and responsible; that they use resources with efficiency and economy; that they treat all people fairly; and that their exercise of power in their position be used for the well-being of their constituents; and that the City create an environment of honesty, openness and integrity.

NOW THEREFORE BE IT AND IT IS HEREBY ORDAINED: That the Code of Ordinances of the City of Norcross, Georgia is hereby amended as provided.

SECTION 1.

The Code of Ordinances shall be stricken, amended, and replaced as provided below by striking code sections 2-300 to 2-309 in their entirety, thereby deleting Article VIII of the Code of Ordinance and replacing Article VIII with sections to be enumerated 2-300 through 2-310, to be

known as the City of Norcross Code of Ethics of 2025, which said sections shall thereafter read as follows:

Sec. 2-300. PURPOSE. The purpose of this code of ethics is to:

- (a) Encourage high ethical standards in official conduct by city officials;
- (b) Establish guidelines for ethical standards of conduct for all such officials by setting forth those acts or actions that are incompatible with the interest of the city;
- (c) Require disclosure by such officials of private financial or other interest in matters affecting the city; and
- (d) Serve as a basis for disciplining those who refuse to abide by the Code's terms.

Sec. 2-301. SCOPE. The provisions of this code of ethics shall be applicable to all elected or appointed city officials and to the City's members of appointed committees and authorities. Notwithstanding anything herein to the contrary, state law and the charter of the city shall be controlling in the event of an actual conflict with the provisions of this code of ethics. This ordinance shall be interpreted to supplement, and not replace, said provisions of state law and the charter. This code of ethics shall not limit, abridge, amend, or modify in any way other remedies or procedural processes that may give rise from facts or circumstances implicated in any investigation or acquisition made in relationship with this code.

Sec. 2-302 DEFINITIONS. Solely for the purpose of this code of ethics:

- (a) **City official** or official, unless otherwise expressly defined does not include city employees but does mean the mayor, members of the city council, municipal court judges (including substitute judges), city manager, city clerk, city attorney, city solicitor and all other persons holding positions designated by the city charter, as amended. The term "city official" also includes all individuals, including city employees, appointed by the mayor and/or city council as appropriate to city authorities, commissions, committees, boards, task forces, or other bodies which can or may vote or take formal action or make official recommendations to the mayor and/or city council.
- (b) **Decision** means any ordinance, resolution, contract, franchise, formal action or other matter voted on by the city council or other city board or commission, as well as the discussions or deliberations of the council, board, or commission which can or may lead to a vote or formal action by that body.
- (c) **Employee** means any person who is a full-time or part-time employee of the city.

(d) **Immediate family** means the spouse, mother, father, grandparent, brother, sister, son or daughter of any city official related by blood, adoption or marriage. The relationship by marriage shall include in-laws.

(e) **Incidental interest** means an interest in a person, entity or property which is not a substantial interest as defined herein and which has insignificant value.

(f) **Remote interest** means an interest of a person or entity, including a city official, which would be affected in the same way as the general public. For example, the interest of an official in the property tax rate, general city fees, city utility charges or a comprehensive zoning ordinance or similar matters is deemed remote to the extent that the official would be affected in common with the general public.

(g) **Substantial interest** means an interest, either directly or through a member of the immediate family, in another person or entity, where:

(1) the interest is ownership of five percent or more of the voting stock, shares or equity of the entity or ownership of \$5,000.00 or more of the equity or market value of the entity; or

(2) the funds received by the person from the other person or entity during the previous 12 months either equal or exceed (a) \$5,000.00 in salary, bonuses, commissions or professional fees, or \$5,000.00 in payment for goods, products or services, or (b) ten percent of the recipient's gross income during that period, whichever is less;

(3) the person serves as a corporate officer or member of the board of directors or other governing board of a for-profit entity other than a corporate entity owned or created by the city council; or

(4) the person is a creditor, debtor, or guarantor of the other person or entity in an amount of \$5,000.00 or more.

Sec. 2-303 PROHIBITIONS.

(a) No city official shall use such position to secure special privileges or exemptions for himself or herself or others, or to secure confidential information for any purpose other than official duties on behalf of the city.

(b) No city official, in any matter before the council or other city body, relating to a person or entity in which the official has a substantial interest, shall fail to disclose for the record such interest prior to any discussion or vote or fail to recuse himself/herself from such discussion or vote as applicable.

- (c) No city official or employee shall act as an agent or attorney for another in any matter before the city council or other city body.
- (d) No city official or employee shall directly or indirectly receive, or agree to receive, any compensation, gift, reward, or gratuity in any matter or proceeding connected with, or related to, the duties of his office in excess of \$50.00 except as may be provided by law.
- (e) No city official or employee shall enter into any contract with, or have any interest in, either directly or indirectly, the city except as authorized by state law.
 - (i) This prohibition shall not be applicable to the professional activities of the city attorney in his or her work as an independent contractor and legal advisor on behalf of the city.
 - (ii) This prohibition shall not be applicable to an otherwise valid employment contract between the city and a city official who is not elected (such as, by way of example, a city manager, city administrator or chief of police).
 - (iii) Any official who has a proprietary interest in an agency doing business with the city shall make that interest known in writing to the city council and the city clerk.
- (f) All public funds shall be used for the general welfare of the people and not for personal economic gain.
- (g) Public property shall be disposed of in accordance with state law.
- (h) No city official shall solicit or accept other employment to be performed, or compensation to be received, while still a city official if the employment or compensation could reasonably be expected to impair such official's judgment or performance of city duties.
- (i) If a city official accepts or is soliciting a promise of future employment from any person or entity who has a substantial interest in a person, entity or property which would be affected by any decision upon which the official might reasonably be expected to act, investigate, advise, or make a recommendation, the official shall disclose the fact to the city council and shall recuse himself/herself and take no further action on matters regarding the potential future employer.
- (j) No city official or employee shall use city facilities, personnel, equipment or supplies for private purposes, except to the extent such are lawfully available to the public.

(k) No city official or employee shall grant or make available to any person any consideration, treatment, advantage or favor beyond that which it is the general practice to grant or make available to the public at large.

(l) A city official or employee shall not directly or indirectly make use of, or permit others to make use of, official information not made available to the general public for the purpose of furthering a private interest.

(m) A city official or employee shall not use his or her position in any way to coerce, or give the appearance of coercing, another person to provide any financial benefit to such official or persons within the official's immediate family, or those with whom the official has business or financial ties amounting to a substantial interest.

(n) A city official or employee shall not order any goods and services for the city without prior official authorization for such an expenditure. No city official shall attempt to obligate the City nor give the impression of obligating the city without proper prior authorization.

(o) No city official or employee shall draw travel funds or per diem from the city for attendance at meetings, seminars, training or other educational events and fail to attend such events without promptly reimbursing the City therefore.

(p) No city official or employee shall attempt to unduly influence the outcome of a case before the Municipal Court of the City of Norcross nor shall any city official engage in *ex parte* communication with a municipal court judge of the City of Norcross on any matter pending before the Municipal Court of the City of Norcross.

(q) No city official shall knowingly or recklessly act in a manner that violates the City Charter and/or exceeds his or her authority under the City Charter.

Sec. 2-304 CONFLICT OF INTEREST.

(a) A city official may not participate in a vote or decision on a matter affecting an immediate family member or any person, entity, or property in which the official has a substantial interest.

(b) A city official who serves as a corporate officer or member of the board of directors of a nonprofit entity must disclose their interest in said entity to the mayor and council prior to participating in a vote or decision regarding funding of the entity by or through the city.

(c) Where the interest of a city official in the subject matter of a vote or decision is remote or incidental, the city official may participate in the vote or decision and need not disclose the interest.

Sec. 2-305 HEARING OFFICER.

- (a) All complaints filed hereunder shall be heard before a hearing officer who:
- (1) Shall be a competent attorney at law of good standing in his or her profession,
 - (2) Shall have at least five years' experience in the practice of law, and
 - (3) Shall not live or maintain an office within the city limits.

The city clerk and city attorney shall maintain a listing of no less than five qualified attorneys to serve as a hearing officer pursuant to this section. Upon receipt of a properly verified complaint, the city clerk or the city attorney shall draw names randomly from the listing of qualified hearing officers and appoint the first one who is available to serve in the matter. Once a hearing officer is appointed, no member of the City Council shall communicate with or otherwise contact the hearing officer, except as authorized herein, unless such member is the complainant or the member charged in the complaint; however, no party to a complaint shall engage in ex parte communications with the hearing officer.

(b) Original pleadings shall be filed with the city clerk and the city clerk shall cause the complaint to be served on the member charged as soon as practicable, but in no event later than seven (7) calendar days after receipt of a verified complaint. Service may be by personal service, by certified mail, return receipt requested, or by statutory overnight delivery.

(c) In all proceedings under this section, the burden of proof shall be on the complaining party. Further, the quantum of proof required to establish a violation under this article shall be by clear and convincing evidence.

Sec. 2-306 RECEIPT OF COMPLAINTS.

(a) All complaints against city officials shall be in written form and shall be filed with the city clerk, who will give the complaint to the Mayor and City Council and the City Attorney. If a complaint is alleged against a city employee, a copy of the complaint shall be given to the City Manager.

(b) All complaints shall be submitted and signed, shall state the name and contact information of the complainant, shall be legibly drawn and shall clearly

address facts, circumstances, and other matters within the scope of this ordinance. Complaints must reasonably describe the nature of the alleged violation and the facts and circumstances giving rise to the complaint

(c) No action may be taken on any complaint which arises out of substantially the same facts or circumstance which have previously served as the basis for a complaint pursuant to this article.

(d) A separate complaint shall be filed for each person alleged to have engaged in any activity violating this article even if the allegations arise from the same factual basis. Each complaint shall state:

- (1) A separate count for each alleged violation;
- (2) The specific section of state law, the city Charter, or this article alleged to be violated for each count;
- (3) With specificity, the facts which are alleged to constitute the violation; and
- (4) The documentary evidence which the charging party possesses. Copies of said documentary evidence shall be attached to the complaint as exhibits.

(e) All complaints shall contain an oath that the facts set forth therein are true and correct to the best of the complainant's knowledge in substantially the following form:

STATE OF GEORGIA
COUNTY OF GWINNETT

Personally appeared before the undersigned officer duly to administer oaths. [Name of Person filing Complaint], who under oath deposes that the statements in the foregoing Complaint are true and correct to the best of his/her knowledge and belief. The affiant further acknowledges that false statements made in this Complaint may result in prosecution against them for false swearing.

Sworn to and subscribed

On this ___ day of _____, 20___,

[Signature of Person Filing Complaint]

NOTARY PUBLIC

(f) To discourage the filing of ethics complaints solely for political purposes, ethics complaints against a person seeking election as a city official, whether currently serving as a city official or not, which are filed between the date of qualifying for municipal office and the date of certification of the election results will be held and will not be processed until the election results for that office have been certified.

Sec. 2-307 SERVICE OF COMPLAINT. The city clerk shall cause the complaint to be served on the city official charged as soon as practicable but in no event later than seven (7) calendar days after receipt of a proper, verified complaint. Service may be by personal service, by certified mail, return receipt requested or by statutory overnight delivery.

Sec. 2-308 PROCEDURE AND HEARINGS.

(a) Upon the hearing officer's appointment, he or she shall review the complaint, if any, to determine:

- (1) Whether the complaint conforms with the requirements of section 2-306(d);
- (2) Whether, upon consideration of the complaint, the complaint is unjustified, frivolous, patently unfounded; or
- (3) Whether, upon consideration of the complaint and answer, the complaint demonstrates facts sufficient to invoke disciplinary jurisdiction as set forth in this article.

(b) If the complaint fails based upon the requirements of subsection (a) of this section, the complaint shall be dismissed stating the basis for said dismissal. If the dismissal is based upon the failure to comply with section 2-306(d) or 2-306(e), the complaining party shall have 15 days to re-file the complaint correcting the defect.

(c) At any hearing held by the hearing officer, the city official or employee who is the subject of inquiry shall have the right to written notice of any hearing at least seven (7) calendar days before each such hearing, to be represented by counsel, to hear and examine the evidence and witnesses and, to oppose or try to mitigate the allegations. The city official subject to the inquiry shall also have the right but not the obligation of submitting evidence and calling witnesses. Failure to comply with any time deadlines in this section of the ordinance shall not invalidate any otherwise valid complaint or in any way affect the power or jurisdiction of the hearing officer or the city council to act upon any complaint.

(d) The hearing officer shall be empowered to collect evidence and information concerning any complaint and to add the findings and results of its investigations to the file containing such complaint. In furtherance of this investigation, the hearing officer may:

- (1) First, seek such further information from the complainant or the person charged through inquiry or written questions; provided, however the member charged shall have no obligation to answer any inquiries; and make a further determination as to whether the complaint demonstrates facts sufficient to invoke disciplinary jurisdiction as set forth in this article in accordance with subsection (b) of this section. If it is determined that the complaint should not be dismissed pursuant to this subsection, then the provisions of subsection (d)(2) of this section shall apply; or
- (2) Conduct a hearing regarding the allegations set forth in the complaint. At any hearing, the person who is the subject of inquiry shall have the right to:
 - a. Representation by counsel at all stages of these proceedings;
 - b. Written notice of the hearing at least ten calendar days before the hearing;
 - c. Hear and examine the evidence and witnesses;
 - d. Not testify (if he or she chooses not to do so); and
 - e. Submit evidence and call witnesses to oppose or mitigate the allegations. In all hearings held under this section, the rules of evidence applicable in civil cases shall apply.

(d) Hearing officer's determination.

- (1) All investigations under this section shall be completed within forty-five (45) days of the hearing officer's appointment. Within seven days of the completion of the investigation, the hearing officer shall:
 - a. Dismiss the complaint on the grounds that it is unjustified, frivolous, patently unfounded, or that it fails to state facts sufficient to invoke the disciplinary jurisdiction of the city council; or
 - b. Prepare a report of findings and recommendations to the mayor and city council.

(2) Should the hearing officer determine to submit a report in the matter, the report shall consist of:

- a. A written finding of facts;
- b. A determination that the complaint establishes beyond a reasonable doubt that a violation has been committed, and, if so, the specific violation and evidence supporting the same; and
- c. A recommendation regarding the punishment for such violation.

(3) The hearing officer's failure to submit a report within the time provided shall result in the automatic dismissal of the ethics complaint.

(f) The hearing officer's written determination of findings and recommendations shall be delivered to the city clerk who shall provide a copy to the city attorney, the mayor and city council, and serve a copy on the complainant and person charged by personal service, by certified mail, return receipt requested, or by statutory overnight delivery. Such findings shall not be final until approved by vote of the city council.

Sec. 2-309 REPORT TO MAYOR AND COUNCIL.

(a) Upon receipt of findings and recommendations from the hearing officer, the mayor and council may:

- (1) By majority, accept the findings and recommendations of the hearing officer;
- (2) By majority, accept the findings of fact and reject the recommended discipline, instead substituting its own discipline; or
- (3) By a majority, reject the findings and recommendations and either:
 - a. Dismiss the complaint; or
 - b. Conduct its own hearing in accordance with section 2-299. Upon the completion of such hearing, the findings and recommendations of the mayor and council shall be binding.

(b) If the subject of the complaint is the mayor or any city councilmember, he or she will not be allowed to vote pursuant to this section or participate in any hearing held pursuant to this section other than as provided.

(c) Upon a final judgment and certification of the minutes of the meeting disposing of the matter, the city clerk shall serve the respondent with a copy of the certified minutes and findings and recommendations by personal service, certified mail, return receipt requested, or by Federal Express or other overnight delivery service.

Sec. 2-310 RIGHT TO APPEAL.

(a) Any city official or complainant adversely affected by the final decision may obtain judicial review of such decision.

(b) An action for judicial review may be commenced by filing a petition for review under the Superior and State Court Appellate Practice Act (O.C.G.A. 5-3-1 *et seq*) in the Superior Court of Gwinnett County within thirty (30) days after the city council considers the complaint and reviews the recommendation by the hearing officer. The filing of such application shall act as supersedeas.

SECTION 2.

The sections, subsections, paragraphs, sentences, clauses and phrases of this ordinance are severable, and if any section, subsection, paragraph, sentence, clause or phrase shall be declared illegal by the valid judgment or decree of any court of competent jurisdiction, such illegality shall not affect any of the remaining section, subsections, paragraphs, sentences, clauses and phrases of this ordinance.

SECTION 3.

All ordinances and parts of ordinances in conflict herewith are expressly repealed.

SECTION 4.

The effective date of this ordinance shall be as of the vote adopting this ordinance.

IN WITNESS WHEREOF, I have hereunto set my hand and cause this seal to be affixed this ____ day of _____, 2025.

Craig Newton, Mayor

ATTEST:

Monique Philip, City Clerk

RESOLUTION 26-_____

RESOLUTION ADOPTING ETHICAL PRINCIPLES

WHEREAS the Board of Directors of the Georgia Municipal Association has established a Certified City of Ethics program; and,

WHEREAS the City of Norcross wishes to be certified as a Certified City of Ethics under the GMA Program; and,

WHEREAS part of the certification process requires the Mayor and Council to subscribe to the ethics principles approved by the GMA Board;

NOW THEREFORE BE IT RESOLVED by the governing authority of the City of Norcross, Georgia, that as a group and as individuals, the governing authority subscribes to the following ethics principles and pledges to conduct its affairs accordingly:

- * Serve Others, Not Ourselves
- * Use Resources With Efficiency and Economy
- * Treat All People Fairly
- * Use The Power of Our Position For The Well Being Of Our Constituents
- * Create An Environment of Honesty, Openness And Integrity

RESOLVED this _____ day of _____, 20__.

Mayor

Councilmember

Councilmember

Councilmember

Councilmember

Councilmember

ATTEST:

Note: A copy of the approved resolution and ordinance by cities who desire to participate in the GMA "Certified City of Ethics" program should be submitted to GMA, Attention: Legal Department, 201 Pryor Street, SW, Atlanta, Georgia 30303



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

Agenda Report

To: Mayor and Council

From: Craig Newton, Mayor
Bruce Gaynor, Mayor Pro Tem

Meeting Date: February 16, 2026 – Policy Work Session

Item No.: 2026-73

Title: Request for Proposals for City Manager Recruitment

CC: Eric Johnson, City Manager

Recommendation: Direct the City Manager to prepare and advertise a request for proposals (an “RFP”) for an executive recruiter to assist the city in recruiting the next Norcross City Manager.

Background: While City Manager Eric Johnson has a contract through December 31, 2027, he has advised the Mayor and Council of his intent to resign later in calendar year 2026 to relocate to Florida. City Managers are typically selected through a recruitment process conducted in support of elected officials by an executive search firm focused on local government recruitments. There are multiple experienced firms in this line of business (i.e., firms that do multiple annual local government recruitments) capable of assisting Mayor and Council in the recruitment process. Executive recruiters maintain their own list of potential candidates in addition to soliciting candidates through organizations such as the Georgia City-County Management Association and the International City-County Management Association. Recruitment services include meeting with the Mayor and Council to develop a job announcement unique to the City and its requirements, assisting them screen applicants, conducting reference and background checks, providing potential interview questions, and promoting other aspects of an interview process such as a community “meet and greet” with finalists.

Information to be provided in an RFP response includes information on recent recruitments along with references, a description of the recommended selection process to be used, specifics on services to be provided (e.g., screening, background checks, reference checks), and a history of how long placed employees have remained in their jobs, costs that would be

charged the City to assist in replacing a selected candidate who subsequently leaves or is terminated, and the total cost for services.

Financial Impact: There is no cost for developing an RFP. The cost of recruiter services will vary and may include both a fixed cost as well as eligible reimbursements for costs incurred by the recruiter.

Consistent with Comprehensive Plan? While there is no specific policy statement under the Comprehensive Plan Goals that aligns with this process, it can be considered that the selection process has potential impacts on the successful implementation of all Comprehensive Plan policies in support of Mayor and Council

Attachments None.