

# City of Norcross

*65 Lawrenceville Street*

*Norcross, GA 30071*



## Meeting Agenda

Tuesday, May 19, 2026

6:00 PM

2nd Floor Conference Room

### Regular Meeting

Jeff Hopper, Chair

Barbara Grayson, Vice Chair

Hugh Cooper

Naim Harrison

Bill McLees

**A. Call to Order****B. Approval of Previous Meetings Minutes****[Architectural Review Board – Regular Meeting – April 21, 2026, 6:00 PM](#)****C. Unfinished Business****D. New Business****1. 2026-174: COA2025-027**

Consideration of the applicant's build-back plans for a new single-family residence following the prior approval of demolition by the Mayor and Council.

**Attachments:**

1. Agenda Report for May 19, 2026
2. Applicant Presentation for 146 N Barton Street
3. April 6, 2026 Mayor and Council Regular Meeting Meeting Minutes
4. October 21, 2025 ARB Meeting Minutes
5. Staff Report presented at October 21, 2025 ARB Hearing
6. Bugajski Residence\_5192026

**2. 2026-171: COA2026-004**

Construction of a New Single-Family Residence

**Attachments:**

1. Staff Report
2. Redacted Application

**3. 2026-172: COA2026-005**

Historic Demolition and Deconstruction with Intent to Rebuild

**Attachments:**

1. Staff Report
2. Redacted Application
3. Engineer Letter
4. Verified Funds
5. Floor and Roof Plans
6. Pre-Deconstruction Inspection Checklist
7. Historical Survey

**4. 2026-173: COA2026-006**  
Construction of a New Single-Family Residence

Attachments:

1. Staff Report
2. Redacted Application
3. Floor and Roof Plans
4. 30 North Barton Street Landscape Plan 4-16-26

**E. ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA**

**F. Adjourn**

# City of Norcross

*65 Lawrenceville Street*

*Norcross, GA 30071*



## Meeting Minutes

Tuesday, April 21, 2026

6:00 PM

2nd Floor Conference Room

## Architectural Review Board

Jeff Hopper, Chair

Barbara Grayson, Vice Chair

Hugh Cooper

Naim Harrison

Bill McLees

## A. Call to Order

The meeting was called to order by Chair Jeff Hopper at 6:03 pm.

Attendee Name	Title	Status	Arrived
Jeff Hopper	Chair	Present	
Barbara Grayson	Vice Chair	Present	
Naim Harrison	Board member	Not Present	
Bill McLees	Board member	Present	
Hugh Cooper	Board member	Present	

## B. Approval of Previous Meetings Minutes

Approval of the March 17, 2026, meeting minutes of the Architectural Review Board.

*RESULT: APPROVED [UNANIMOUS] 4-0*

*MOVER: Barbara Grayson, Vice Chair*

*SECONDER: Bill McLees, Board Member*

*AYES: Hopper, McLees, Grayson, Cooper*

*ABSENT: Naim Harrison*

## C. Unfinished Business – None

## D. New Business

### 1. 2026-136: COA2026-003

#### Discussion by the ARB

- Single-family home proposal, including the project location, proposed architectural elevations, and overall site plan, as well as garage door elevation details and gutter placement.

#### ARB Conditional Approval

- Garage door to match trim color (Iron Ore).
- Garage door to match the design presented on page 7 of the agenda packet.
- The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for ensuring compliance with any specific design standard or UDO section not addressed in the staff report and ARB approval.
- Any changes from the ARB-approved components shall require ARB approval at a future public hearing.
- An architectural inspection shall be conducted prior to issuance of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

*RESULT: APPROVED [UNANIMOUS] 4-0*

*MOVER: Barbara Grayson, Vice Chair*

*SECONDER: Hugh Cooper, Board Member*

*AYES: Hopper, McLees, Grayson, Cooper*

*ABSENT: Naim Harrison*

**E. ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA**

**F. Adjourn**

Jeff Hopper motioned to adjourn the meeting at 6:28 pm, seconded by Hugh Cooper. The vote was unanimous, 4-0



**Mayor:** Craig Newton • **Mayor Pro Tem:** Marshall Cheek • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare  
**Councilmember:** Matt Myers • **Councilmember:** Bruce Gaynor • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

## AGENDA REPORT

To: Architectural Review Board

From: LeDarius Scott, AICP (Senior Planner)

Meeting Date: May 19, 2026 ARB Hearing

Item No.:

Title: Update

CC: Helen Balch, AICP (Community Development and Planning Director)

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### Update

At the April 6, 2026 Mayor and Council Regular Meeting, a motion was made to approve the demolition of the property located at 146 N. Barton Street, with the provision that the owner reuse appropriate historic elements of the house and leave the determination of what follows to the Architectural Review Board and staff.

# **146 N Barton Cottage Reuse in New House Construction**

# Reuse candidates

- **Front Porch Material– newer 4x4s, not historical**
- **Chimney – crumbling brick, leaning towards the house, needs to be taken apart, reuse of the brick questionable, if reused will require painting over to match the already approved color schema**
- **Porch design – as proposed**



# Evolving Front Porch

**Back then the front porch had:**

- Less columns
- Thicker columns
- Siding panels instead of railings
- Different steps
- Different color

**There was no back addition (backyard is seen through back door)**



# Replicating the Current Front Porch – no match



**10'x 8' porch with own roof**  
**6" by 6" Square columns**

# Replicating the 1920s Front Porch



# Replicating the 20's Front Porch

- **Wider columns**
- **Railings in the front**



# Replicating the 20s Porch



- **Two columns**
- **Picket railings**
- **Matching gables**
- **Flat with the front**

**Thank You!**

3. Rebuild plans for Lots 6, 7, and 8 are subject to Mayor and Council consideration through a public hearing, contingent upon the approval of the historic demolition of the existing dwelling at 300 Academy Street.
4. It is acknowledged that the Gwinnett County Fire Marshal or other reviewing agency may require modifications to the site for oversized vehicles (such as fire and garbage trucks) and minor adjustments to the site concept plan; review and approval by the Community Development Director in response to Gwinnett County comments is allowed.
5. All utilities shall be buried.
6. All common areas, including but not limited to the stormwater system, shall be maintained by the HOA.
7. Stormwater management plan, including the detention facility, is subject to the approval of the City Engineer.
8. Final landscape plan is subject to the approval of the Community Development and Planning Department.
9. Alternate Condition if City Council does not approve the private alley proposed in the site plan:
  - a. Alley will be public with a right-of-way extending from proposed back-of-curb to back-of-curb.
  - b. Rear yard setbacks on all lots shall be zero.
  - c. Curbs and gutters shall be sloped ("roll back") concrete, with slope design determined by the owner/developer.
  - d. Alley paving pitch and slope may be inward toward the proposed center storm drain.
  - e. Brick, stone, or concrete pavers on a stone or concrete base may be used in lieu of asphalt for paving material.
10. Front yard fence/wall option:
  - a. A fence/wall is allowed in all front yards on all lots. The design shall incorporate metal, brick, stone, and/or wood with landscaping or hedges or any combination thereof. The design shall be consistent on all lots and not exceed 4' in height.
  - b. Points of entry in front yard fences/walls may have unique designs that vary from lot to lot and shall not exceed 8'.
  - c. Walls on side and rear yards shall be of metal, brick, stone, concrete, or wood and shall not exceed 10'.
  - d. The developer will work with staff to develop a solution for parking.

*RESULT: APPROVED [UNANIMOUS] 4-0*  
*MOVER: Bruce Gaynor, Mayor Pro Tem*  
*SECONDER: Matt Myers, Councilmember*  
*AYES: Cheek, Myers, Gaynor, Bare*  
*ABSENT: Andrew Hixson*

## **2. 2025-324: COA2025-027; Consideration of a Historic Demolition and New Home**

A motion to approve the demolition of the property located at 146 N. Barton Street, with the provision that the owner reuse appropriate historic elements of the house and leave the determination of what follows to the Architectural Review Board and staff.

*RESULT: APPROVED [3-2]*  
*MOVER: Bruce Gaynor, Mayor Pro Tem*  
*SECONDER: Matt Myers, Councilmember*  
*AYES: Bruce Gaynor, Matt Myers*  
*NAYS: Marshall Cheek, Josh Bare*  
*TIE BREAKER: Mayor Craig Newton (in favor)*  
*ABSENT: Andrew Hixson*

# City of Norcross

*65 Lawrenceville Street*

*Norcross, GA 30071*



## Meeting Minutes

**Tuesday, October 21, 2025**

**6:00 PM**

**2nd Floor Community Room**

## **Architectural Review Board**

**Jeff Hopper, Chair**

**Hugh Cooper**

**Naim Harrison**

**Bill McLees**

**Barbara Grayson**

**A. Call to Order**

*Meeting called to order by Jeff Hopper, Chair, at 6:00 pm*

**B. Roll Call**

Attendee Name	Title	Status	Arrive
Jeff Hopper	Chair	Present	
Hugh Cooper	Board member	Absent	
Barbara Grayson	Board member	Present	
Naim Harrison	Board member	Present	
Bill McLees	Board member	Present	

**C. Approval of Previous Meeting Minutes**

**A motion to approve the minutes of the Architectural Review Board Meeting on September 16, 2025**

**RESULT: APPROVED [UNANIMOUS]**

**MOVER: Bill McLees, Board member**

**SECONDER: Barbara Grayson, Board member**

**AYES: Hopper, McLees, Grayson, Harrison**

**ABSENT: Hugh Cooper**

**A motion to approve the minutes of the Architectural Review Board Meeting on September 30, 2025**

**RESULT: APPROVED [UNANIMOUS]**

**MOVER: Barbara Grayson, Board member**

**SECONDER: Bill McLees, Board member**

**AYES: Hopper, McLees, Grayson, Harrison**

**ABSENT: Hugh Cooper**

**D. Unfinished Business**

**E. New Business**

**1. 2025-283: COA2025-027 146 Barton Street**

A consideration of historic demolition of an existing residence built in 1920 and located in the national historic district. The Architectural Review Board considered the existing building to be a contributing structure but cannot feasibly be rehabilitated and therefore meets the criteria for demolition.

A motion to recommend approval of the historic demolition subject to the following conditions:

1. Brick facade type and color to be submitted for administrative approval.
2. On both left and right elevations, the top gable will contain an architectural pediment matching the front elevation architectural pediments.
3. Second story middle window on the left elevation to align with the other second story windows and be 1 over 1 instead of single pane.
4. Trim on second-story windows to have consistent dimensions (1x4 or 1x6).
5. Door with pathway to be added on the left side of the rear elevation.
6. The applicant shall recycle the bricks and windows at a minimum and provide

documentation of where or who recycled them through presentation of receipt.

7. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.

8. Any changes to the Architectural Review Board-approved component shall require ARB approval at another public hearing.

9. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

**RESULT: APPROVED [UNANIMOUS]**

**MOVER: Jeff Hopper, Board Chair**

**SECONDER: Barbara Grayson, Board member**

**AYES: Hopper, McLees, Grayson, Harrison**

**ABSENT: Hugh Cooper**

**E. ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA**

**F. Adjourn**

# Staff Report for 10/21/25

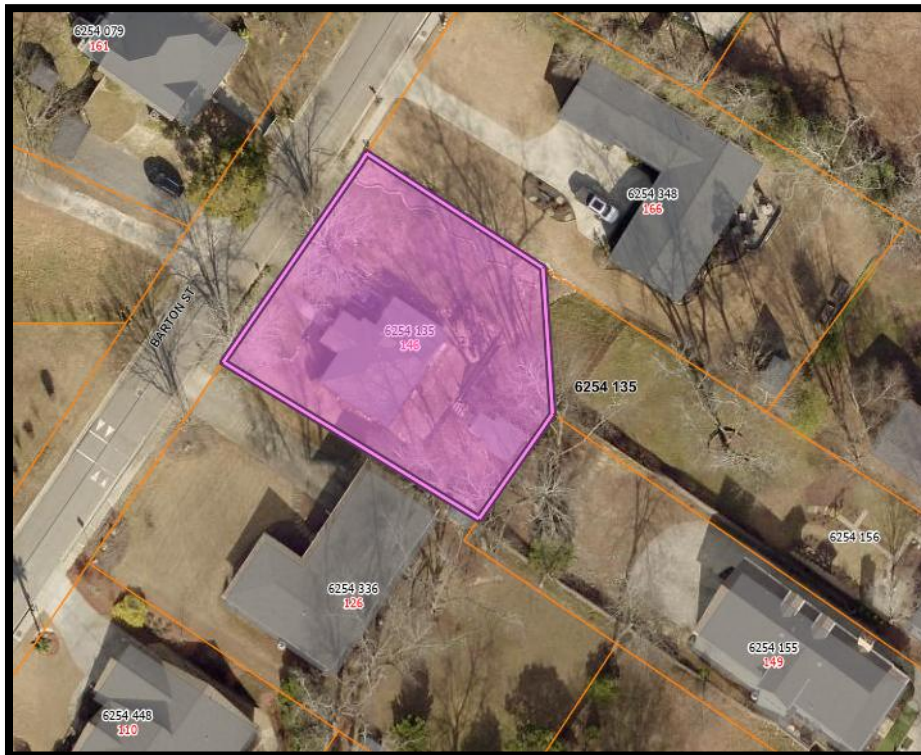
## ARB Hearing



Project Type: Demo/Consideration of a New House  
 Property Location: 146 Barton Street  
 Tax Parcel ID: 6254 135  
 Petitioner: Susan Tanner  
 Petitioner's Request: Demolition of a Historic Structure and Consideration of a New House

Board	Meeting Type	Meeting	Meeting Time	Room
ARB	Hearing	10/21/2025	6:00 PM	2nd Floor Conference Room
MCC Policy	Meeting	11/17/2025	6:30 PM	2nd Floor Conference Room
MCC Regular	Hearing	12/1/2025	6:30 PM	Council Chambers

Vicinity Map:



City of Norcross Architectural Review Board Meeting for October 21, 2025, at 6:00 PM

<b>PROPERTY INFORMATION</b>	
<b>Property Location</b>	146 Barton Street
<b>Acreage:</b>	0.30 acres (13,266 sf)
<b>Existing Lot Dimensions:</b>	Lot frontage along Barton Street: 104 Feet Lot Depth: 147.25 feet
<b>Existing Building Dimensions:</b>	Approximately 800 square feet
<b>Topography:</b>	High Point: 1062 Low Point: 1052
<b>Elevation:</b>	High Point: Eastern Side Low Point: Western Side
<b>Encumbrances:</b>	This site is located in the National Historic District

**Project Description**

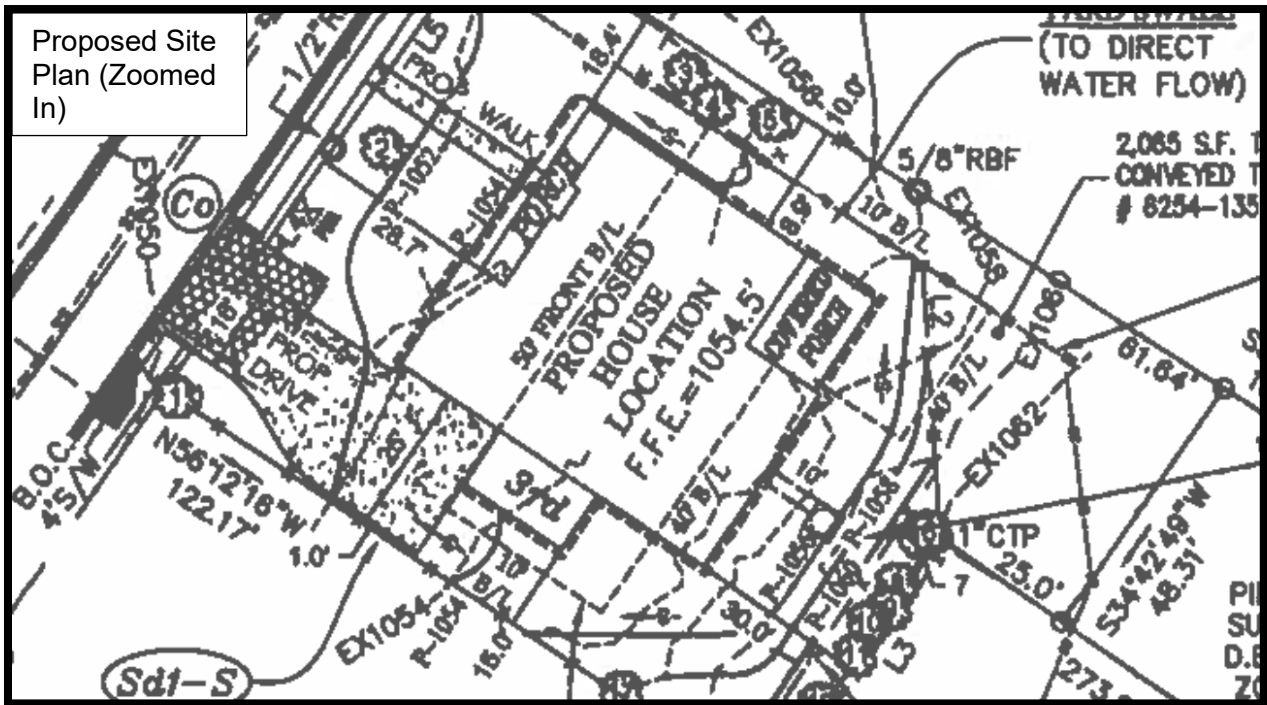
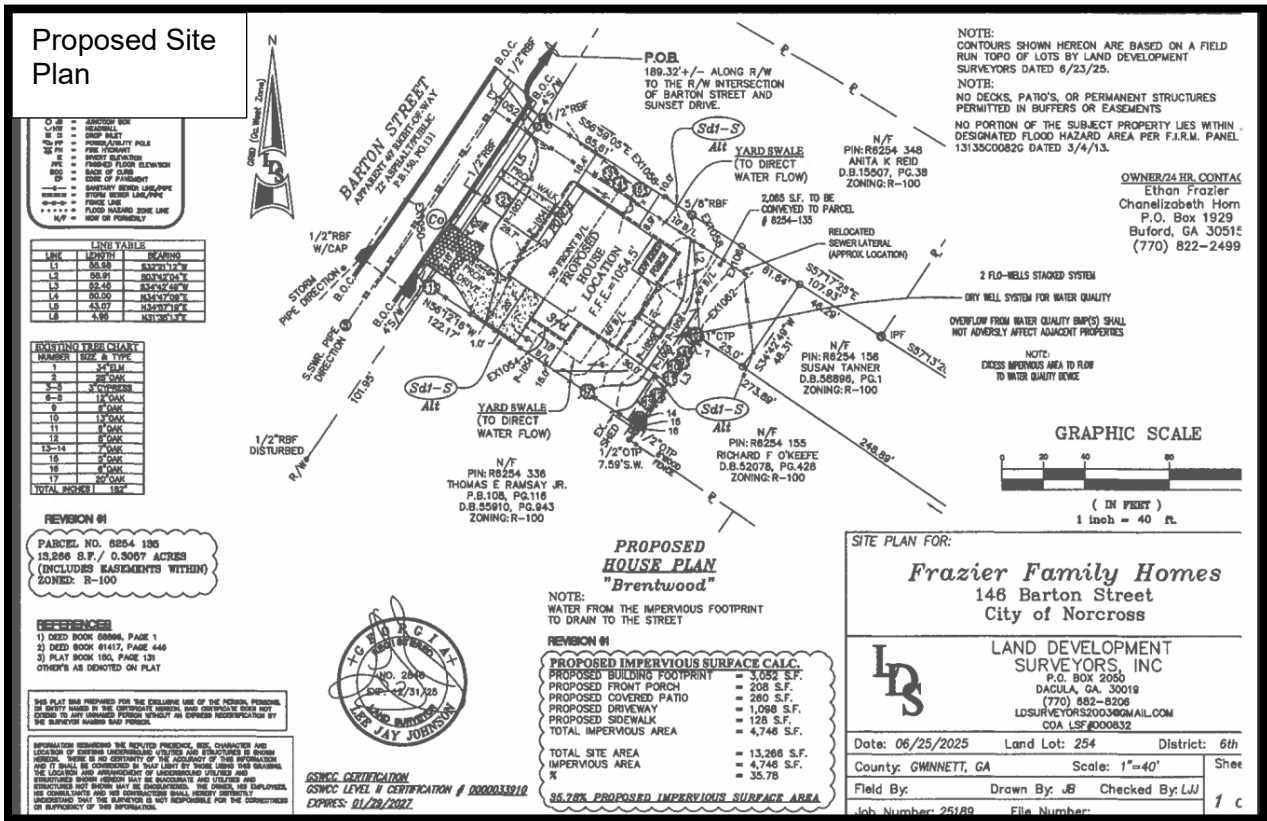
The applicant proposes to demolish a historic home built in 1920 with the intent of rebuilding a two (2) story, approximately 3,800 square foot, five (5) bedroom, two (2) garage residence on a 0.30-acre lot. The proposed architecture will consist of brick, hardiplank shingle siding and horizontal hardiplank siding on the primary façade, with brick and horizontal hardie plank siding on the side and rear elevations. According to the application, Sea Sand (6885-1) and Balsam Blue (7041-1) are two of the proposed colors for the new residence. The accessory architectural components’ colors will be Sea Sand and White. The proposed doors and windows on the first floor will feature brick soldier course headers, with windows on the second floor featuring a trim border. Proposed windows feature diamond grills. The home will feature a six (6) foot deep front porch with 8 inch box columns.

**Site Plan**

The applicant’s site plan shows the footprint of the proposed two (2) story, approximately 3,800 square foot home.

**Approved Variances**

At their September hearing, the Zoning Board of Appeals granted two (2) variances to reduce the front setback from code required 50 feet to 28.7 feet, and to increase the impervious coverage allowed from the maximum of 35 percent to 35.78 percent for the new home situated on a R100 lot. With written notarized consent from the adjoining property owners, the applicant received an administrative variance (AV2025-011) to reduce the rear setback from code required 40 feet to a proposed 30 feet, due to the size of the property which is 2,000 square feet under the minimum required 15,000 square feet for R100 properties. The subject parcel is considered to be legal non-conforming due to its small size.



## **Landscape Plan**

The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance, if applicable.

### **Applicable Building Standards:**

3.7.3.1 Front porches, verandahs and terraces must be at least six (6) feet deep to accommodate porch furniture as well as the passage of one person.

3.5.3.1 All residential construction shall include a combination of architectural treatments, such as brick or stone masonry, stucco, wood, or other durable materials. If masonry materials are used a minimum of three (3) facades must use the masonry material.

3.5.1.9 Approved building materials include brick, stone, wood, and wood shakes/shingles.

3.5.1.25 All construction shall include a combination of architectural treatment of brick or stone masonry, stucco, wood, or other durable materials.

3.5.3.2 The reveal (exposed portion) of siding will be a minimum of four (4) inches and shall not exceed six (6) inches.

### **Evaluation of a Historic Demolition**

The Norcross Architectural and Site Design guidelines provide the criteria by which historic demolition permits are evaluated. The process is as follows:

- a. Determine if the subject building is considered a contributing or non-contributing building to the National Historic District:
  1. If it is determined that the subject building is non-contributing then:
    - a. The demolition of a non-contributing structure within the district is allowed under the following conditions:
      - a. Plans for the redevelopment of the site have been through the Design Review process and have been approved by the ARB.
      - b. It is documented to the satisfaction of the ARB that finances are in place to construct the approved redevelopment plans.
  - b. If it is determined that the subject building is contributing then:
    1. The demolition of a contributing structure within the district is allowed under the following conditions:
      - a. It is documented to the satisfaction of the ARB that the building cannot feasibly be rehabilitated for use, which should be written by a licensed architect, engineer, or city inspector.
      - b. Plans for the redevelopment of the site have been through the

- Design Review process and have been approved by the ARB.
- c. It is documented to the satisfaction of the ARB that finances are in place to construct the approved redevelopment plans.

### **Architectural and Site Design Standards**

1. First, the ARB will need to determine if the existing building is a contributing or non-contributing structure. The design standards define contributing structure as a building that,

*“Contributes to the architectural or historic significance of a historic district. A “contributing building” in a historic district is one that may be of limited individual significance but nevertheless functions as an important component of the district.”*

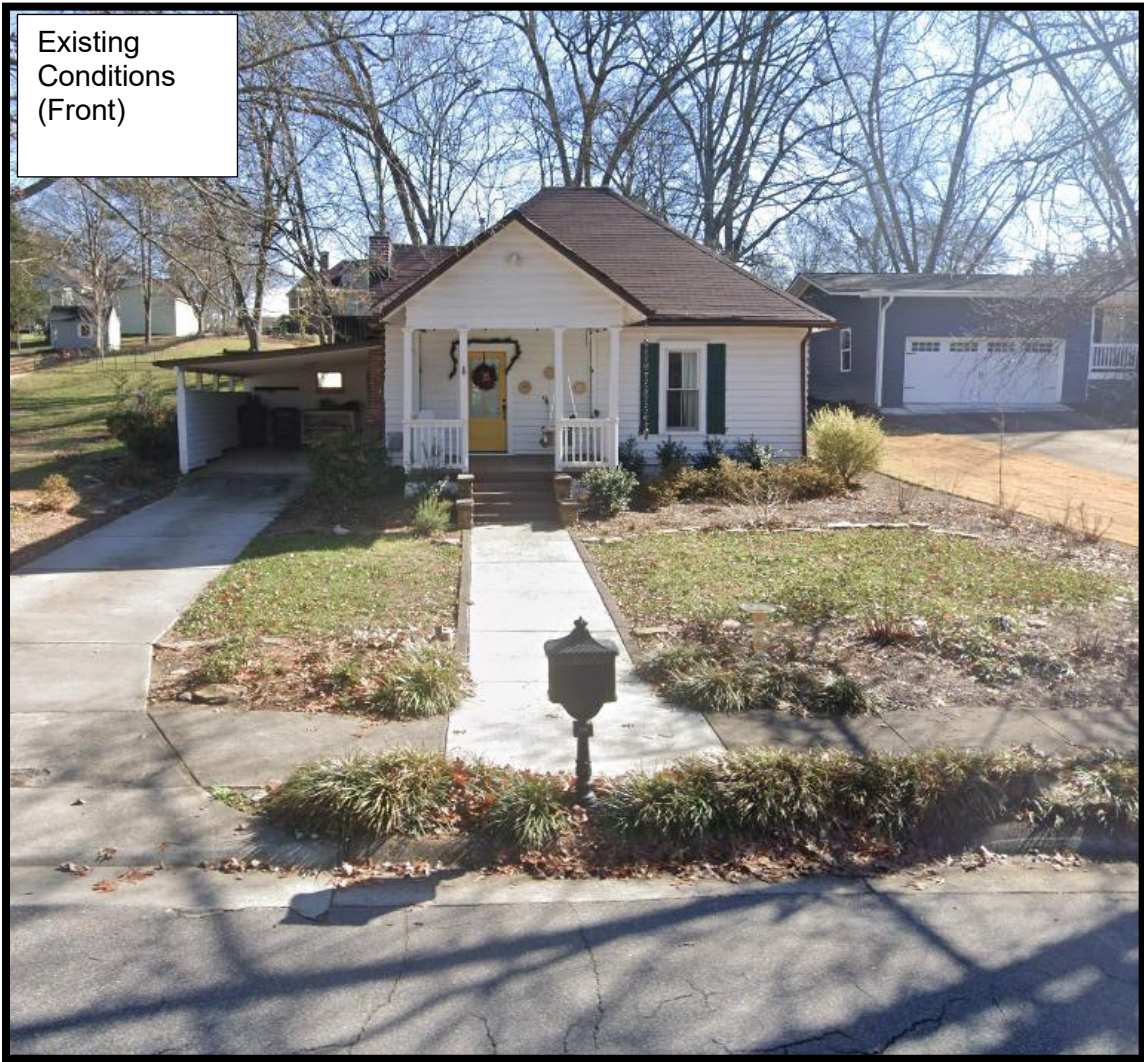
2. Second, the ARB will need to determine the feasibility of rehabilitating the dwelling for use. As stated in the attached letter, the structure is not a good candidate for relocation and there will be major improvements for rehabilitating the dwelling.
3. Third, the ARB will need to review the financial statement confirming finances are sufficient for the developer to construct the proposed product.

### **Background**

The subject parcel and building are located within the National Historic District. Available records from the Gwinnett County Tax Assessor indicate that the dwelling was constructed in 1920. As it pertains to the Georgia Historic Resources survey conducted for the site in 2007, the existing home is not on the National Register. The submitted application is a request for complete demolition and construction of a new home.

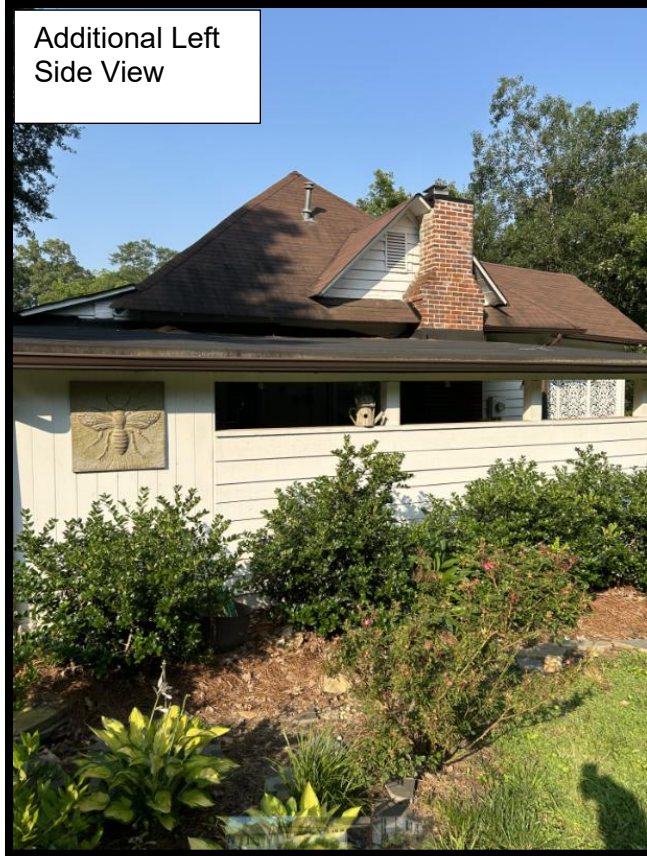
### **Inspections**

On June 3, 2025, the City’s Building Official inspected the building and noted that several alterations had been made to the original structure and salvaging of materials would be at the discretion of the homeowner. The Engineer’s report drafted by Michael Quinn and Associates, P.C., assessed the feasibility of renovating the existing building which is attached to this analysis. Per the report, “considering the extensive reconstruction foundations and framing necessary, as well as regrading and site work, it will be more cost effective to raze the existing structure.”



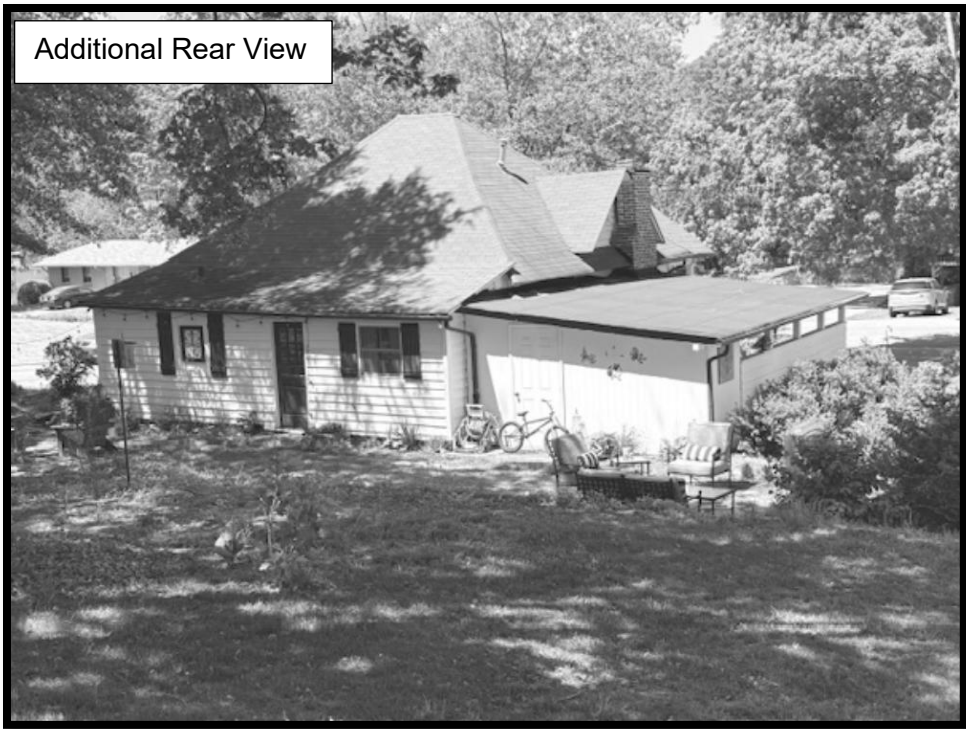
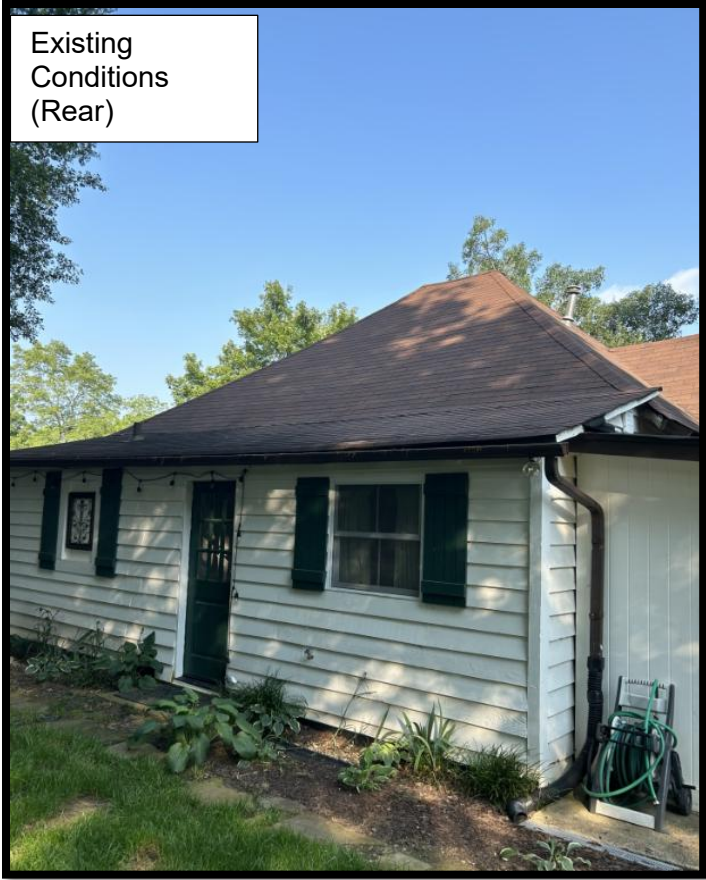


Additional Left  
Side View

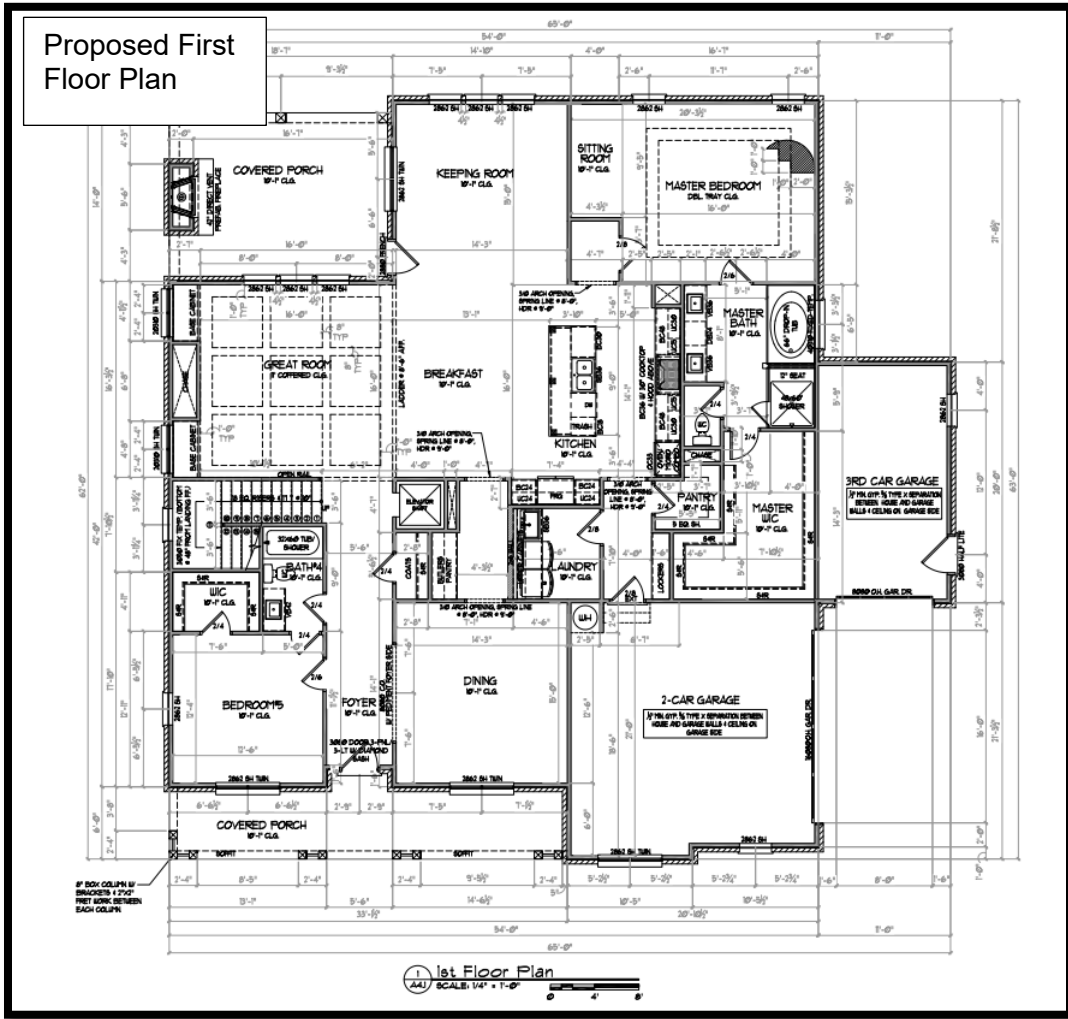


Existing  
Conditions  
(Right)



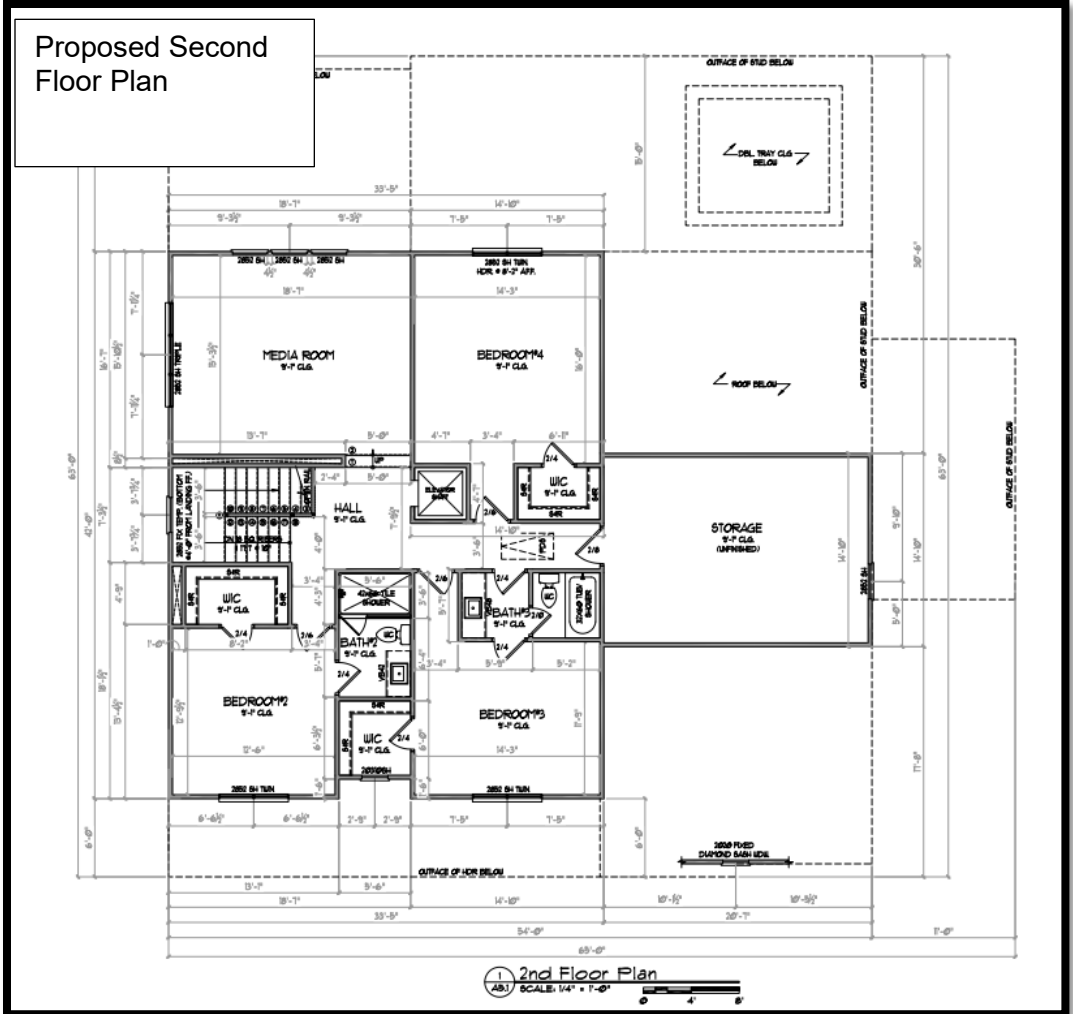


Proposed First Floor Plan



1st Floor Plan  
SCALE: 1/4" = 1'-0"

Proposed Second Floor Plan





**Description of Proposed Front Elevation:**

The proposed front elevation consists of brick on the first floor. The front façade includes a right-side front-loading garage with glass above the doors along with a brick soldier course header. The front elevation includes gable roofs with vents, and a dormer window on the attic level.

**First Floor Components**

First floor windows feature brick soldier course headers along with diamond grills. Below the first-floor windows is a brick sill.

**Second Floor Components**

The second level features hardiplank shingle siding, horizontal lap siding, and diamond grill windows with a trim border.

**The Front Porch Components**

The front covered porch includes a fascia, gable roof and is supported by 8 inch columns.

**Discussion Item:** Provide material being used for garage door. Does this elevation match the proposed floor plan as it pertains to the garages? The two-car garage on the floor plan appears to be on the front, while the front elevation appears to show a one car garage.



**Description of Proposed Left Elevation:**

**First Floor**

The proposed left elevation features brick on the first floor. The first-floor windows feature a brick soldier course header and brick sill below.

**Second Floor**

The second-floor features horizontal siding on the second floor and a gable roof.

**The Rear porch**

The rear porch can be seen here, which includes a door along with a 10 inch column and roof.

**Discussion Item:** Should the gable at the top be vented to break up the expanse?



**Description of Proposed Right Elevation:**

The proposed right elevation features brick on the first floor and horizontal siding on the second floor and a double gable roof. Historic homes did not have integral garages, but due to the small size of the lot, an integral garage is supported versus a detached garage or carport.

**First Floor Components**

The first-floor windows feature a brick soldier course header and a brick sill below. Garage doors topped with glass and a brick soldier course header are presented here which appears to be for two (2) cars.

**Second Floor Components**

The second-floor elevation features a single hung window.

**Discussion Item:** Provide material being used for garage door. Does this elevation match the proposed floor plan as it pertains to the garages? The two-car garage on the floor plan appears to be on the front, while the front elevation appears to show a one car garage.

Proposed Rear Elevation



**Description of Proposed Rear Elevation:**

**First Floor**

The rear elevation features brick on the first floor along with a fenestration of single hung windows and 10 “boxed columns for the rear covered porch.

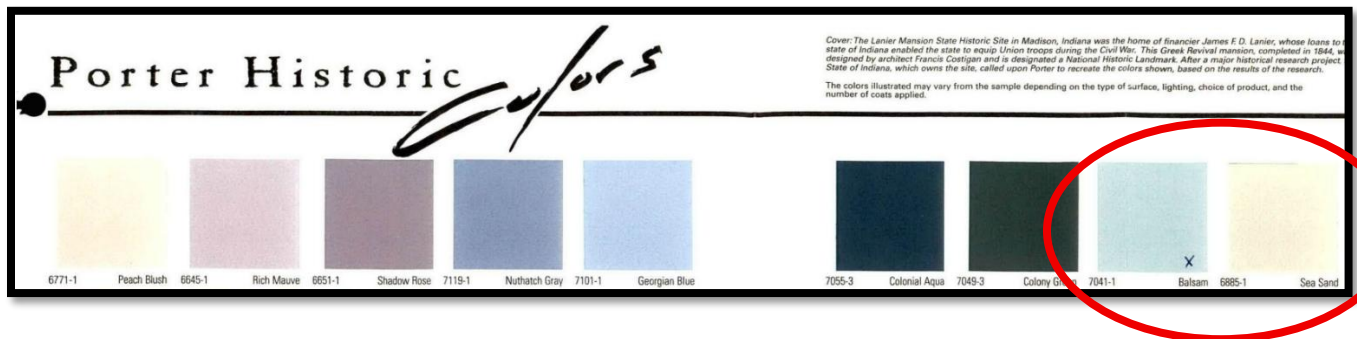
**Second floor**

The second-floor features gable roofs made of horizontal siding and windows.

**Discussion Item:** Why 10” columns along the rear, and 8” columns along the front? Perhaps the sizes should be switched or the same.

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Sea sand 6885-1	Brick
Primary Façade:	Light blue Balsam 7041-1	Hardiplank siding
Primary Façade: Third		
Left Side:	Sea sand 6885-1	Brick
Left Side: Second	Light blue Balsam 7041-1	Hardiplank siding
Left Side: Third		
Left Side:		
Right Side:	Sea sand 6885-1	Brick
Right Side: Second	Light blue Balsam 7041-1	Hardiplank siding
Right Side:		
Right Side:		
Rear: First	Sea sand 6885-1	Brick
Rear: Second	Light blue Balsam 7041-1	Hardiplank siding
Rear: Third		
Rear: Basemnt		

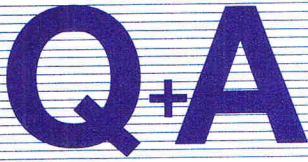
COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry		
Garage Doors	Sea Sand	
Trim	White	
Mortar	Sea Sand	
Gutters	White	
Corner Board	White	
Railings	White	
Windows	White	
Window Sills	White	
Window Muntin/Mulli		
Columns	White	
Other Architectural Features		
Other Architectural		



## **Recommendations**

Should the ARB decide to grant approval, Staff recommends the following conditions:

1. The applicant shall recycle the bricks and windows at a minimum and provide documentation of where or who recycled them through presentation of receipt.
2. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
3. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
4. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



**michael quinn and associates, p.c.**

6767 peachtree industrial blvd. • suite p  
norcross, georgia 30092  
770-452-0744

January 28, 2025

Dr. Susan Tanner  
Mr. Mark Bugajski  
146 N. Barton Street  
Norcross, Georgia 30071

RE: 146 N. Barton Street  
MQ + A Project No. 25018

Dear Susan and Mark:

On January 17, 2025, the undersigned visited the referenced project to evaluate the suitability of the existing structure for a proposed renovation. Our observations were visual only and limited to the exposed portions of the structure; we did not remove finish materials or perform soil or material tests. This report presents our opinions and does not constitute a warranty or guarantee of the condition of the structure. We can only make assumptions about covered or partially exposed existing construction (including foundations and soil bearing capacity). We are not liable for our assumptions regarding covered or partially exposed construction, or any modifications or repairs made as a result of these assumptions.

The existing structure is a wood-framed one-story home with wood siding on a rubble and masonry crawl space foundation. We understand it was built in 1920. Our findings and recommendations follow:

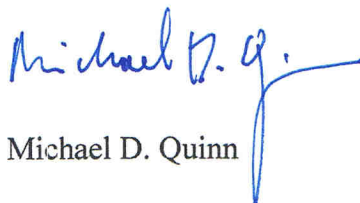
1. The lot slopes from rear-to-front. The house is in the path of and interrupts the overland flow of surface water. The grade adjacent to the house does not slope away from the foundation.
2. The crawl space does not have adequate clearance between the soil and the wood floor system. The short foundation walls do not permit through-wall vents and proper ventilation and air flow in the crawl space. Mold and wood rot will result from these conditions.
3. There does not appear to a foundation drain around the perimeter of the house, which will aggravate the problems described above.
4. An addition previously made to the entire back of the house does not have foundations. This portion of the house has settled differentially from the original house.
5. The rubble foundation for the chimney on the left side of the house has settled more than the adjacent concrete masonry foundation, as evident by the non-horizontal joints in the siding.
6. The carport structure appears to have been built on a driveway slab, without proper foundations
7. The grade around the perimeter of the house is too high, and the wood siding does not have adequate clearance from the soil.

consulting engineers

8. Our experience with similar structures is that once renovation begins, inadequately sized wood members and construction details that do not satisfy current load-carrying requirements will be uncovered, necessitating replacement of the majority of the framing.
9. The poor drainage and proximity to soil increase the likelihood that rotted wood, termites, and mold will be discovered during the entire structure during the renovation, necessitating replacement of affected members.
10. We understand the electrical wiring does not have a ground wire, necessitating modernization of the electrical system.
11. In the carport, the naked electrical wiring is stapled unprotected to the walls.
12. The existing foundation consists of concrete masonry walls, stone rubble masonry perimeter walls, and isolated interior piers. The foundations for these elements are questionable. The mortar holding the walls and piers together is deteriorated and easily crumbles. The foundations should be replaced.
13. The brick-veneered masonry chimney on the left side of the house is distressed and the integrity of the flue is questionable.
14. The front porch is too close to the ground; the floor framing could not be observed. The front stoop and stairs have settled. The wood floor is rotten and uneven, creating a tripping hazard. We suspect it is rotted and/or termite damaged and must be replaced.
15. Re-grading of the yard, possibly including new retaining walls, area drains, and dry wells, may be required to maintain a crawl space under the porch and house.
16. Our experience with similar projects has been that additional issues will be discovered once the repair and reconstruction process begins. Contingencies should be made in the schedule and budget for this likelihood.

Considering the extensive reconstruction of the foundations and framing necessary, as well as the regrading and site work, it will be more cost effective to raze the existing structure. Please do not hesitate to call if you have any questions or if we can be of further assistance.

Sincerely,  
MICHAEL QUINN AND ASSOCIATES, P.C.

  
Michael D. Quinn





MONARCH CAPITAL ADVISORS

To Whom It May Concern:

Our client Susan Tanner has sufficient funds available, for immediate use, in planned construction of the proposed home at 146 N. Barton Street, Norcross, GA 30071, once demolition of the existing structure has taken place.

Please contact me with any additional inquiries.

Sincerely,

Thomas Lance

Financial Advisor

Monarch Capital Advisors

Atlanta, GA

770-847-9362

**Georgia Historic Resources**  
**Historic Preservation Division,**  
**Georgia Department of Natural Resources.**

Resource ID	206781
County	Gwinnett
Item 1. Resource Name	
Item 3. Resource Address/Location	146 North Barton Street Norcross 30071
Item 4. Owner's Name and Address	
Item 5. Classification	Building
Item 7. Current Use	Domestic/residential-Single dwelling
Item 7. Original Use	Domestic/residential-Single dwelling
Item 8. Date of Construction (or estimate)	c1920
Item 9. Major Changes	Altered: <u>Description</u> <u>Date</u>
	Additions: <u>Description</u> <u>Date</u> rear and carport
	Moved: <u>Description</u> <u>Date</u>
	Destroyed: <u>Description:</u> <u>Date:</u>
Item 10. Architect/engineer/designer	Unknown
Item 11. Contractor/builder/craftsman	Unknown
Item 12. Style	Craftsman
Item 13. Building Type	House types-Pyramid cottage
Item 14. Original Floor Plan	Three or more rooms [Two rooms]
Item 15. Plan Shape	Square
Item 16. Number Of Stories	One
Item 17. Facade Symmetry	Asymmetric
Item 17. Front Door(s)	One door
Item 18. Roof Type	Hip
Item 18. Roof Material	Composition shingle/asphalt shingle
Item 19. Chimney placement and	

<b>Material</b>	Gable-end, exterior [Brick]
<b>Item 20. Type Of Construction</b>	Balloon frame/platform frame
<b>Item 21. Exterior material(s)</b>	Wood-Weatherboard/clapboard/beveled siding
<b>Item 22. Foundation material(s)</b>	Stone
<b>Item 23. Porches</b>	Portico [Front] [1 story] [Partial] [Wood] [Gable]
<b>Item 24. Windows</b>	Double-hung sash [Flat-headed] [1/1] [Rectangular] Fixed [Flat-headed] [Rectangular]
<b>Item 25. Additional physical description</b>	fixed single light window; exposed rafters; wooden plank roof over porch with shingles; front porch screened
<b>Item 26. Pictures</b>	<a href="#">Resource 57-b.jpg (96k)</a> <a href="#">Resource 57-a.jpg (90k)</a> <a href="#">Resource 57-c.jpg (92k)</a>
<b>Item 27. Description of outbuildings (if any)</b>	Implement shed
<b>Item 29. Description of Landscape Features</b>	Yard setting-Casual/unplanned
<b>Item 30. Count</b>	<b>Number of Buildings:</b> 1 <b>Number of Structures:</b> 0 <b>Number of Outbuildings:</b> 1 <b>Number of Sites:</b> 0 <b>Number of Landscape features:</b> 0
<b>Item 31. Description of the environment</b>	Town-Residential [Mixed old and new]
<b>Item 32. Archeological Potential</b>	
<b>Item 33. History</b>	
<b>Item 34. Historical theme(s)</b>	Architecture
<b>Item 34. Distinctive aspects of GA's history</b>	
<b>Item 35. Significance</b>	Architecture-Architectural type-Common Architecture-Architectural design [Good example/illustration] Architecture-Craftsmanship [Good example/illustration]
<b>Item 36. Sources of Information</b>	
<b>Item 37. Prepared By</b>	Susanne Perry Terracon 2855 Premiere Parkway Suite C Duluth GA 30097

<b>Item 38. Date Of Survey</b>	<u>Survey Resurvey</u> 2007		
<b>Item 39. Government preservation activity</b>			
<b>Item 40. National Register Eligibility</b>	Appears to meet Nat. Reg. criteria		
<b>Item 41. USGS quadrangle name</b>	Norcross		
<b>Item 41. UTM Reference and XY Coordinates</b>	<u>Zone</u>	<u>Easting</u>	<u>Northing</u>
	16	757461	3759359
	<u>X Coordinate</u>	<u>Y Coordinate</u>	
	-84.214325246725	33.94499124117	
<b>Item 42. Tax map number</b>	6254 135		
<b>Item 43. Recognition and Date</b>	<u>Recognition Date</u>		
<b>Item 43. State Agency</b>			
<b>Item 43. Condition</b>	<u>Condition Due To</u>	<u>Threatened By</u>	
	<u>Good</u>	<u>Structure</u>	

- **TIP:** To print this report select Print from the browser 'File' menu.
- These results are based on survey data in the database at the time of the search. Not all areas of the state have been surveyed, and not all surveyed areas have been surveyed to current standards. Unsurveyed resources meeting the parameters of your search/query may exist in surveyed and unsurveyed areas.
- This is a product of Georgia's Natural, Archaeological, and Historic Resources GIS developed by The Carl Vinson Institute of Government, ITOS Division at The University of Georgia. The University of Georgia expressly disclaims responsibility for damages or liability that may arise from the use of this report.



Photo 1: 206781



Photo 2: 206781



Photo 3: 206781



# Historic Demolition Questionnaire

Community Development Department  
678-421-2027 | 65 Lawrenceville Street Norcross, GA 30071

If the property is located within the National or Local Historic District, please complete this application form in addition to the Demolition Permit Application.

## ARCHITECTURAL INFORMATION

1. Would you like to request an inspection by the City of Norcross Building Official to confirm if this building, structure, or part thereof is deemed an immediate threat to public health or safety, per section 307-6 (f) (8)?  Yes  No
2. Provide a brief description of the materials, configuration, and use of the existing structure. If additional space is required, use a separate sheet of paper and label it attachment "A":  
Small (aprox 800 sq ft) 1920s built cottage with attached single carport. See attachment A
3. Provide a brief explanation of why the historic demolition is requested. If additional space is required, use a separate sheet of paper and label it attachment "B":  
The existing structure cannot be expanded into full size, two storey house. See attachment B
4. Provide a brief description of the proposed reuse, reconstruction, or replacement of the existing building. If additional space is required, use a separate sheet of paper and label it attachment "C" (This can be supplemented by the Architectural Review Board or Historic Preservation Commission application):  
The existing building will be replaced with the structure built in compliance with historical themes

## ABUTTING PROPERTY INFORMATION

Provide the names and addresses of all property owners abutting the property on which the historic demolition is requested. If additional space is required, use a separate sheet of paper and label it attachment "E":

1.	Name:	Address:
	Phone:	Email:
2.	Name:	Address:
	Phone:	Email:
3.	Name:	Address:
	Phone:	Email:
4.	Name:	Address:
	Phone:	Email:

## APPLICANT SIGNATURE (please read and initial)

\_\_\_\_\_ Application is hereby made according to the laws and ordinances of the City of Norcross for a permit to demolish a building, structure or part thereof located within the National Historic District as described herein or shown on accompanying plan and specification, to be located as shown on accompanying plat plan and if same is granted, agree to conform to all laws and ordinances regulating same. Demolition will be started no later than six months from date of permit issue. Personally appeared the above named applicant, who under oath says that he/she is the applicant for the foregoing, and that all the above statements are true to the best of his/her knowledge.

Applicant Name (Print): Susan Tanner	Signature: <i>Susan Tanner</i>	Date: 5/19/2025
---	-----------------------------------	--------------------

# Historic Demolition Questionnaire

## Attachment A

- Barton 146 cottage is a one level property with an extension to the back and a carport on its left side. It features approx 840 sq ft and consist of **entry room with a fireplace, two small bedrooms, kitchen that is partially expanded to the back (via the added-on extension) and a bathroom in the same extension part of the structure. Entry to the bathroom is from the kitchen. In the front, there is a small porch with the staircase.**



- The cottage has three windows (two in one bedroom and one in the second bedroom), three doors (one front the entrance porch, second from the carport, both doors lead to the front entry room) and one door from the kitchen to the backyard. There is one half size window from the kitchen to the backyard. Right side view is shown below:



- The cottage occupies approx. 1/3<sup>rd</sup> of the lot and is tucked to its right side. A car port is on its left side, closer to the centre of the lot. Left side view is shown below:



- There is small crawl space with inadequate clearance between the soil and unprotected floor wood joist/floor.
- The cottage siding is made of painted wood and due to the slope of the grade of the lot its back touches the soil in the back as shown on the photo below



# Historic Demolition Questionnaire

## Attachment B

- 146 N Barton St property layout is not suitable for new extensions to the left side due to the location of the carport and the fireplace, both blocking the left side of the structure. The right side of the cottage is too close to the next door neighbour's driveway.
- 
- The later-added extension of the cottage rests on the existing foundations on one side and on 4x4 posts from the ground in the back of it. This extension has already settled differently from the original cottage as seen in the photo below.



- The rain water from the uphill houses and lots from N Peachtree St. flows under the cottage extension as seen on the photo below. The foundation of the extension will have to be rebuilt to better manage the water flow



- Current floor joists are spaced 20" and are supported by adjustable metal jacks in the crawl space. These joists will have to be reinstalled closer to each other to meet current building code (16" max. spacing). The metal jacks will have to be relocated. Most likely, the floors will need to be removed and re-installed on properly built joist
- Short foundation walls do not permit thru-wall vents and allow for proper ventilation of the crawl space.
- The current cottage siding is made of wood and due to the slope of the grade in the back, it touches the soil. All walls and floors will have to be inspected for rot, mould, termites, insects and, replaced or properly remedied. It will require opening the walls and floors
- The extension of the kitchen and the bathroom does not rest on foundations on one side of it and it already begun sinking into the ground.
  - Kitchen will have to be moved from the current unsafe location and rebuilt
  - Bathroom will have to be moved from the current unsafe location in the extension
  - Water heater will have to be relocated from the extension
- The fireplace chimney will have to be replaced as it poses a danger of falling. Chimney of the fireplace has crumbling mortar in the brick veneer, and it tilts away from the house. The rubble foundation for the chimney has settled more than the adjacent concrete masonry foundation. The integrity of the fireplace flue is also questionable.



- Front porch will need to be rebuilt to address slope and framing issues highlighted in the report.
- The carport structure was built on a driveway slab without proper foundations. It will need to be replaced with a proper garage.
- Old electrical wiring inside the cottage walls does not have a ground wire. Wiring inside the carport is stapled to the wall without protection.
  - Electrical wiring will have to be inspected and replaced where needed, by opening the walls and ceilings&floors.
  - Electrical distribution/breaker panel will have to be relocated from the bedroom.
- All water and drainage plumbing pipes will have to be rerouted to the new kitchen and bathroom locations.
  - Gas pipes will have to be rerouted to the new kitchen location, to HVAC furnaces and to the water heater

- HVAC system and ducts have to be removed and rebuilt for a two-story dual system
- The front porch is close to the ground with the stairs and front stoop settled down. The floor is uneven and rotted
- As per Consulting Engineers' report (Exhibit D) commenting on the potential renovation of the existing cottage:
  - *"Once the potential renovation begins, inadequately sized wood members and construction details that do not satisfy load-carrying requirements will be uncovered, necessitating replacement of the majority of the framing"*
  - *"Our experience with similar projects has been that additional issues will be discovered once the repair and reconstruction process begins"*
  - *Considering the extensive reconstruction of the foundation and framing, as well as the regrading and site work, it will be more cost effective to raze the existing structure*

**In summary:**

- We bought the 146 N Barton cottage with the intent of expanding it into a more spacious home to "age in place" while maintaining the integrity and appreciation of Historic Norcross. After discussing our options with the builders working in Norcross (Stan Howington and Ethan Frazier) and especially after inspection done by the Consulting Engineers (who also worked in the area), we do not see the path to an attractive, safe and livable home without demolition of the current structure

For May 19th, 2026  
ARB Hearing

# BUGAJSKI RESIDENCE

## THE BRENTWOOD 2 PLAN

### GENERAL NOTES :

- THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED OR REVISED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE SITE AND ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DEVELOPER AND THE DESIGNER BEFORE PROCEEDING WITH WORK.
- ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO DEVELOPERS AND DESIGNERS ATTENTION IMMEDIATELY.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED.
- ALL TRUSS DRAWINGS TO BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF BUILDING PERMIT.
- ALL OR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY CITY BUILDING OFFICIAL PRIOR TO INSTALLATION.
- ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS OTHERWISE NOTED.
- PROVIDE FIREBLOCKING. (PER IRC SECTION R602.3)
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT AND METERS ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS, CONTRACTOR TO VERIFY.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE PRIOR TO CONSTRUCTION. IF THERE IS A CONFLICT WITH CONDITIONS AND/OR DIMENSIONS CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY.
- WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN ALL BEDROOMS TO HAVE A CLEAR EGRESS OPENING OF 5.7 SQ FT WITH MIN. DIMENSION OF 24" IN HEIGHT AND 20" IN WIDTH; SILL HEIGHT NOT GREATER THAN 44" ABOVE FLOOR. (PER IRC SECTION R310.1.1)

### FRONT ELEVATION



### APPLICABLE CODES:

- 2018 INTERNATIONAL RESIDENTIAL CODE WITH 2020 & 2024 GEORGIA STATE AMENDMENTS
- 2018 INTERNATIONAL BUILDING CODE WITH 2020, 2022, 2024 & 2025 GEORGIA STATE AMENDMENTS
- 2018 INTERNATIONAL MECHANICAL CODE WITH 2020, 2024 GEORGIA STATE AMENDMENTS
- 2018 INTERNATIONAL PLUMBING CODE WITH 2020, 2022, 2023, 2024 GEORGIA STATE AMENDMENTS
- 2018 INTERNATIONAL FUEL GAS CODE WITH 2020, 2022 GEORGIA STATE AMENDMENTS
- 2018 INTERNATIONAL FIRE CODE WITH 2022 GEORGIA STATE FIRE COMMISSIONER AMENDMENTS 120-3-3-04
- NATIONAL ELECTRICAL CODE, 2023 EDITION
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH 2020, 2022, 2023 GEORGIA STATE SUPPLEMENTS AND AMENDMENTS
- INTERNATIONAL SWIMMING POOL AND SPA CODE, 2018 EDITION, WITH 2020 GEORGIA AMENDMENTS
- FOR INFORMATION AND QUESTIONS REGARDING THE LIFE SAFETY CODE (NFPA 101) OR THE GEORGIA ACCESSIBILITY CODE PLEASE CONTACT THE STATE FIRE MARSHAL'S OFFICE.

### CODE INFORMATION:

USE GROUP:  
APPLICABLE CODES:  
HEIGHT & AREA LIMITATION:  
EMERGENCY ESCAPE:

GARAGE/ HOUSE CEILING/  
HOUSE ASSEMBLY:

DESIGN LOADS:

ATTIC VENTILATION:  
(EXAMPLE)

SINGLE FAMILY DWELING  
THE PROJECT MUST COMPLY WITH CITY & STATE BLDNG. CODE  
2 STORY MAXIMUM HGT. 35 FT.  
EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS  
SHALL HAVE A MINIMUM OF 5.7 SQ. FT.

1/2" GYPSUM BD. WALL & CEILING  
W/ 20 MINUTE GARAGE/ HOUSE DOOR

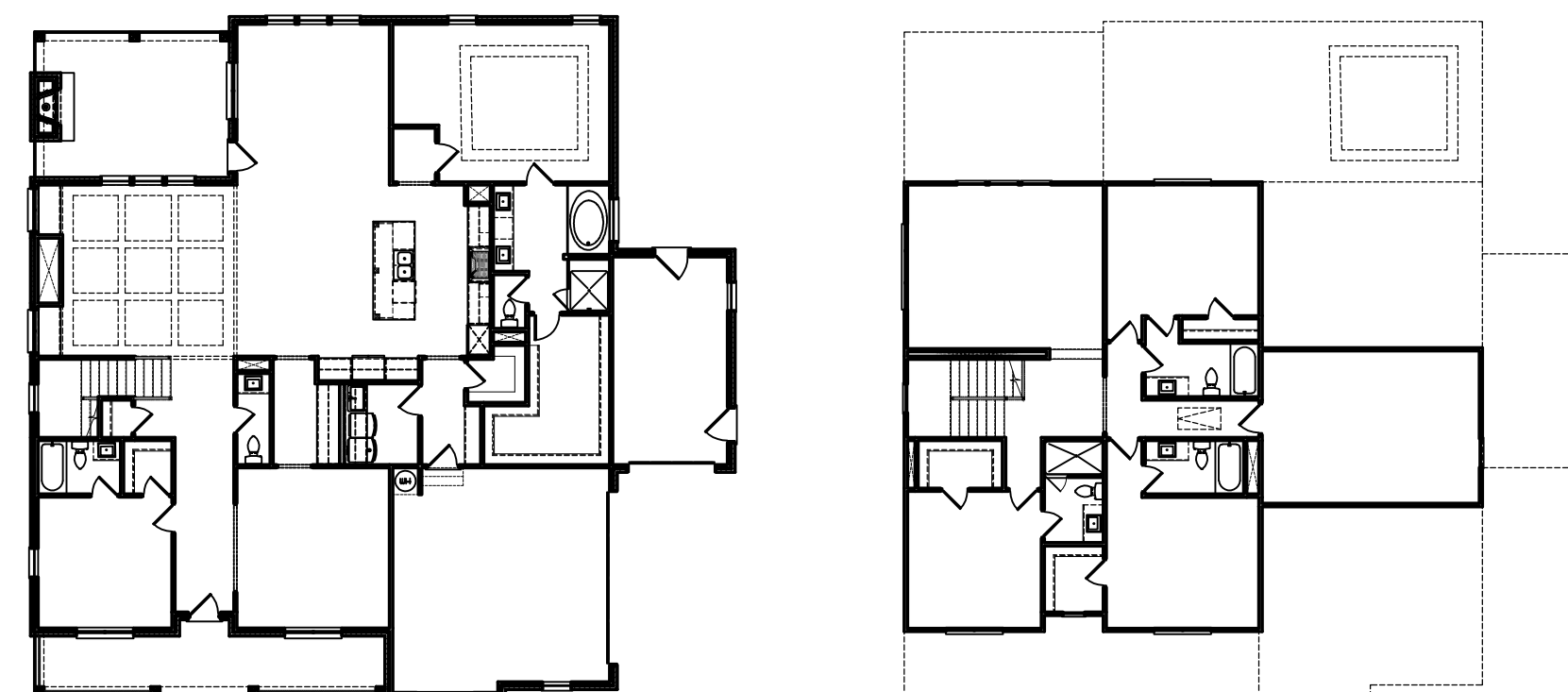
LIVE LOAD:  
SLEEPING = 30 PSF  
NON-SLEEPING = 40 PSF  
DECKS = 40 PSF  
DEAD LOAD = 10 PSF  
BASIC WIND SPEED = 80 MPH  
STAIR LOAD = 40 PSF  
ROOF LIVE LOAD = 20 PSF  
LATERAL SOIL PRESSURE = 30 PCF (ASSUMED)

2398 SF. / 300 = 7.99 SF. FREE AREA REQ'D  
RIDGE VENT = 39 LF. X .085 FREE AREA/LF = 3.31 SF. PROVIDED  
SOFFIT VENT = 54 LF. X .045 FREE AREA/LF = 2.43 SF. PROVIDED

### DRAWING INDEX:

- C00 COVER SHEET
- A11 FRONT ELEVATION
- A21 SIDE ELEVATIONS
- A22 REAR ELEVATION
- A31 SLAB PLAN
- A4.1 MAIN FLOOR PLAN
- A5.1 UPPER FLOOR PLAN
- A6.1 ROOF PLAN
- A7.1 ELECTRICAL PLANS
- A8.1 FRAMING DETAILS
- A8.2 EXTERIOR DETAILS

### FOOTPRINT



### AREA CALCULATION:

65' x 63'

SQUARE FOOTAGE:	
MAIN LEVEL	2,476
UPPER LEVEL	1,317
TOTAL HEATED	3,793
2 CAR GARAGE	430
3RD CAR GARAGE	220
FRONT PORCH	207
REAR COVERED PORCH	260
UNFINISHED ATTIC STORAGE	305
TOTAL FRAMED	5,215

NO.	DESCRIPTION :	DATE :

DESIGNER :

**VIEWPOINT DESIGN**

4841 BELLE ESTATES RD.  
SUWANEE, GEORGIA, 30024  
gc.viewpointdesign@gmail.com  
PHONE (404) 518-0956

DESIGNER HEREBY EXPRESSLY RESERVES HIS COPYRIGHT AND OTHER PROPERTY RIGHT IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF THE DESIGNER. NOR ARE THEY TO BE ASSIGNED TO ANY INTERESTS WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT. DESIGN DRAWING CONTENTS SUBJECT TO ALL APPLICABLE CODES, AND APPROVAL BY A LICENSED ENGINEER AND OR ARCHITECT.

PROJECT NAME :

**BUGAJSKI RESIDENCE**  
THE BRENTWOOD 2  
SINGLE FAMILY RESIDENCE

CLIENT/ BUILDER

**FRAZIER**  
FAMILY HOMES  
390 BROGDON RD.,  
SUWANEE, GA 30024

SHEET TITLE

**COVER SHEET**

Date 5/6/2026  
Scale AS NOTED  
Drawn By GC  
Job No. N/A  
Sheet

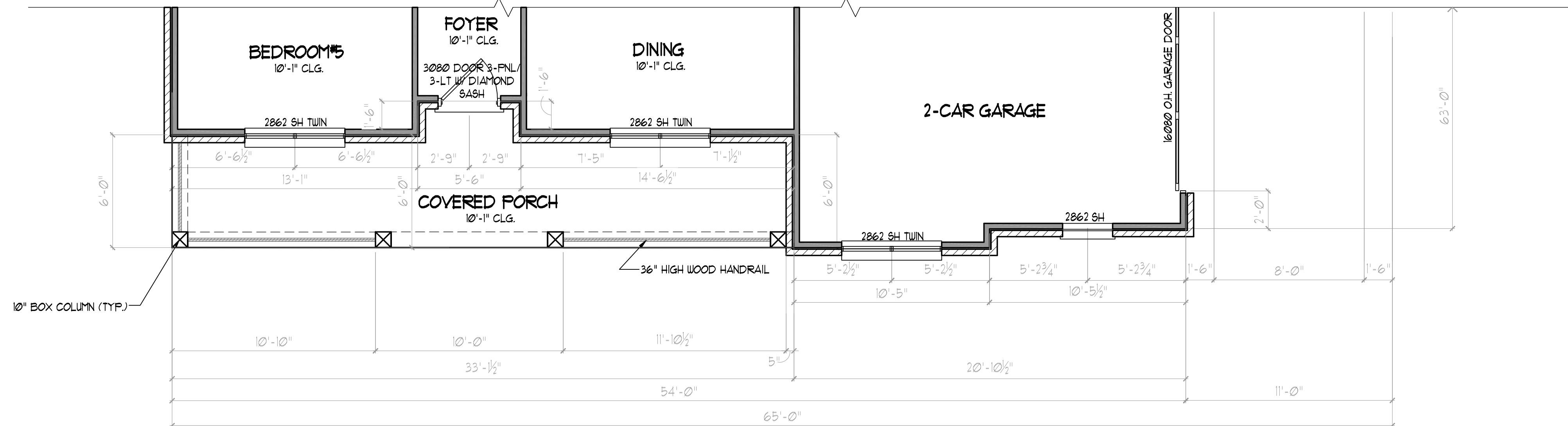
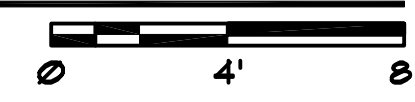
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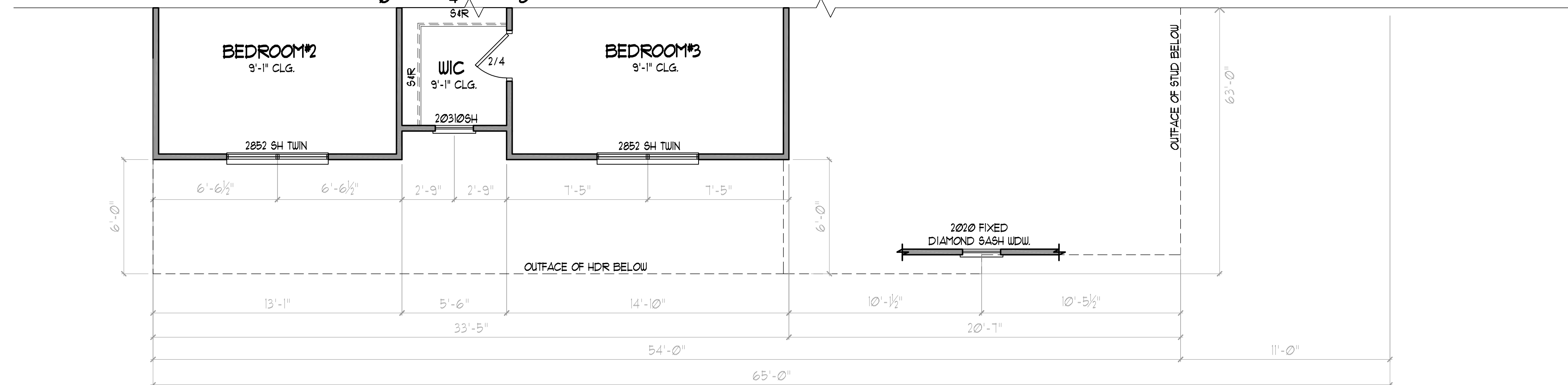
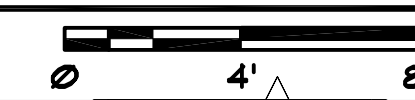
1 Front Elevation

A12 SCALE: 1/4" = 1'-0"



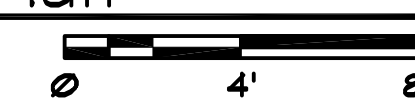
2 1st Floor Plan

A12 SCALE: 1/4" = 1'-0"



3 2nd Floor Plan

A12 SCALE: 1/4" = 1'-0"



NO.	DESCRIPTION	DATE

DESIGNER:  
**VIEWPOINT DESIGN**  
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 SUWANEE, GEORGIA 30024  
 gc.viewpointdesign@gmail.com  
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PROJECT NAME:  
**BUGAJSKI RESIDENCE**  
 THE BRENTWOOD 2  
 SINGLE FAMILY RESIDENCE

CLIENT/BUILDER  
  
**FRAZIER**  
 FAMILY HOMES  
 390 BROGDON RD.,  
 SUWANEE, GA 30024

SHEET TITLE  
**ELEVATION 'A'**

Date	5/6/2026
Scale	AS NOTED
Drawn By	GC
Job No.	N/A
Sheet	<b>A1.1</b>

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1 Left Side Elevation 'B'  
 A21 SCALE: 1/4" = 1'-0"  
 0 4' 8'

EXTERIOR ELEVATION NOTES:

1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



2 Right Side Elevation 'B'  
 A21 SCALE: 1/4" = 1'-0"  
 0 4' 8'

NO.	DESCRIPTION	DATE

DESIGNER:  
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 4841 BELLE ESTATES RD.  
 SUWANEE, GEORGIA 30024  
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PROJECT NAME:  
**BUGAJSKI RESIDENCE**  
 THE BRENTWOOD 2  
 SINGLE FAMILY RESIDENCE

CLIENT/ BUILDER  
**FRAZIER**  
 FAMILY HOMES  
 390 BROGDON RD.,  
 SUWANEE, GA 30024

SHEET TITLE  
 SIDE ELEVATIONS

Date	5/6/2026
Scale	AS NOTED
Drawn By	GC
Job No.	N/A
Sheet	A2.1

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1 Rear Elevation  
 A22 SCALE: 1/4" = 1'-0"  
 0 4' 8'

**EXTERIOR ELEVATION NOTES:**

1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.

NO.	DESCRIPTION :	DATE :

DESIGNER :  
**VIEWPOINT DESIGN**  
 4841 BELLE ESTATES RD.  
 SUWANEE, GEORGIA, 30024  
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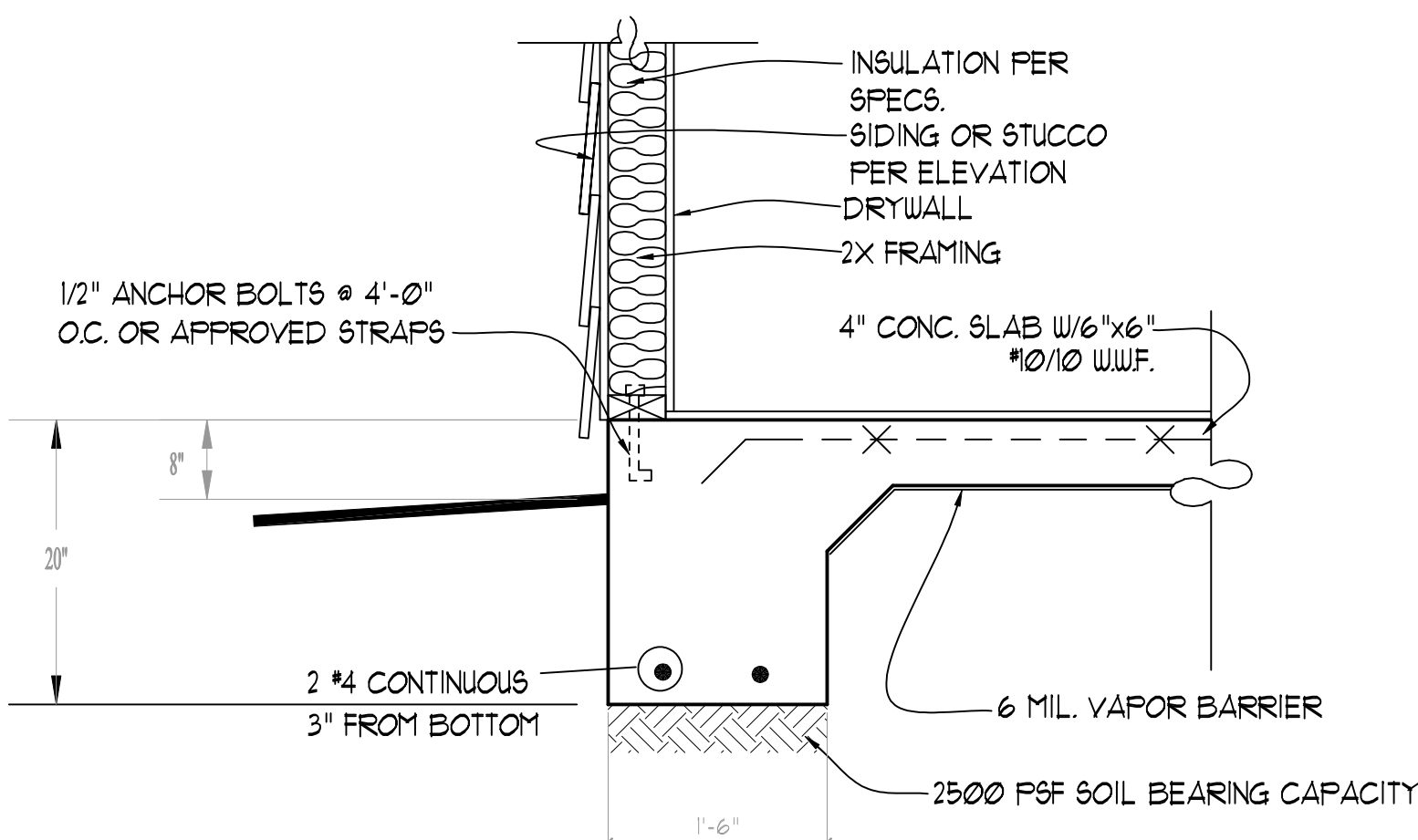
PROJECT NAME :  
**BUGAJSKI RESIDENCE**  
**THE BRENTWOOD 2**  
**SINGLE FAMILY RESIDENCE**

CLIENT/ BUILDER  
  
**FRAZIER**  
 FAMILY HOMES  
 390 BROGDON RD.,  
 SUWANEE, GA 30024

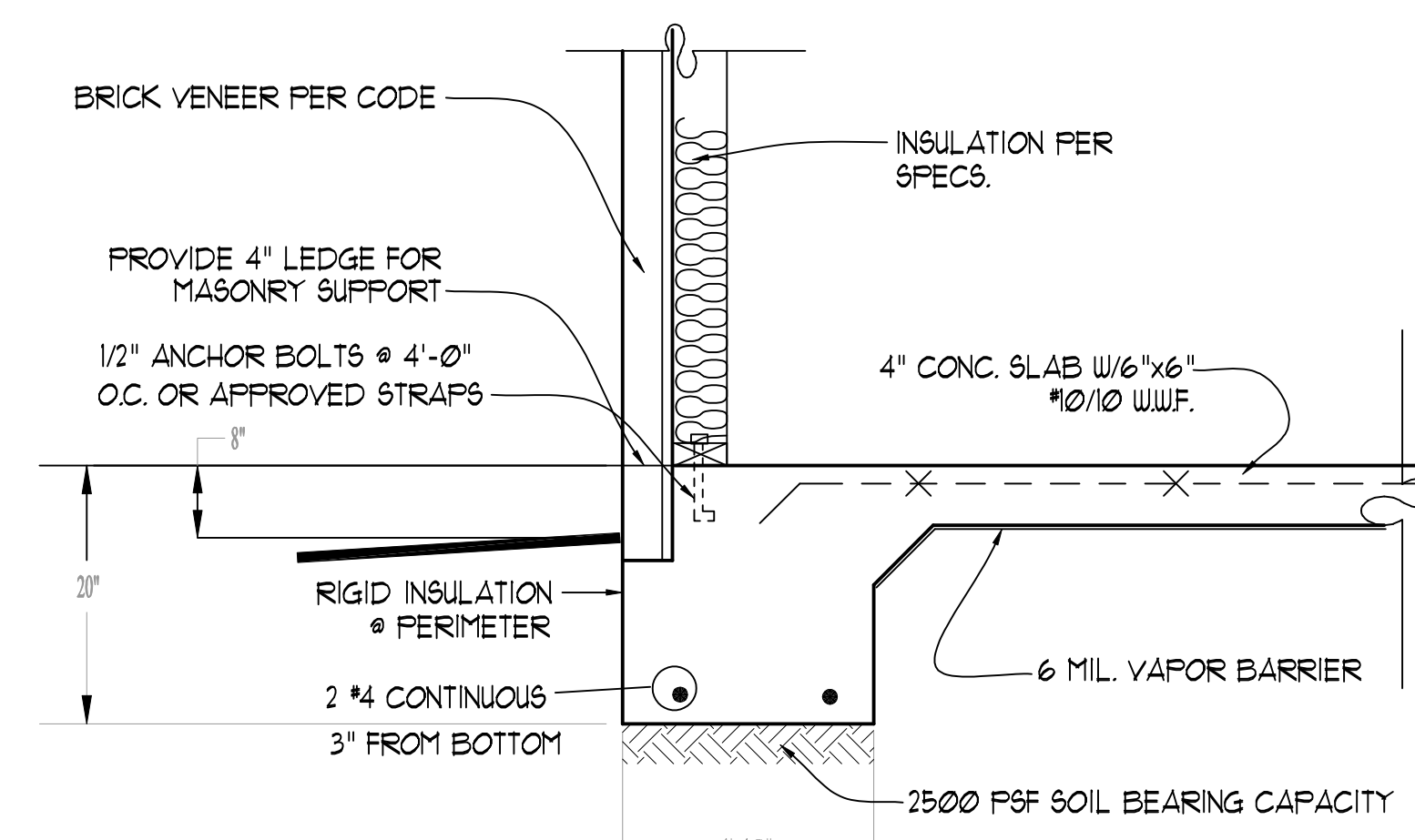
SHEET TITLE  
**REAR ELEVATION**

Date	5/6/2026
Scale	AS NOTED
Drawn By	GC
Job No.	N/A
Sheet	<b>A2.2</b>

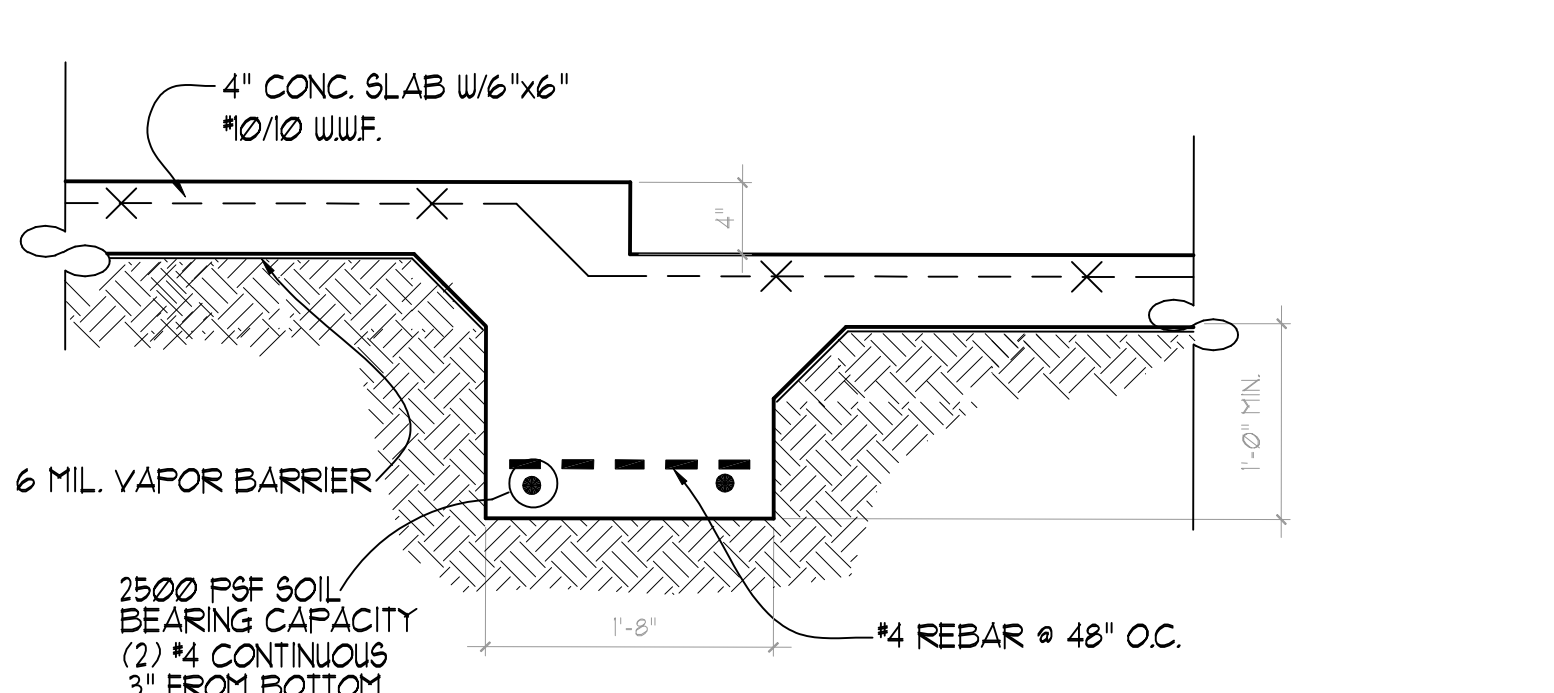
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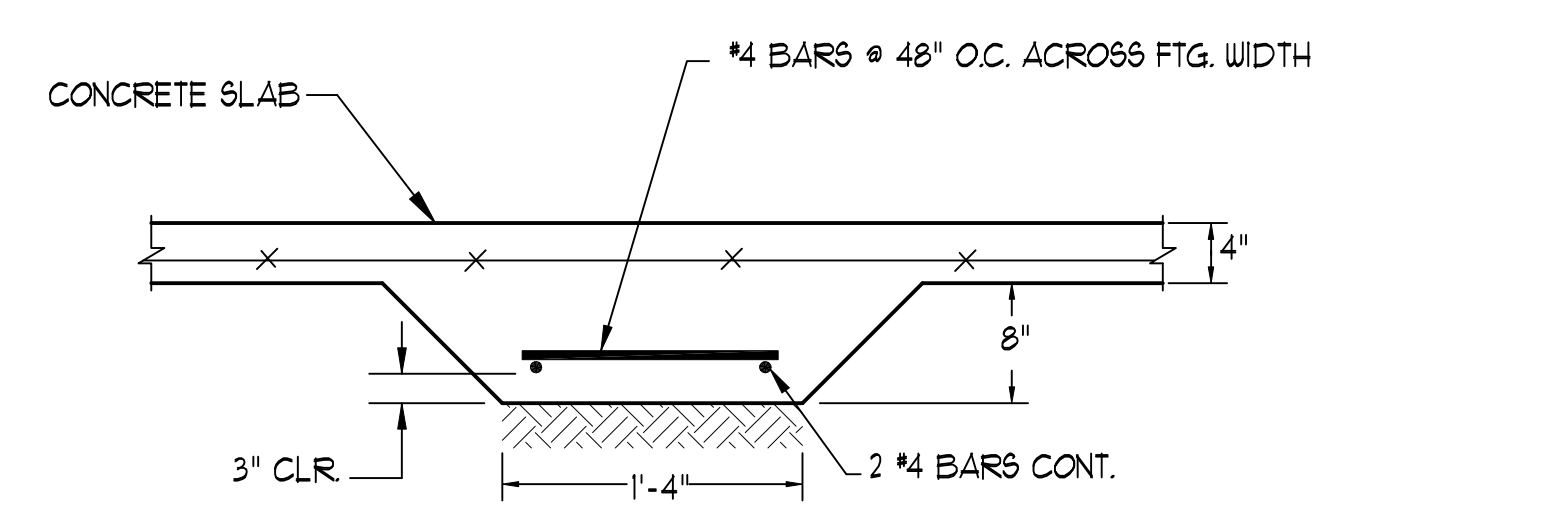
2 TURNDOWN SLAB SECTION W/O BRICK VENEER  
SCALE: NTS



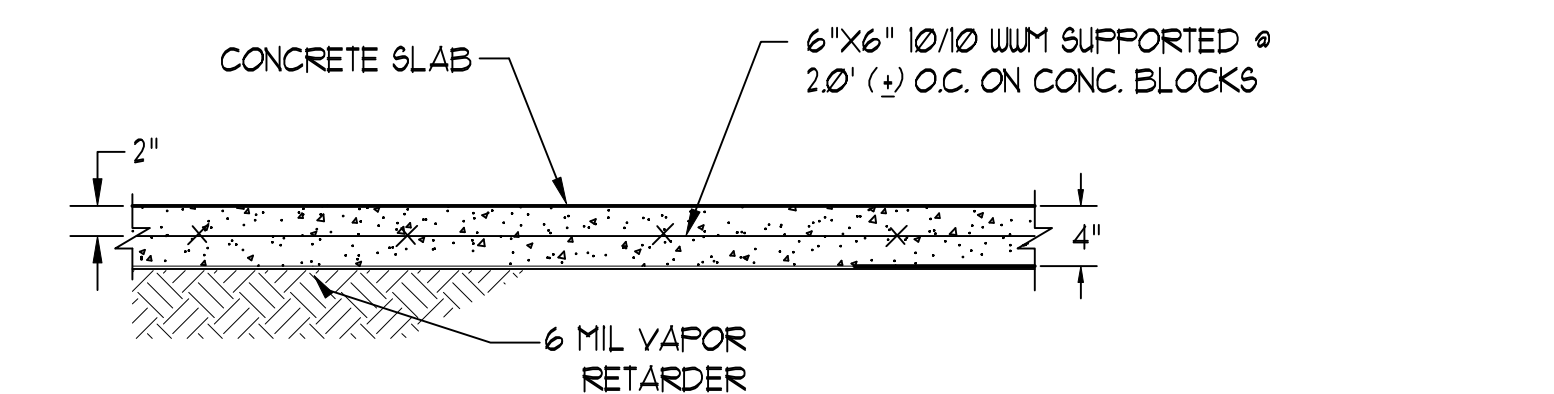
3 TURNDOWN SLAB SECTION W/ BRICK VENEER  
SCALE: NTS



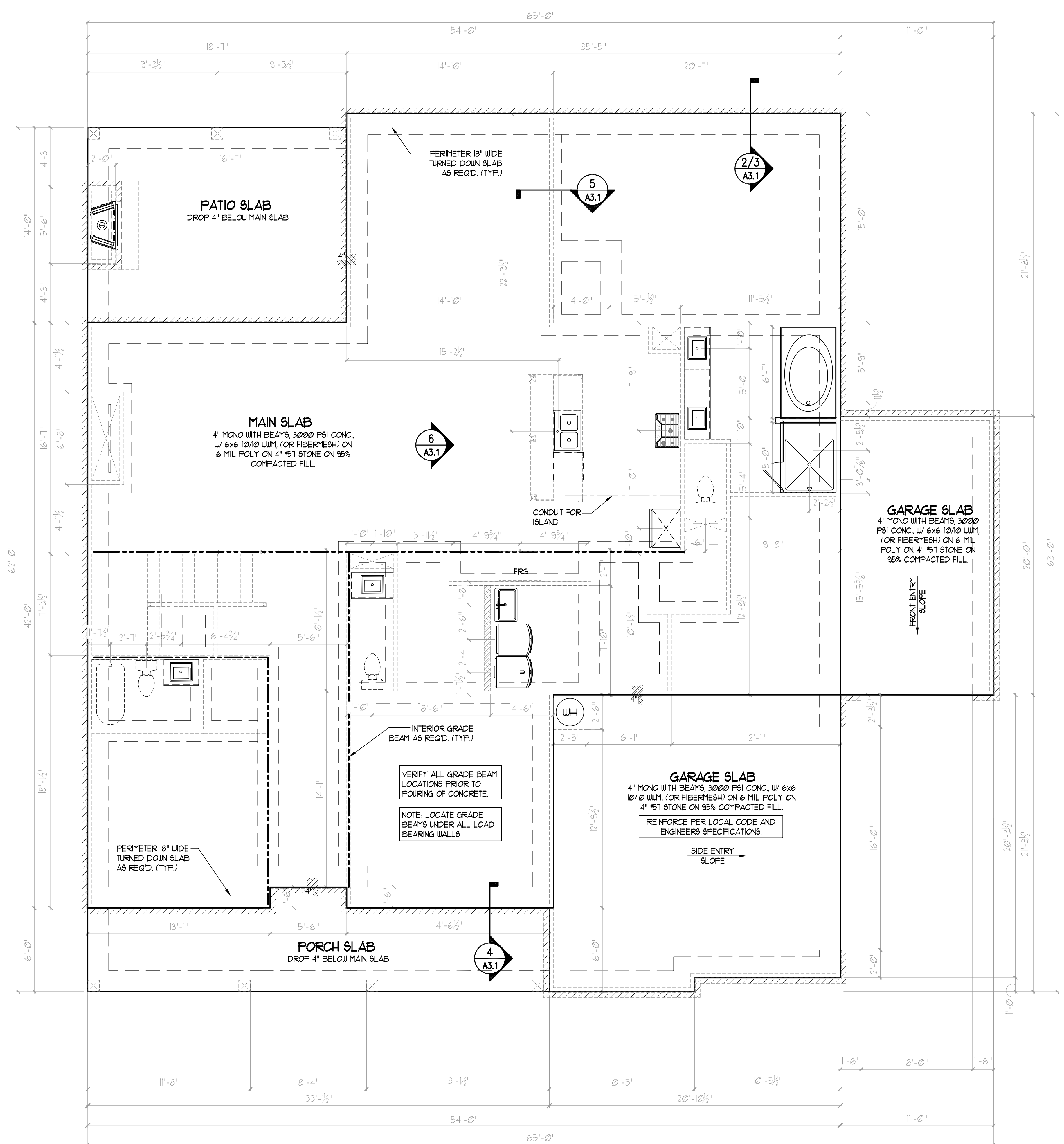
4 STEPPED SLAB SECTION  
SCALE: NTS



5 INTERIOR GRADE BEAM  
SCALE: NTS



6 TYPICAL SLAB ON GRADE  
SCALE: NTS



1 Slab Foundation Plan  
SCALE: 1/4" = 1'-0"  
0 4' 8'

NOTE: VERIFY W/ FLOOR TRUSS PROVIDER ANY LOCATIONS FOR THICKENED SLABS PRIOR TO PLACEMENT OF CONCRETE SLAB.

NO.	DESCRIPTION	DATE

DESIGNER:  
**VIEWPOINT DESIGN**  
4841 BELLE ESTATES RD.  
SUWANEE, GEORGIA 30024  
gc.viewpointdesign@gmail.com  
PHONE (404) 518-0956

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PROJECT NAME:  
**BUGAJSKI RESIDENCE**  
THE BRENTWOOD 2  
SINGLE FAMILY RESIDENCE

CLIENT/ BUILDER:  
**FRAZIER**  
FAMILY HOMES  
390 BROGDON RD.,  
SUWANEE, GA 30024

SHEET TITLE  
**SLAB PLAN**

Date 5/6/2026

Scale AS NOTED

Drawn By GC

Job No. N/A

Sheet **A3.1**

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- NOTES:
- ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
  - ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
  - VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
  - CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL, PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
  - ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.

- FORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD. IRC 2018, R312.1.1 & R312.1.2
- MISCELLANEOUS APPLIANCES IN ATTICS, ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN 20 FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 9 NOT LESS THAN 24 INCHES WIDE, A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.

EXCEPTIONS:

- THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING.

- WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONG.

- APPLIANCE ACCESS FOR INSPECTION SERVICE, REPAIR AND REPLACEMENT. APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL WORKING SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. M1505.1.1

- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLIING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING. ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM OF 5.7 SQUARE FEET NET CLEAR OPENING AS PER IRC 2018 R310.2.1. EXCEPTION: GRADE FLOOR OR BELOW GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. MAXIMUM GILL HEIGHT TO BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.

- ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M1602 OF THE IRC 2018.
- ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTED RESIDENCE OR BUILDING.
- ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2018, M1505.2

SQUARE FOOTAGE:	
MAIN LEVEL	2,416
UPPER LEVEL	1,311
TOTAL HEATED	3,727
2 CAR GARAGE	430
3RD CAR GARAGE	220
FRONT PORCH	201
REAR COVERED PORCH	260
UNFINISHED ATTIC STORAGE	305
TOTAL FRAMED	5,215



1st Floor Plan  
 SCALE: 1/4" = 1'-0"  
 0 4 8'

NO.	DESCRIPTION	DATE

DESIGNER:  
**VIEWPOINT DESIGN**  
 4841 BELLE ESTATES RD.  
 SUWANEE, GEORGIA 30024  
 gc.viewpointdesign@gmail.com  
 PHONE (404) 518-0956

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PROJECT NAME:  
**BUGAJSKI RESIDENCE**  
**THE BRENTWOOD 2**  
**SINGLE FAMILY RESIDENCE**

CLIENT/BUILDER  
**FRAZIER**  
 FAMILY HOMES  
 390 BROGDON RD.,  
 SUWANEE, GA 30024

SHEET TITLE  
**MAIN LEVEL FLOOR PLAN**

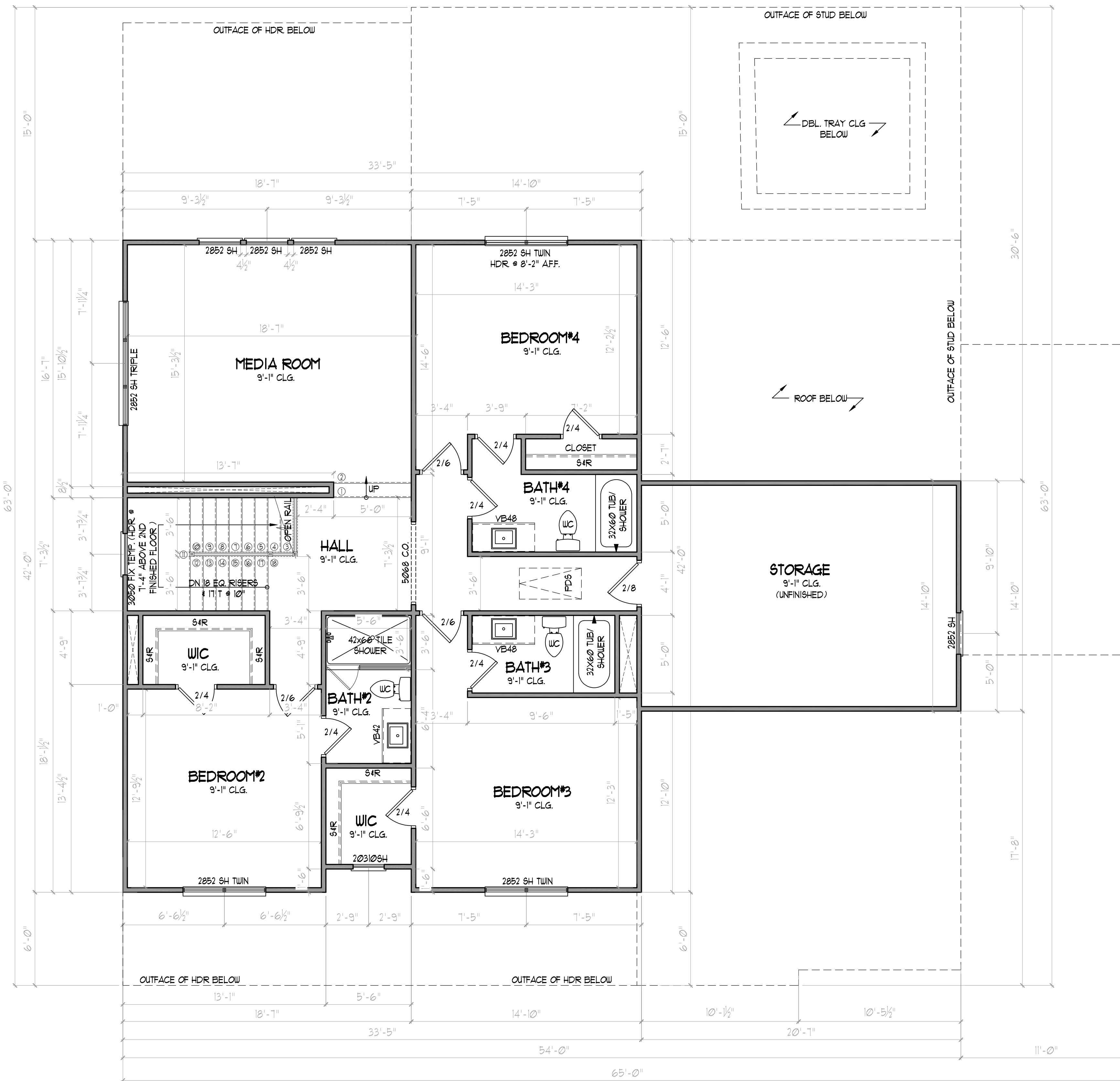
Date	5/6/2026
Scale	AS NOTED
Drawn By	GC
Job No.	N/A
Sheet	A4.1

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SQUARE FOOTAGE:	
MAIN LEVEL	2,416
UPPER LEVEL	1,311
TOTAL HEATED	3,727
2 CAR GARAGE	430
3RD CAR GARAGE	220
FRONT PORCH	201
REAR COVERED PORCH	260
UNFINISHED ATTIC STORAGE	305
TOTAL FRAMED	5,215



1 2nd Floor Plan  
 A5.1 SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION :	DATE :

DESIGNER :

**VIEWPOINT DESIGN**

4841 BELLE ESTATES RD.  
 SUWANEE, GEORGIA, 30024  
 gc.viewpointdesign@gmail.com  
 PHONE: (404) 518-0956

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PROJECT NAME :

**BUGAJSKI RESIDENCE**  
 THE BRENTWOOD 2  
 SINGLE FAMILY RESIDENCE

CLIENT/BUILDER

**FRAZIER**

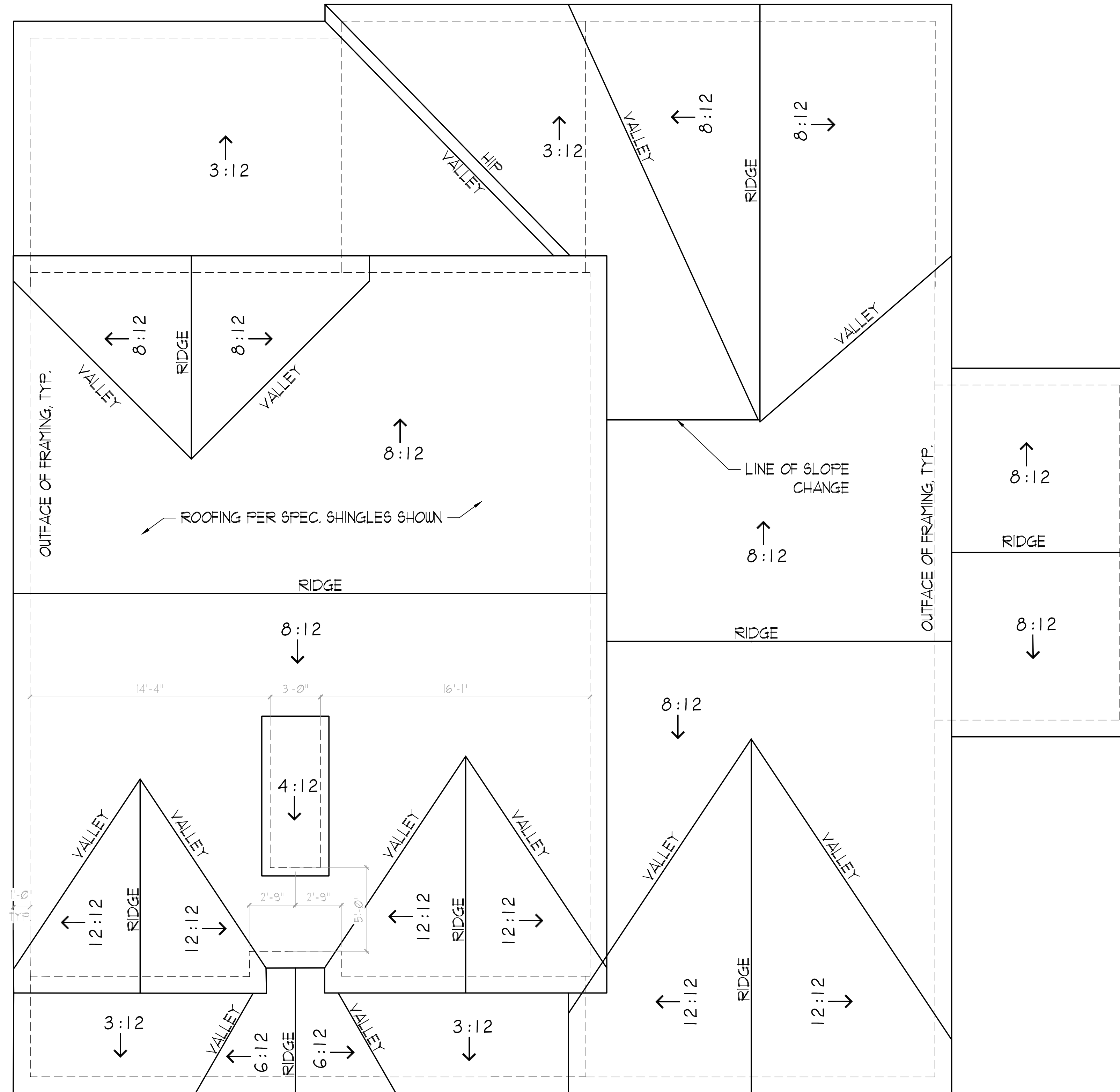
FAMILY HOMES  
 390 BROGDON RD.,  
 SUWANEE, GA 30024

SHEET TITLE

OPT. UPPER LEVEL  
 FLOOR PLAN

Date	5/6/2026
Scale	AS NOTED
Drawn By	GC
Job No.	N/A
Sheet	<b>A5.1</b>

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1 Roof Plan  
 A6.1 SCALE: 1/4" = 1'-0"  
 0 4 8'

NO.	DESCRIPTION :	DATE :

DESIGNER :  
**VIEWPOINT DESIGN**  
 4841 BELLE ESTATES RD.  
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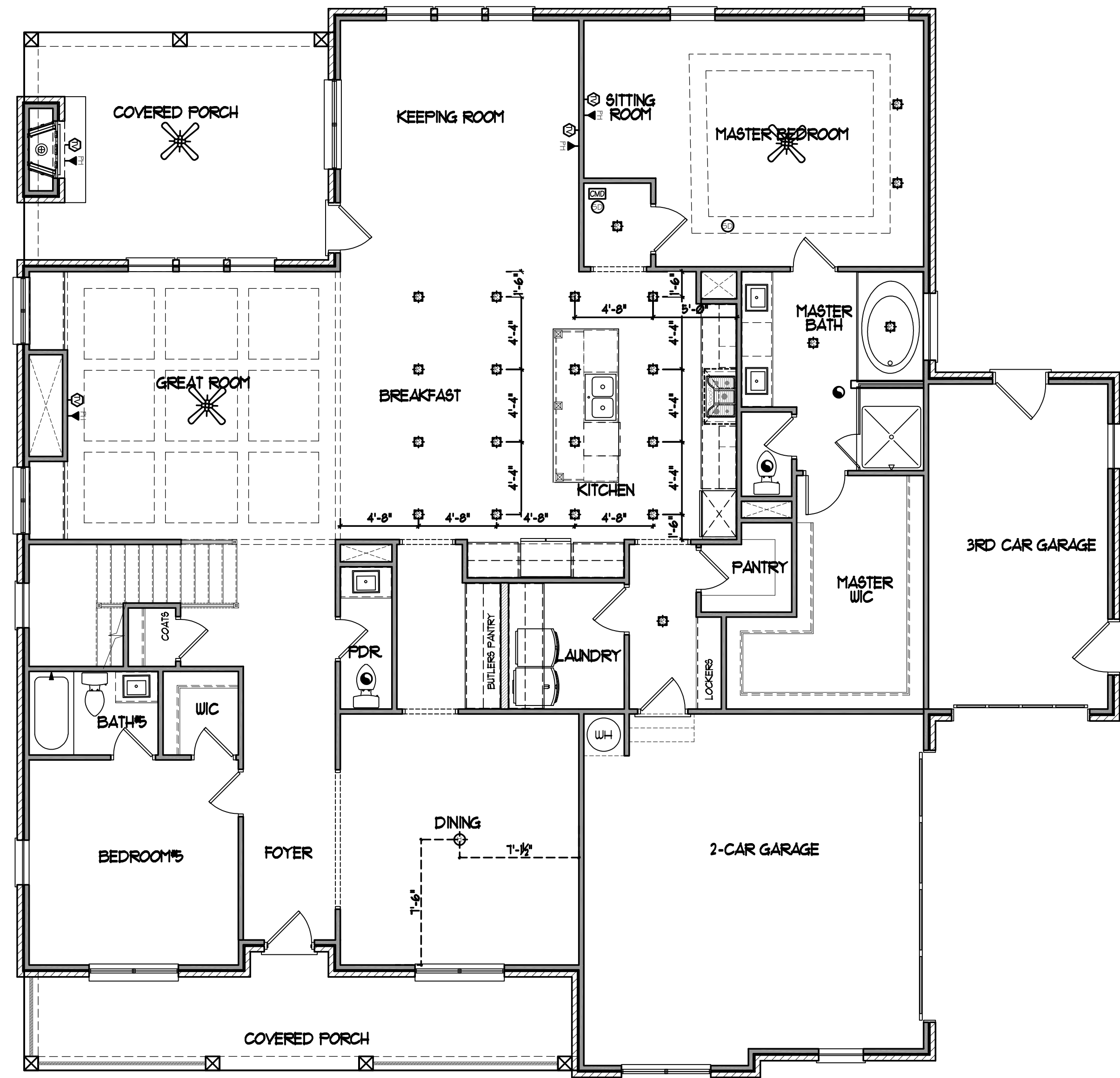
PROJECT NAME :  
**BUGAJSKI RESIDENCE**  
 THE BRENTWOOD 2  
 SINGLE FAMILY RESIDENCE

CLIENT/ BUILDER  
  
**FRAZIER**  
 FAMILY HOMES  
 390 BROGDON RD.,  
 SUWANEE, GA 30024

SHEET TITLE  
**ROOF PLAN**

Date	5/6/2026
Scale	AS NOTED
Drawn By	GC
Job No.	N/A
Sheet	<b>A6.1</b>

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1 Main Level Electrical  
not to scale



2 Upper Level Electrical  
not to scale

ELECTRICAL LEGEND			
	Gas Line		Recessed Can Light
	Cold Water		Eyeball Light
	Electrical Panel		Wall Mounted Light
	Electrical Meter		Wall Sconce
	Disconnect Switch		Fluorescent Light w/1 Bulb
	Switch		Fluorescent Light w/2 Bulbs
	3-Way Switch		Vapor Protected Light
	4-Way Switch		Exhaust Fan
	Dimmer Switch		Exhaust Fan w/Light
	Button		Exhaust Fan w/Heat & Light
	Duplex Outlet		Smoke Detector
	Quadplex Outlet		Carbon Monoxide Detector
	Switched Duplex Outlet		Thermostat
	Floor Outlet		Direct Wire
	GFI Outlet		Phone Jack
	Water Proof GFI Outlet		Media Jack
	Ceiling Mounted Outlet		Cable TV Outlet
	220V Outlet		Door Chimes
	Ceiling Mounted Light		Security Panel
	Hanging Ceiling Mounted Light		Flood Light
	Ceiling Fan		Ceiling Fan w/Light

NO.	DESCRIPTION	DATE

DESIGNER:  
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 SUWANEE, GEORGIA 30024  
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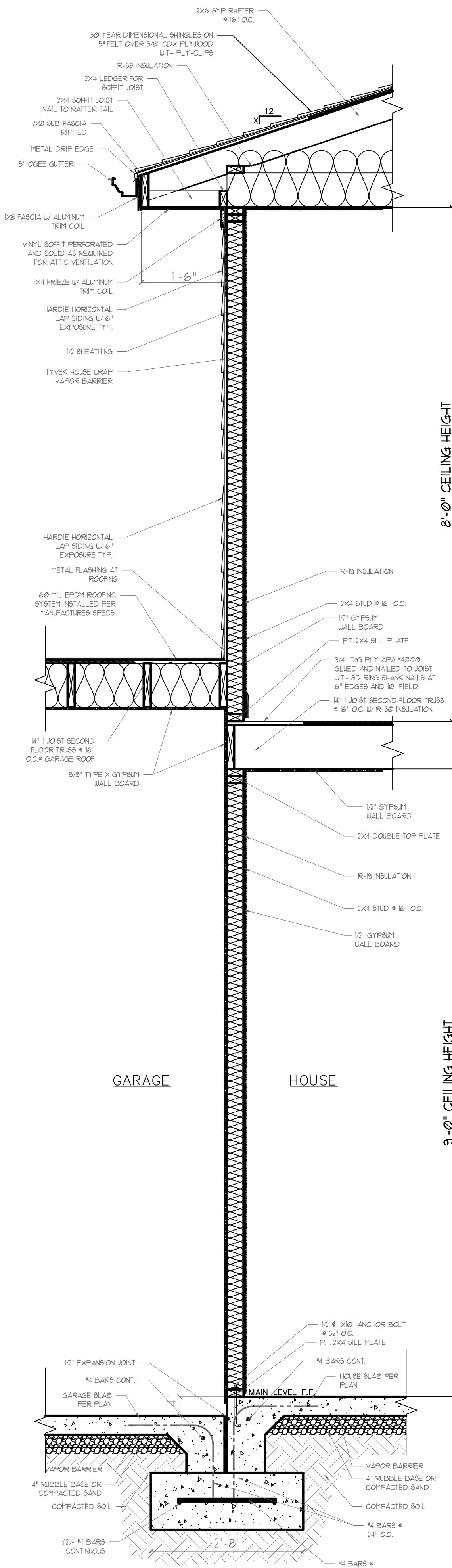
PROJECT NAME:  
**BUGAJSKI RESIDENCE**  
 THE BRENTWOOD 2  
 SINGLE FAMILY RESIDENCE

CLIENT/BUILDER  
  
**FRAZIER**  
 FAMILY HOMES  
 390 BROGDON RD.,  
 SUWANEE, GA 30024

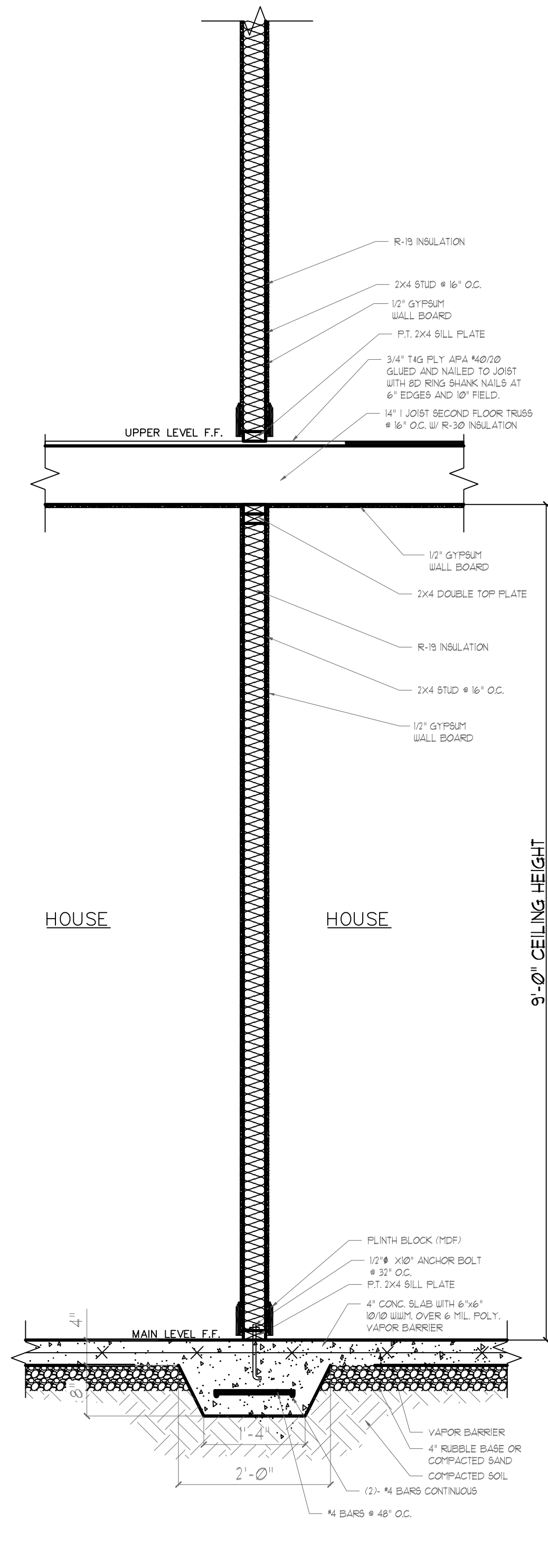
SHEET TITLE  
**ELECTRICAL PLANS**

Date	5/6/2026
Scale	AS NOTED
Drawn By	GC
Job No.	N/A
Sheet	A7.1

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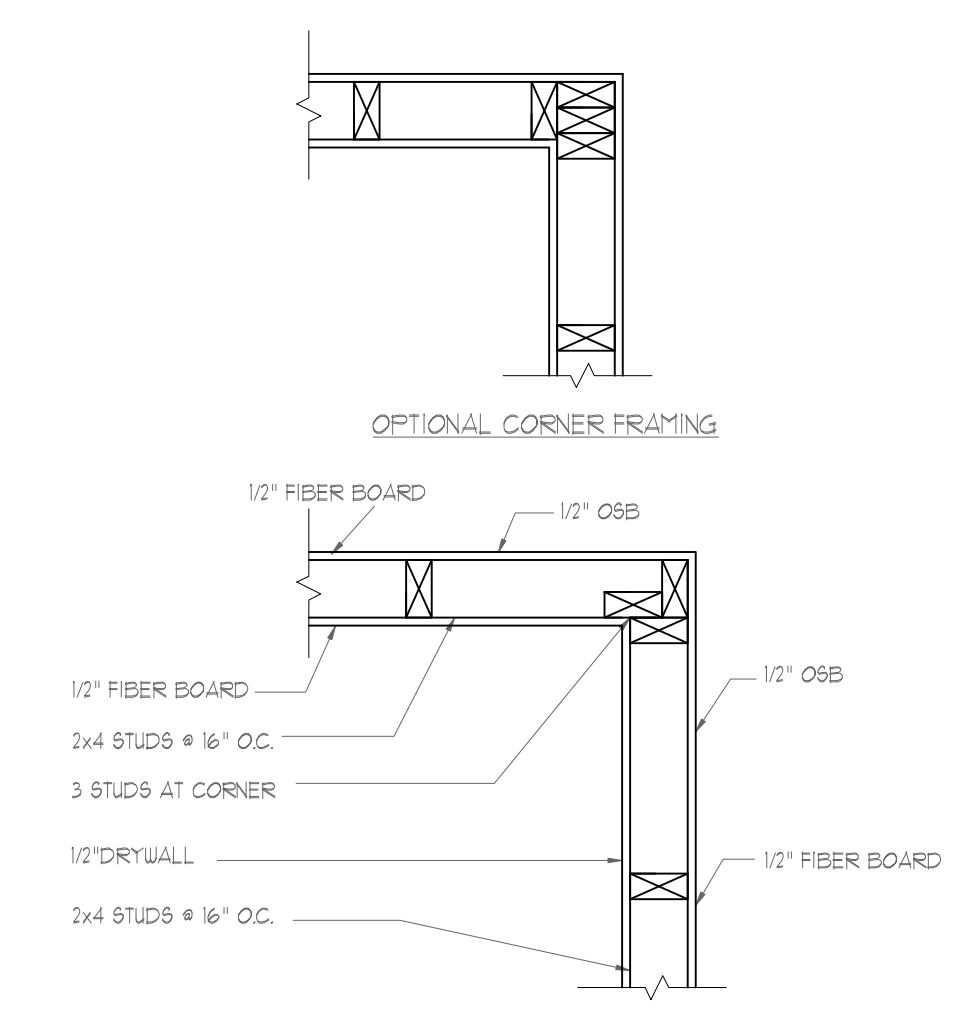


1 Typical Interior Wall Section @ Garage to House  
 A8.1 SCALE: 3/4" = 1'-0"

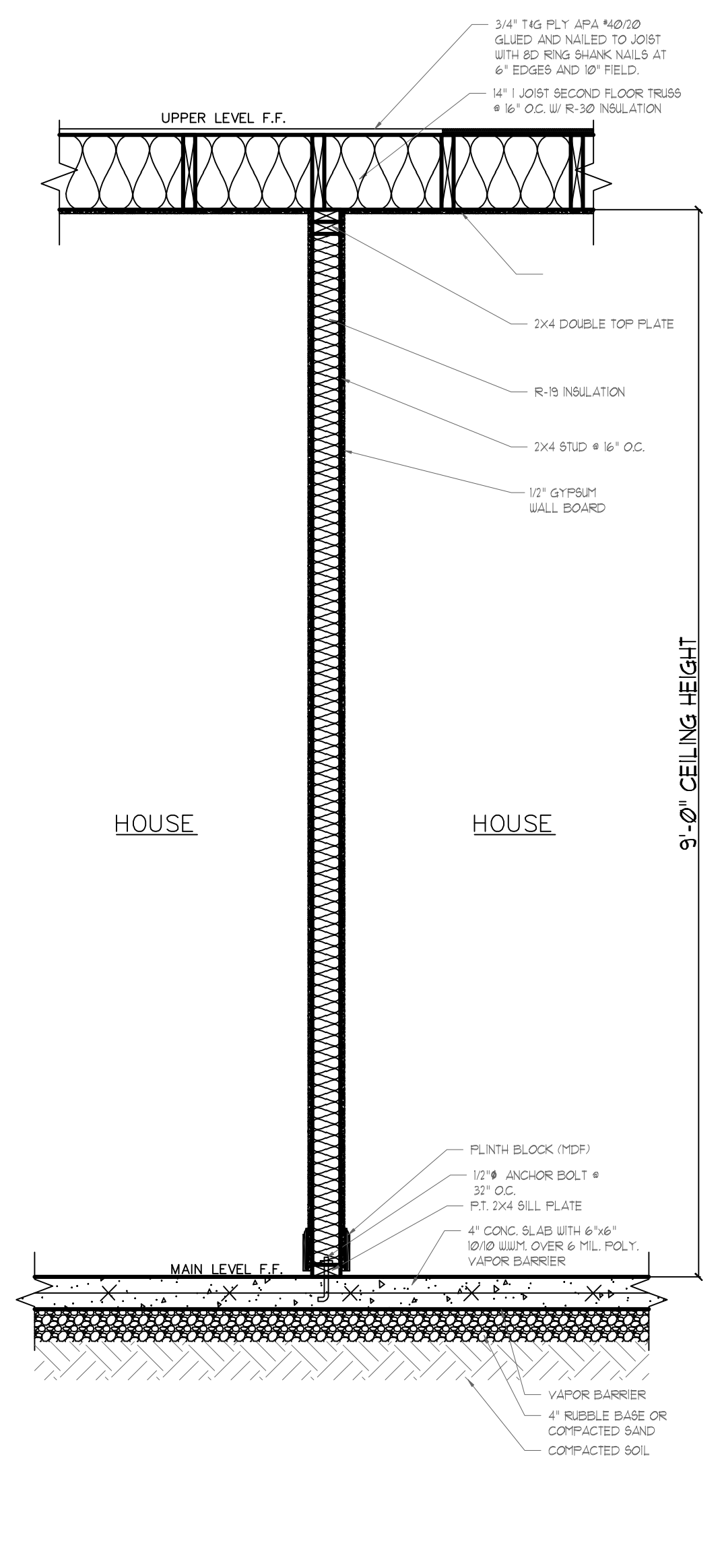
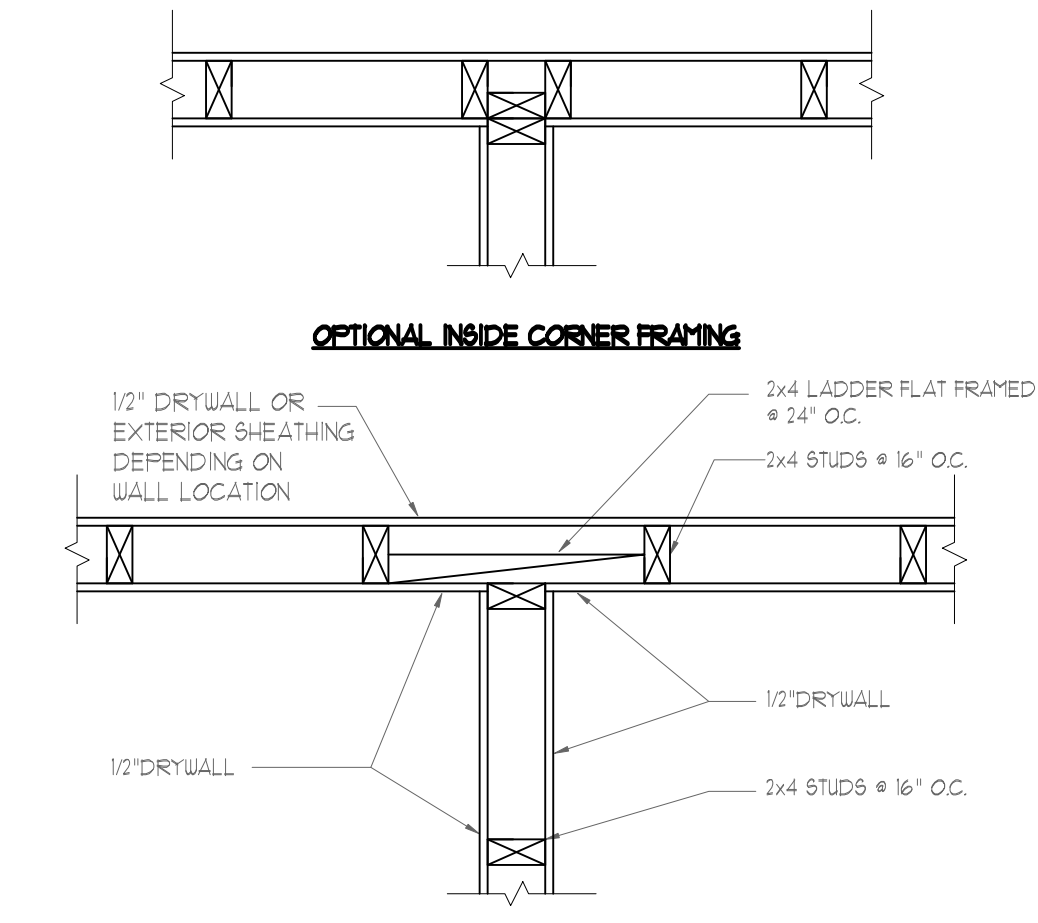


2 Typical Interior Wall Section  
 A8.1 SCALE: 3/4" = 1'-0"

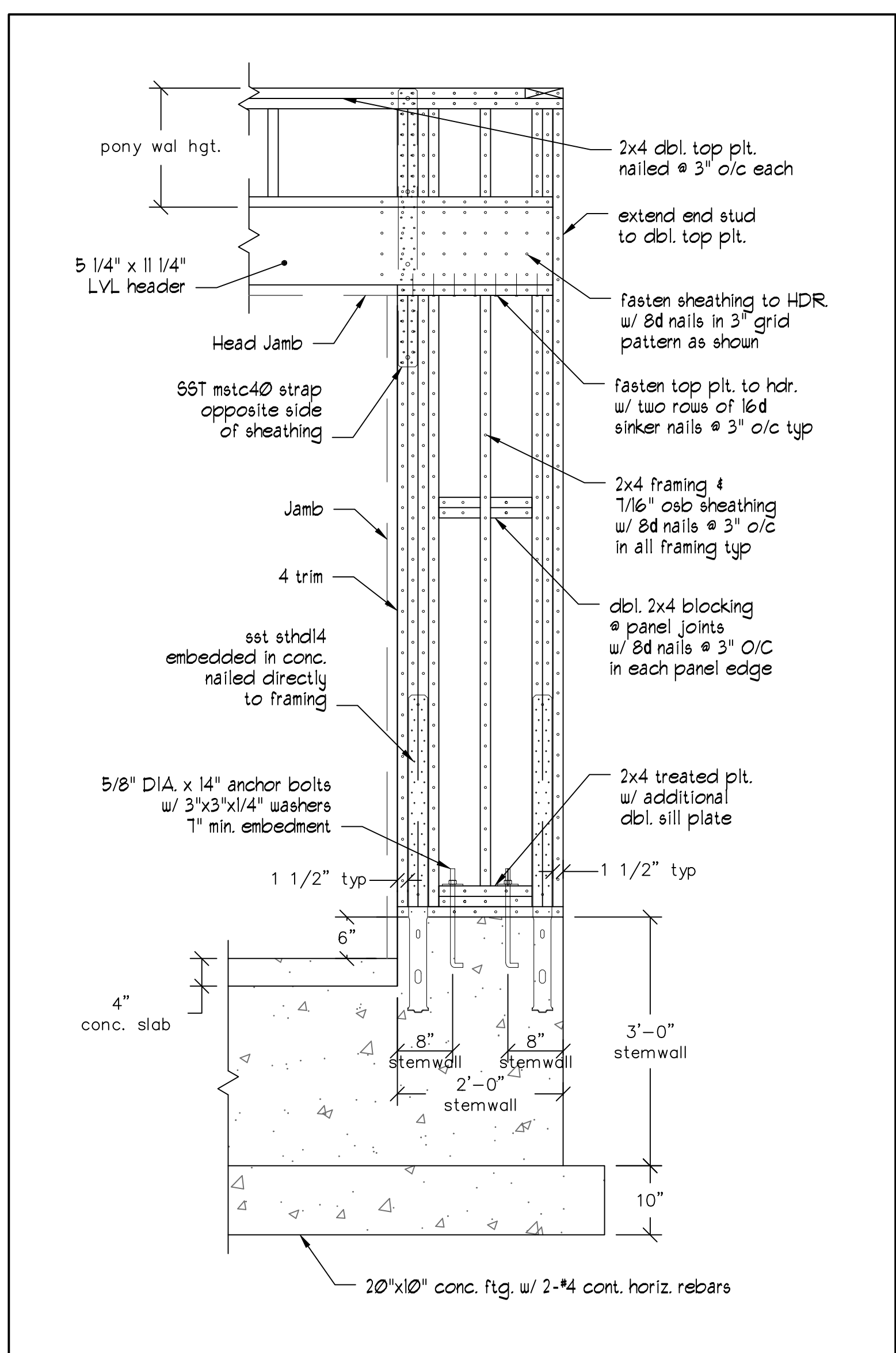
3 Rough Framing Outside Corner  
 A8.1 SCALE: 1/2" = 1'-0"



4 Rough Framing Inside Corner  
 A8.1 SCALE: 1/2" = 1'-0"



NON LOAD-BEARING WALL



4 GARAGE DOOR END PANEL  
 3" = 1'-0"

NO.	DESCRIPTION	DATE

DESIGNER:  
**VIEWPOINT DESIGN**  
 4841 BELLE ESTATES RD.  
 SUWANEE, GEORGIA, 30024  
 gc.viewpointdesign@gmail.com  
 PHONE (404) 518-0956

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PROJECT NAME:  
**BUGAJSKI RESIDENCE**  
**THE BRENTWOOD 2**  
**SINGLE FAMILY RESIDENCE**

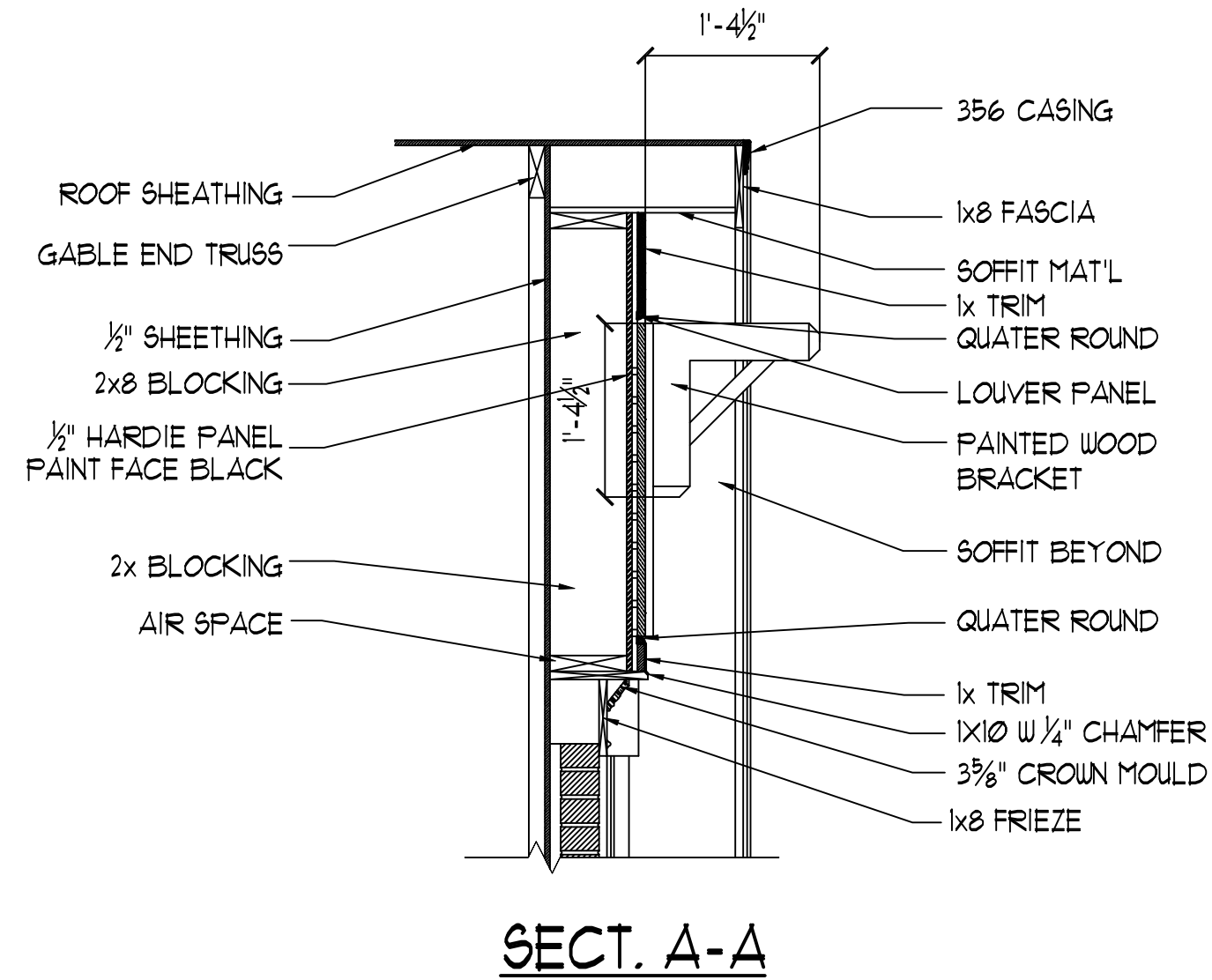
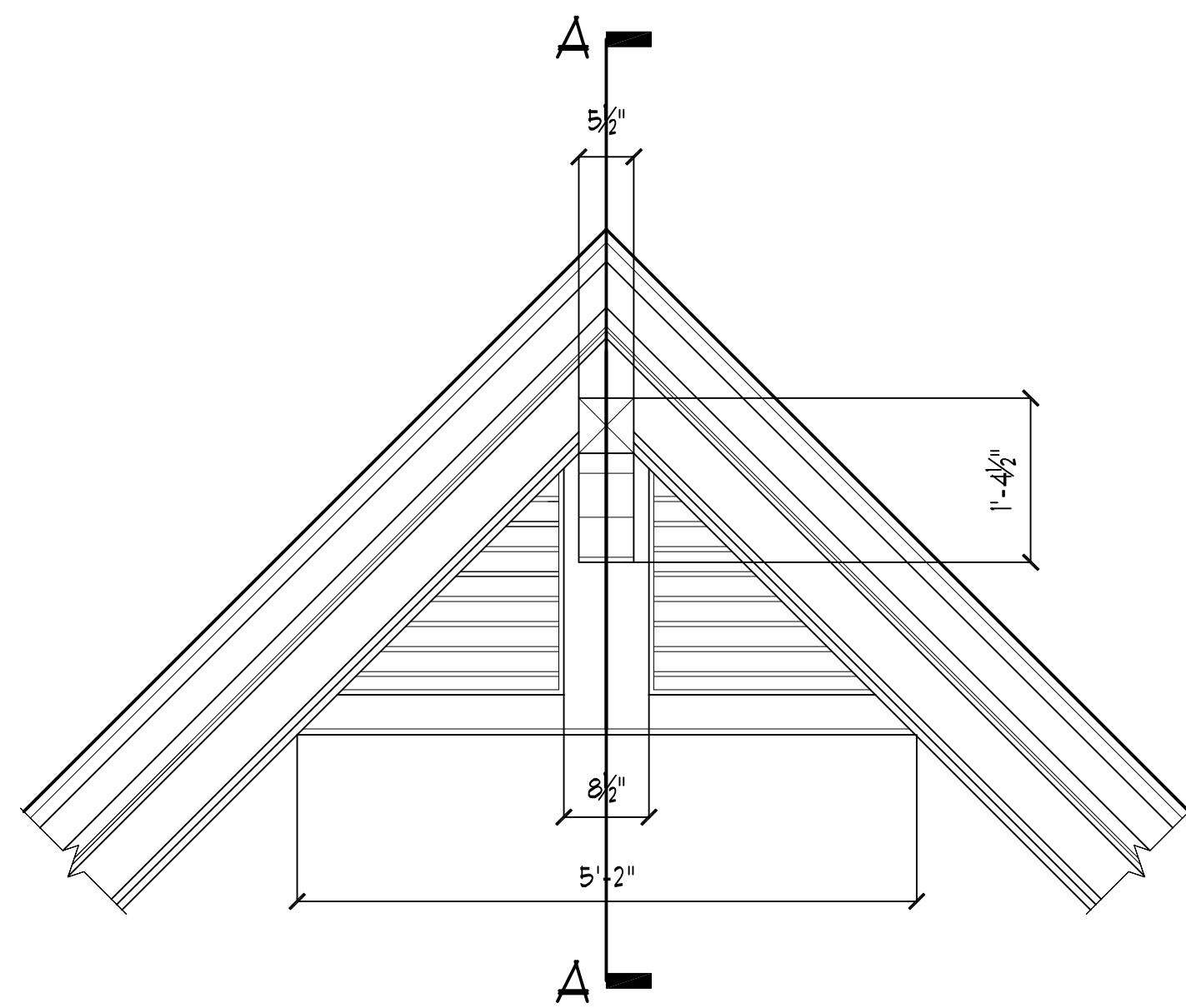
CLIENT/BUILDER  
**FRAZIER**  
 FAMILY HOMES  
 390 BROGDON RD.,  
 SUWANEE, GA 30024

SHEET TITLE  
**FRAMING**  
**DETAILS**

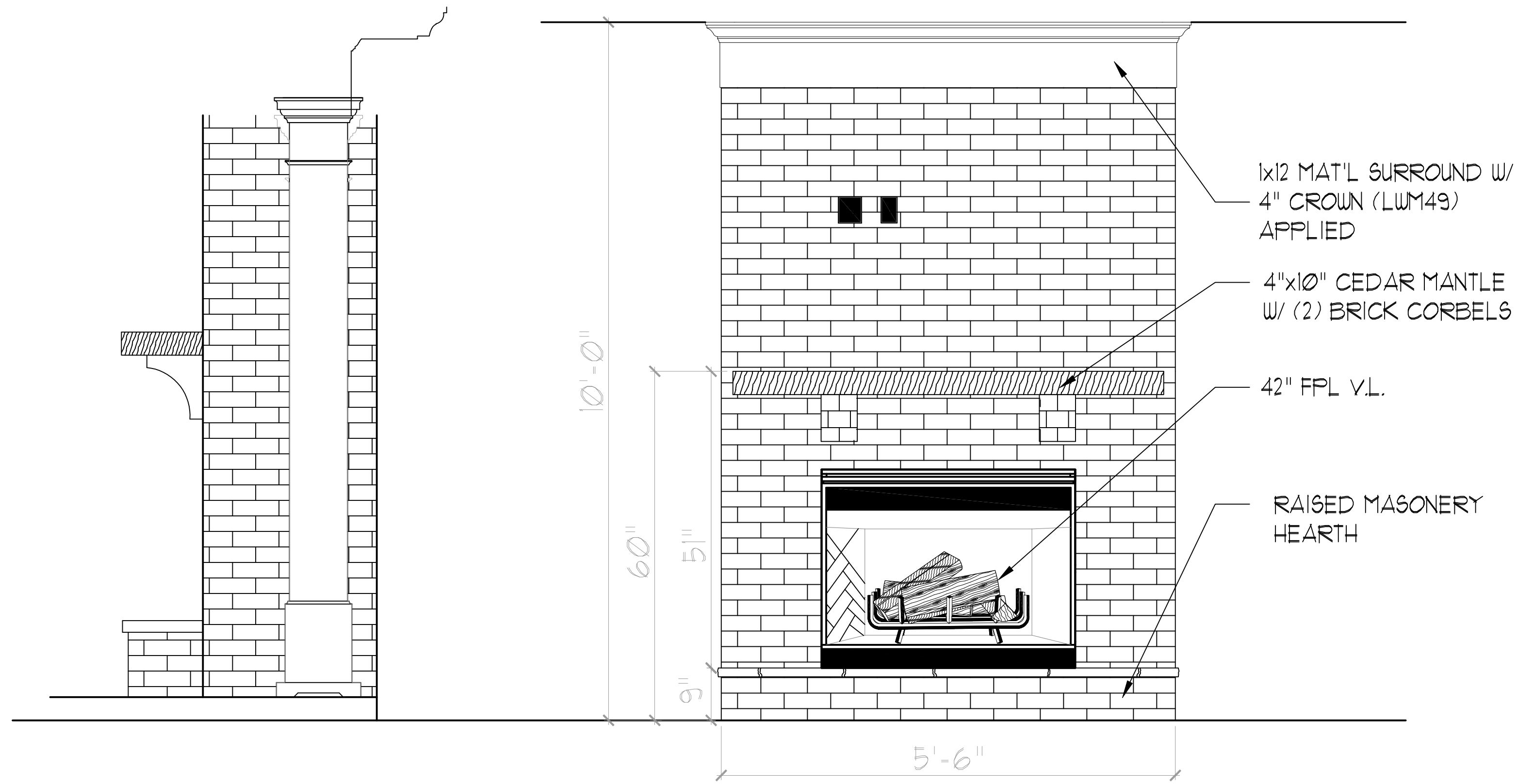
Date 5/6/2026  
 Scale AS NOTED  
 Drawn By GC  
 Job No. N/A  
 Sheet

**A8.1**

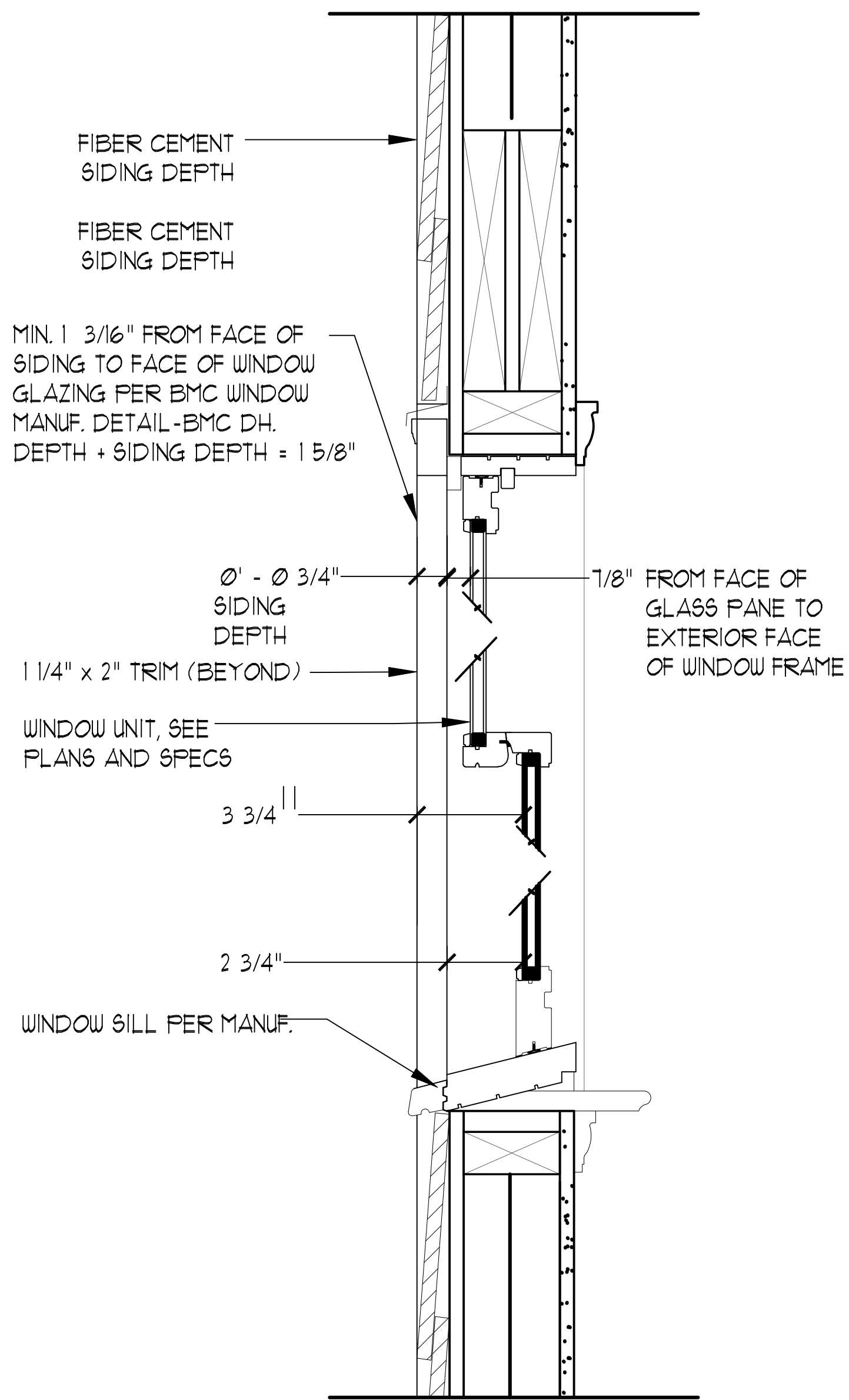
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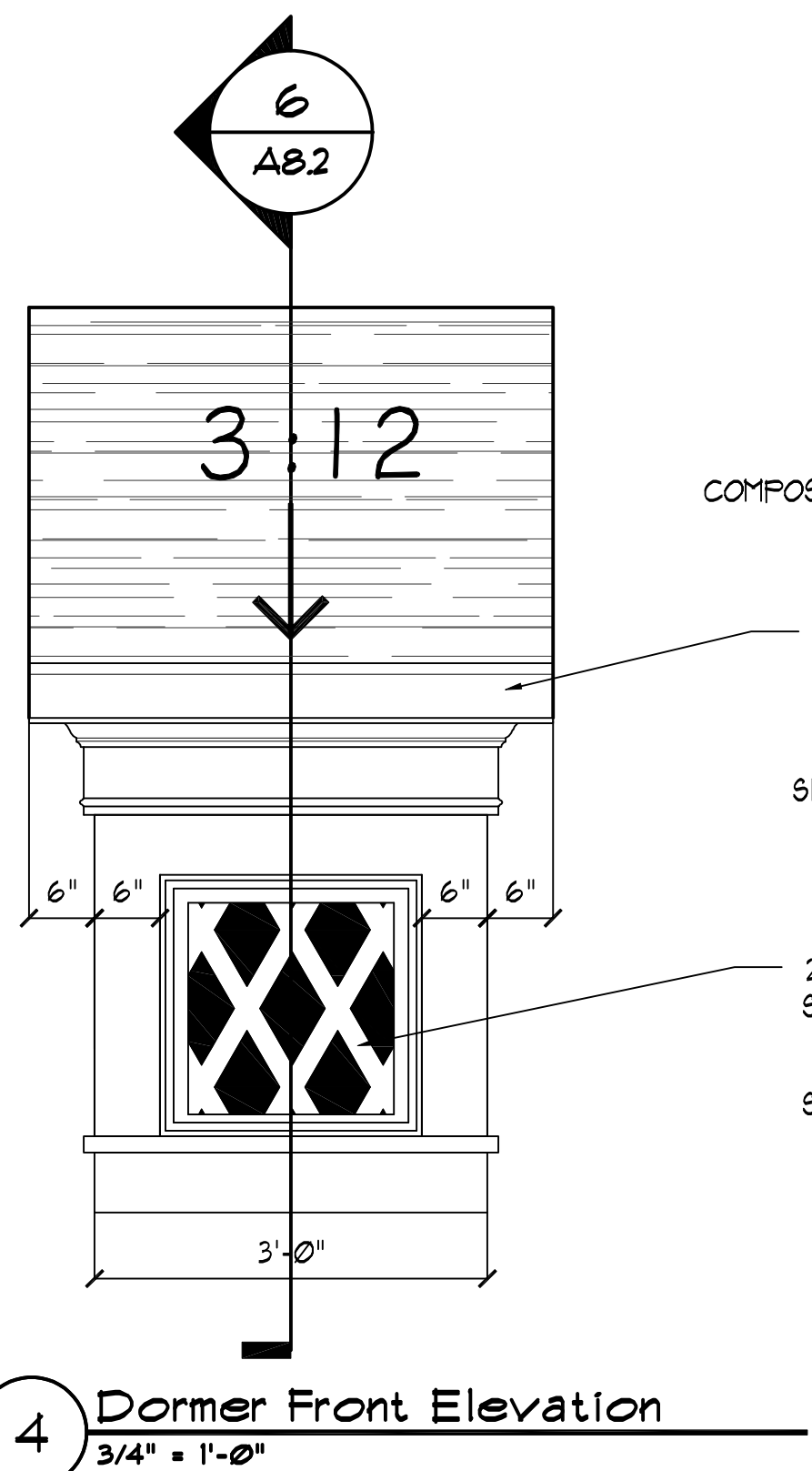
1 5'-2" Base Split Louvered Vent Detail  
 A8.1 SCALE: 3/4" = 1'-0"



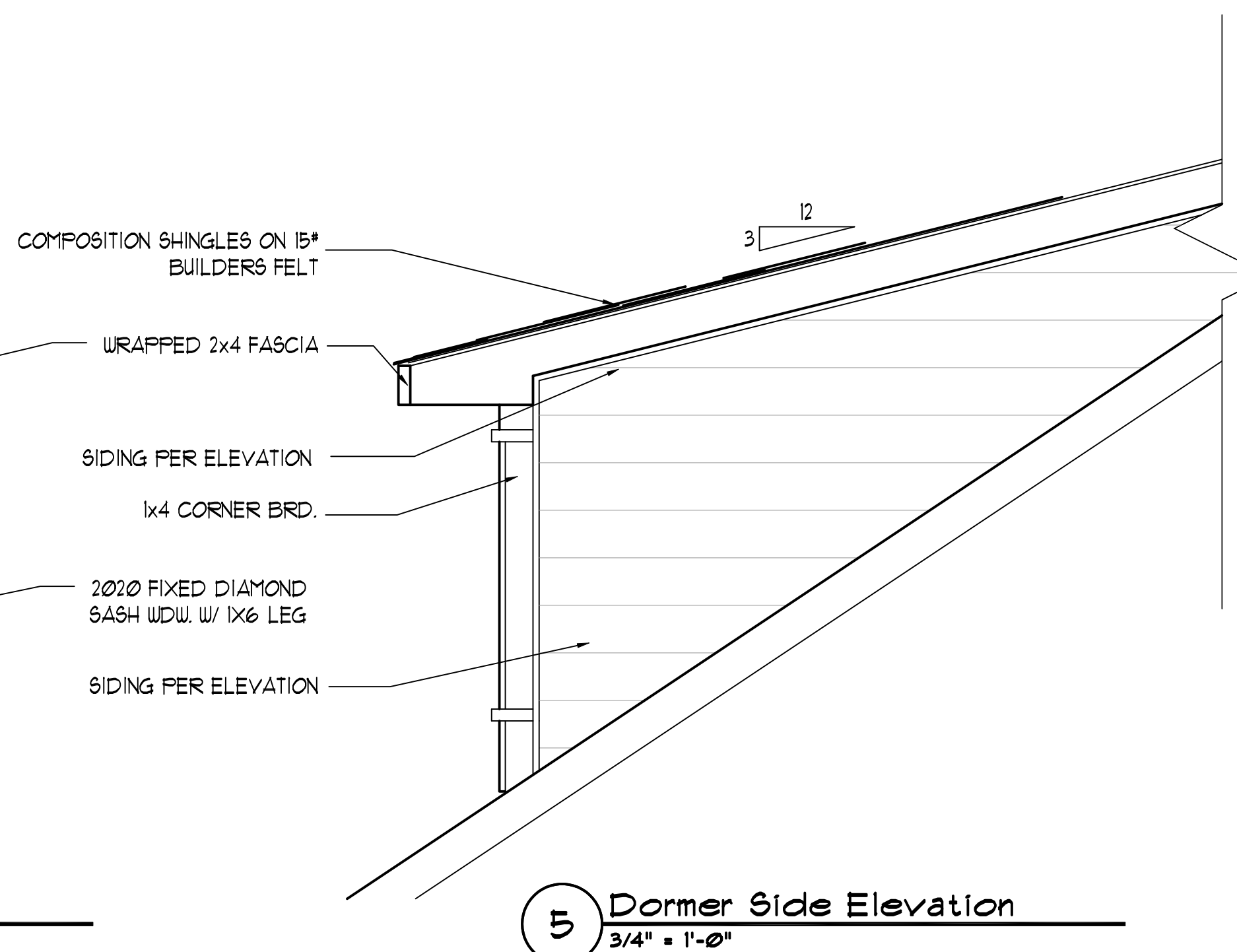
2 Outside Porch Brick Fireplace  
 A8.1 SCALE: 3/4" = 1'-0"



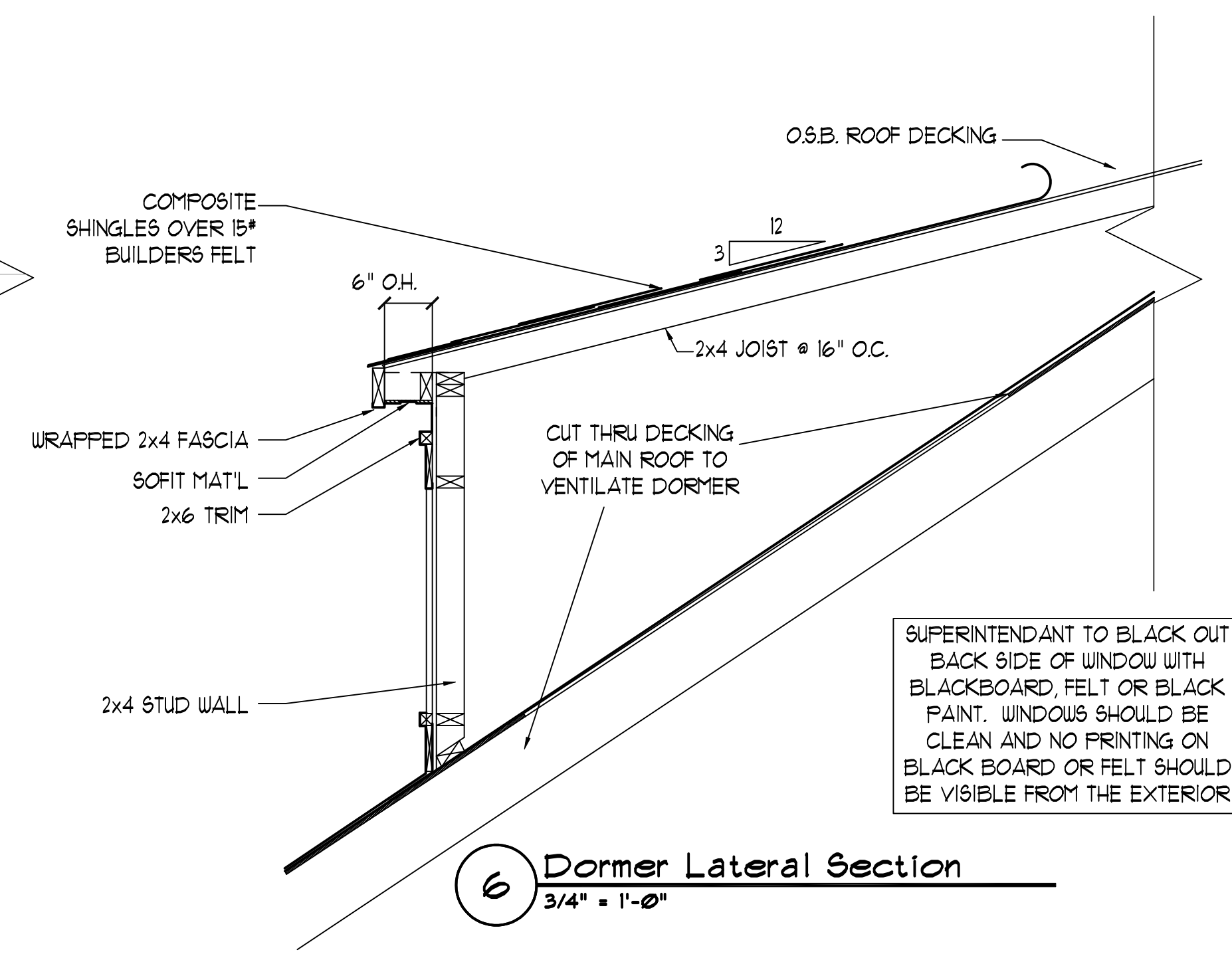
3 Window Section Detail  
 3" = 1'-0"



4 Dormer Front Elevation  
 3/4" = 1'-0"



5 Dormer Side Elevation  
 3/4" = 1'-0"



6 Dormer Lateral Section  
 3/4" = 1'-0"

NO.	DESCRIPTION	DATE

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 SINGLE FAMILY RESIDENCE

CLIENT/BUILDER  
**FRAZIER**  
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 390 BROGDON RD.,  
 SUWANEE, GA 30024

SHEET TITLE  
**EXTERIOR DETAILS**

Date 5/6/2026  
 Scale AS NOTED  
 Drawn By GC  
 Job No. N/A  
 Sheet

**A8.2**

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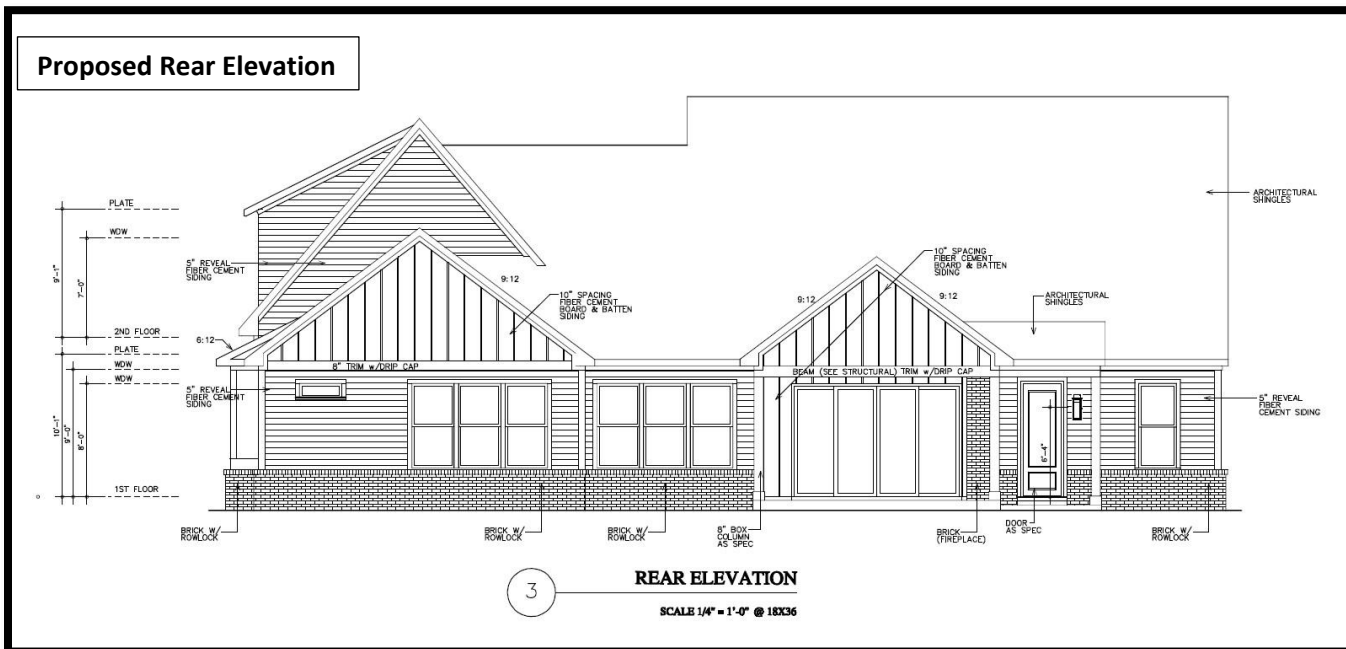
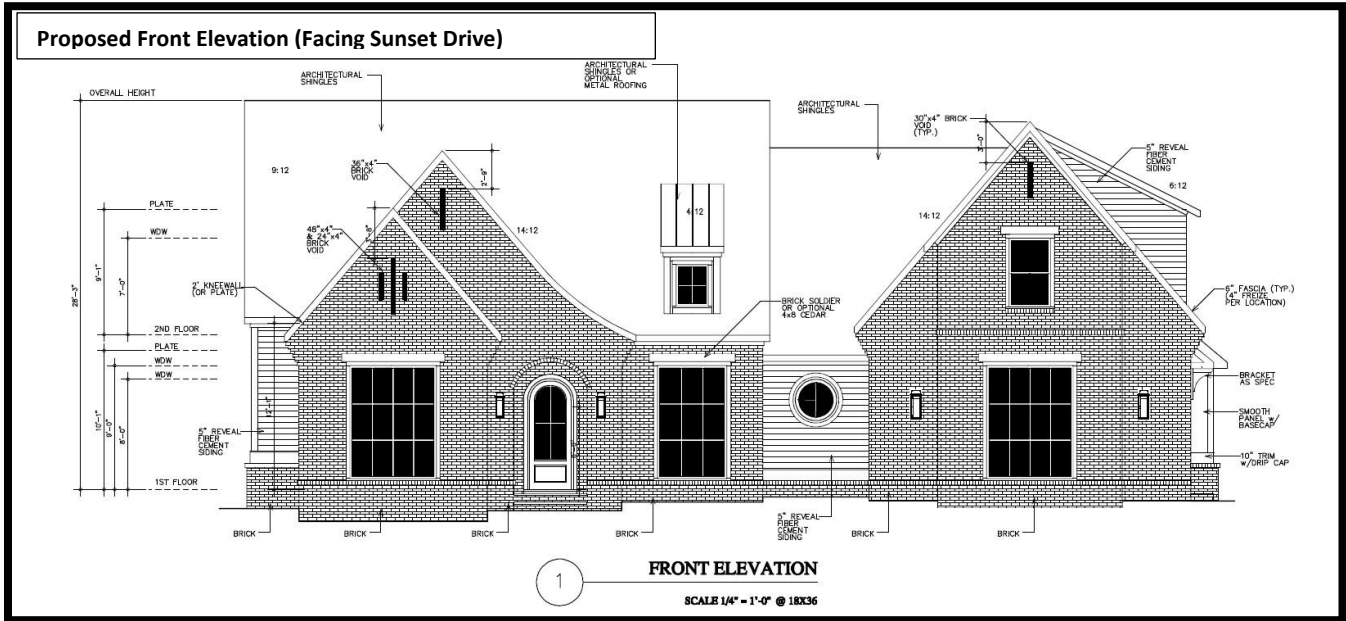
## Certificate of Appropriateness

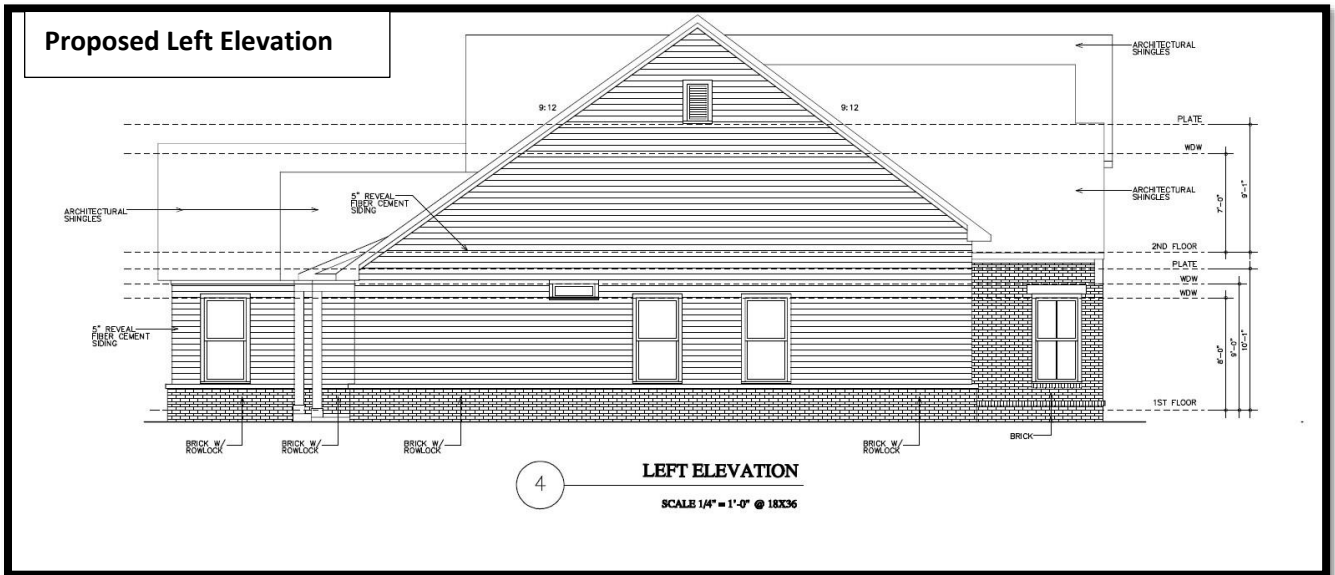
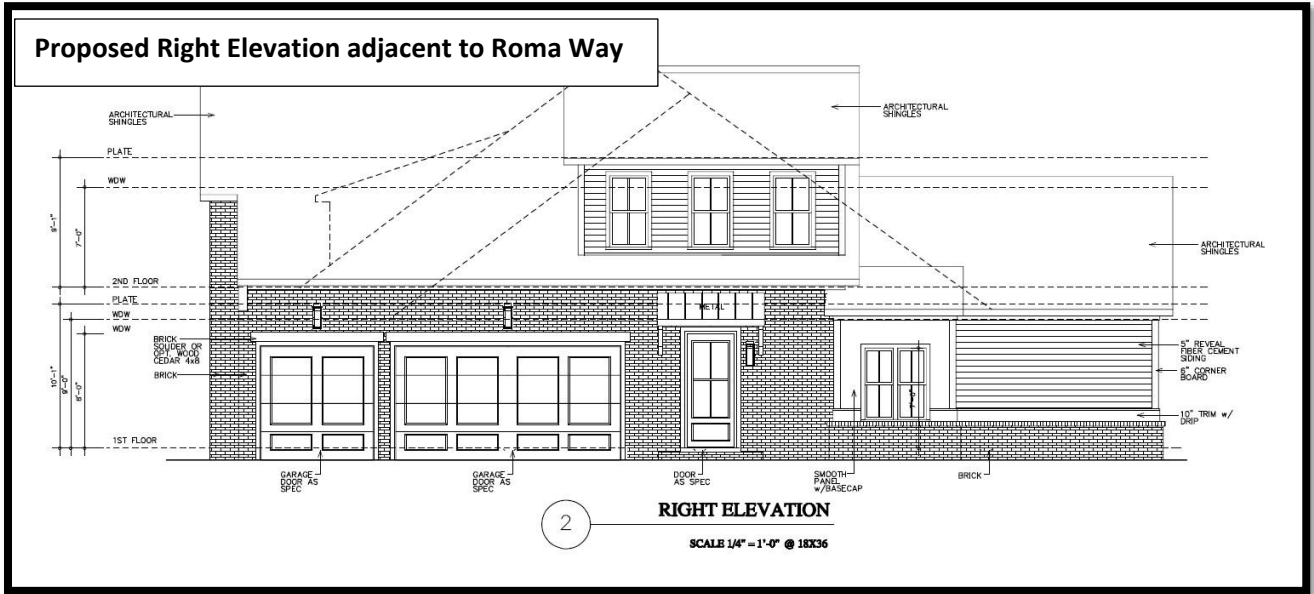
<b>Case Number</b>	<b>COA2026-004</b>
<b>Hearing Date</b>	May 19, 2026
<b>Petitioner</b>	Darron Kusman
<b>Property Location</b>	521 Sunset Drive
<b>Current Zoning</b>	R100 (Single-Family Residential)
<b>Proposed Zoning</b>	N/A
<b>Proposal</b>	Construction of a New Single-Family Residence
<b>Character Area</b>	Character Area 4: North Peachtree Street Neighborhoods
<b>Site Acreage</b>	0.47 acres
<b>District</b>	6
<b>Land Lot</b>	254
<b>Parcel #</b>	6254 626
<b>Taxes Paid</b>	N/A
<b>Historic District</b>	N/A

### **COMMUNITY DEVELOPMENT AND PLANNING DEPT. RECOMMENDATIONS**

Should the ARB decide to grant approval, Staff recommends the following conditions:

1. This approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance.
3. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
4. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.






ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	SW 7012 Creamy	Brick
Primary Façade:	SW 7507 Stone Lion	Siding
Primary Façade: Third		
Left Side:	SW 7012 Creamy	Brick
Left Side: Second	SW 7507 Stone Lion	Siding
Left Side: Third		
Left Side:		
Right Side:	SW 7012 Creamy	Brick
Right Side: Second	SW 7507 Stone Lion	Siding
Right Side:		
Right Side:		
Rear: First	SW 7012 Creamy	Brick
Rear: Second	SW 7507 Stone Lion	Siding
Rear: Third		
Rear: Basemnt		

SW 7012

## Creamy

FULL DETAILS 

This bright white has the softest of yellow undertones to create a subtle warmth in the room. Pairs wonderfully with other soft, warm hues, like Reynard.

*Expert Pick*

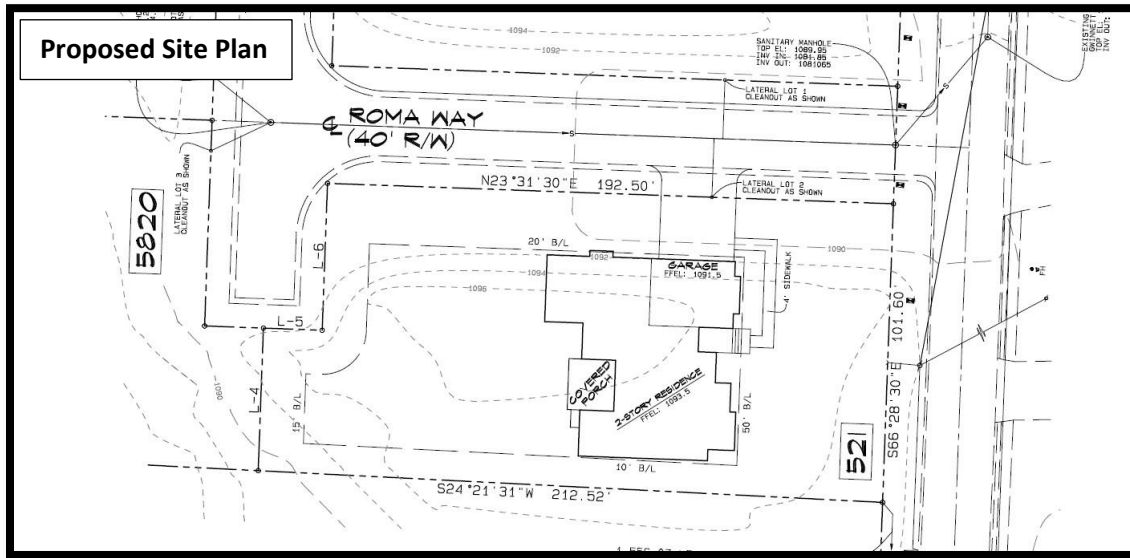
SW 7507

## Stone Lion

FULL DETAILS 

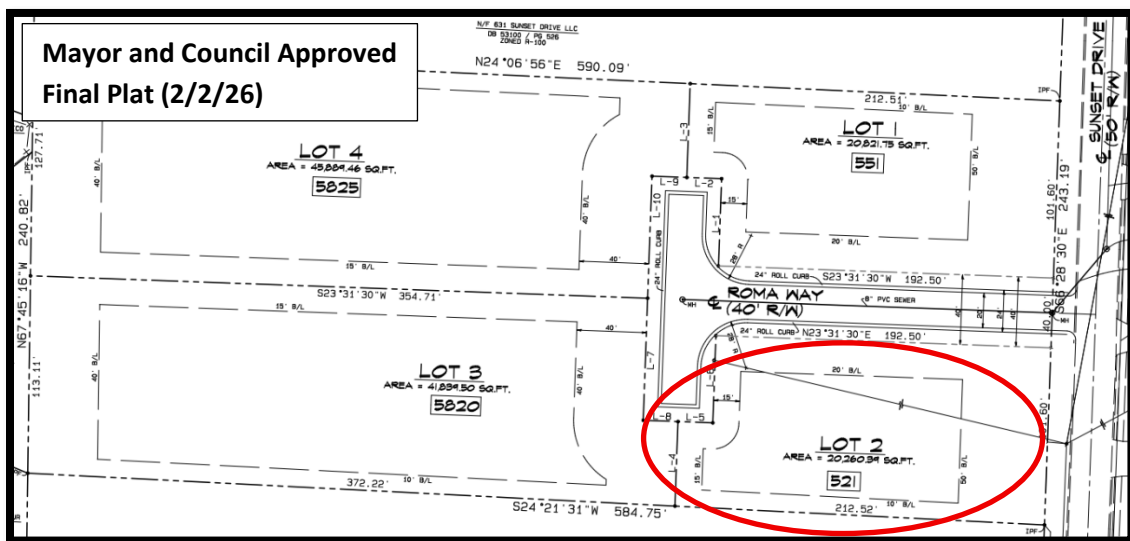
Add a fierce but elegant warmth to your space with this muted greige. For a bold pairing try a dark rich brown like Rojo Marròn.

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Painter	Brick
Garage Doors	SW 7507 Stone Lion	Insulated Steel with Cladding
Trim	SW 7020 Black Fox or match adjacent	Cement Fiber
Mortar	NA	
Gutters	Black	
Corner Board	SW 7507 Stone Lion	
Railings	NA, Black if Req'd	
Windows	Black	
Window Sills	Match Adjacent (Creamy or Stone Lion)	
Window Muntin/Mulli	Black	
Columns		
Other Architectural Features		
Other Architectural		



**Proposed Site Plan**

The proposed site plan shows the footprint of the proposed single-family dwelling, which is situated on a 0.47-acre lot. The Zoning Board of Appeals approved a variance to reduce the front setback adjacent to Roma Way from code required 50 feet to 20 feet (ZBA2025-013). The proposed impervious coverage will adhere to the maximum allowance of 35 percent.





**Summary of the applicant's proposal**

The applicant seeks to construct a two-story single-family residence. The proposed architectural design is attached to this analysis.

**Architectural and Site Design Standards**

**1.3.2**

New residential buildings must be compatible with surrounding buildings in terms of form, scale, height, massing, proportion, and roof shape. No structure may exceed the height of an adjacent structure by more than one floor.

**3.4.1.2**

New structures should have roof forms and orientation consistent with buildings within its area of influence.

**3.4.3.1**

Traditional residential styles of pitches roofs ranging from 6:12 to 10:12 are encouraged.

**3.5.1.9**

Approved building materials include brick, stone, wood, and wood shakes/shingles.

**3.5.1.13**

Neutral traditional building color palettes are encouraged. Colors should blend with neighboring buildings.

**3.5.1.15**

The painting of masonry will be approved on a case-by-case basis.

**3.5.3.1**

All residential construction shall include a combination of architectural treatments, such as brick or stone masonry, stucco, wood, or other durable materials. If masonry materials are used a minimum of (3) three facades must use the masonry material.

**3.5.3.2**

The reveal (exposed portion) of siding will be a minimum of four inches and shall not exceed six (6) inches.

**3.6.1.8**

Large expanses of fixed windows are not permitted unless it is deemed integral to the design of the residence by the ARB.

**3.6.1.11**

Door and window types must correspond with the architectural styles found within the district. Contemporary single pane glass doors, and half-paneled doors with lights are examples of appropriate styles.

**3.6.1.16**

Materials for windows that are acceptable include: anodized aluminum, wood, clad wood, vinyl and steel.

**Current zoning district for the property**

The R100 single-family residence zoning district is intended primarily for single-family residences and related uses on large sized lots in the city.



**Six Abutting Properties and Their Existing Architectural Styles:**









# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address: 521 Sunset Dr, Norcross GA 30071	Lot # 2	Tax Parcel ID: R6254 626	
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name: NSPG, LLC		Phone: [REDACTED]	
Address: 47 Perimeter Center East Ste 530	City: Atlanta	State: GA	Zip Code: 30346
APPLICANT			
Applicant Name: Roma Fine Homes, LLC		Phone: [REDACTED]	
Company Name: Roma Fine Homes, LLC		Email: [REDACTED]	
Address: 1915 Airport Rd, Ste 2J	City: Atlanta	State: GA	Zip Code: 30341
DESCRIPTION OF PROJECT			
Project Type <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed: Construction of one new construction single family home on vacant lot.			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please list the board and reference number: <u>BoA, PZ, and Mayor and Council for subdivision/plat and variance approval</u>			
OWNER'S SIGNATURE			
Signature: Danil Kabanko		Date: 2/5/26	
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <a href="https://eplansolution.com/norcrossga">https://eplansolution.com/norcrossga</a> Hard copies of application materials will not be accepted.			



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

<b>Foundation Type: (Circle One)</b>		
Slab	Crawl Space	Basement
<b>Building Dimensions:</b>		
Width: 68'	Length: 66'	Height: * Approx 21'
<b>Area Dimensions:</b>		
First Floor: 2702	Second Floor: 544	Third Floor:
Basement**:	Front Porch:	Rear Porch:
Patio: 275	Garage: Approx 700	
<b>Primary Roof System: (Circle One)</b>		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
<b>Roof Pitches:</b>		
Primary Roof Pitch: 9/12		
Secondary Roof Pitch: 14/12		
Additional Roof Pitch: 4/12		
<b>Floor and Elevation Plan information to be included on each</b>		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
<b>Site Plan and Landscape Plan information to be included on each</b>		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	SW 7012 Creamy	Brick
Primary Façade:	SW 7507 Stone Lion	Siding
Primary Façade: Third		
Left Side:	SW 7012 Creamy	Brick
Left Side: Second	SW 7507 Stone Lion	Siding
Left Side: Third		
Left Side:		
Right Side:	SW 7012 Creamy	Brick
Right Side: Second	SW 7507 Stone Lion	Siding
Right Side:		
Right Side:		
Rear: First	SW 7012 Creamy	Brick
Rear: Second	SW 7507 Stone Lion	Siding
Rear: Third		
Rear: Basemnt		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Painter	Brick
Garage Doors	SW 7507 Stone Lion	Insulated Steel with Cladding
Trim	SW 7020 Black Fox or match adjacent	Cement Fiber
Mortar	NA	
Gutters	Black	
Corner Board	SW 7507 Stone Lion	
Railings	NA, Black if Req'd	
Windows	Black	
Window Sills	Match Adjacent (Creamy or Stone Lion)	
Window Muntin/Mulli	Black	
Columns		
Other Architectural Features		
Other Architectural		



# Ownership Affidavit & Designation of Agent

## I. Ownership.

I, Danil Kabanko for NSPG, LLC, hereby attest to ownership of the property described below:

Parcel I.D. Number(s) \_ R6254 085

Location address: 551 Sunset Dr, Norcross, GA 30071

*for which this Application is submitted.*

The ownership, as recorded on the deed, is in the name of: \_ NSPG, LLC

Please complete the appropriate section below:

NOTE: The person signing under section IV Acknowledgement, must be listed below as an officer or partner.

- Individual
- Corporation/Limited Liability Company (LLC)
- Partnership
- Government Entity

Provide Names of Officers/Members:

Provide Names of General

Danil Kabanko, Secretary

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Secretary of State Registration Number: 24006338

Name/Address of Registered Agent: David Carter, 47 Perimeter Center East, Ste 530 Atlanta GA 30346

## II. Designation of Owner's Agent. (Leave blank if not applicable)

*As the owner of the above designated property and the applicant for which this affidavit is submitted, I wish to designate the below named party as my agent in all matters pertaining to the location address. In authorizing the agent named below to represent me, or my company, I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief. (Note: Prior to the issuance of a building permit, the owner's agent must be the contractor listed on the permit application.)*

Owner's Agent: Roma Fine Homes, LLC

Address: 1915 Airport Rd, Ste 2J Atlanta GA 30341

Contact Person: Darron Kusman Telephone No.: [REDACTED]

## III. Notice to Owner.

- A. All changes in Ownership & Applicant's Agent prior to issuance shall require new affidavit. If ownership changes the new owner assumes the obligations and the original applicant is released from responsibility for actions taken by others after the change in ownership.
- B. If the Owner intends the Designation of Applicant's Agent to be limited in any manner, please indicate the limitation below. (i.e., Limited to obtaining a certificate of concurrency for the parcel; limited to obtaining a land use compliance certificate; etc.)\_

**IV. Acknowledgement.**

• Individual

Signature \_\_\_\_\_  
 Print Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_

• Government Entity

Print Government Name \_\_\_\_\_  
 BY: \_\_\_\_\_  
 Signature \_\_\_\_\_  
 Print Name: \_\_\_\_\_  
 Title: \_\_\_\_\_  
 Department: \_\_\_\_\_

• Corporation/LLC

NSPG LLC  
 Print Corporation/LTC Name \_\_\_\_\_  
 BY: X \_\_\_\_\_  
 Signature \_\_\_\_\_  
 Print Name: Danil Kabanko  
 Its: Secretary  
 Address: 47 Perimeter Center East, Suite 530  
 Atlanta GA 30346  
 Phone#: NA

• Partnership

Print Partnership Name \_\_\_\_\_  
 BY: \_\_\_\_\_  
 Signature \_\_\_\_\_  
 Print Name: \_\_\_\_\_  
 Its: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_

**NOTARY INFORMATION (Please use appropriate block.)**

STATE OF GEORGIA \_\_\_\_\_  
 COUNTY OF \_\_\_\_\_

• Individual

Before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared \_\_\_\_\_ who executed the foregoing instrument, and acknowledged before me that same was executed for the purposes therein expressed.

• Government Entity

Before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared \_\_\_\_\_ and on behalf of \_\_\_\_\_ who executed the foregoing instrument, and acknowledged before me that same was executed

Corporation/LLC

before me, this 1st day of August, 2025, personally appeared Danil Kabanko of Georgia a (State) corporation/LLC, on behalf of the corporation/LLC, who executed the foregoing instrument and acknowledged before me that same was executed for the purposes therein expressed.

Partnership

before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared \_\_\_\_\_ partner/agent on behalf of \_\_\_\_\_ a partnership, who executed the foregoing instrument and acknowledged before me that same was executed for the purposes therein expressed.

for the purposes therein expressed.

Signature of Notary Michael Dotson NOTARY STAMP:

My commission expires: \_\_\_\_\_

**MICHAEL DOTSON**  
 NOTARY PUBLIC  
 Fulton County  
 State of Georgia  
 My Comm. Expires Jan. 6, 2029

Michael Dotson  
 Print Notary Name

Identification Method: \_\_\_\_\_ Personally known.  
 Produced I.D. Type: \_\_\_\_\_



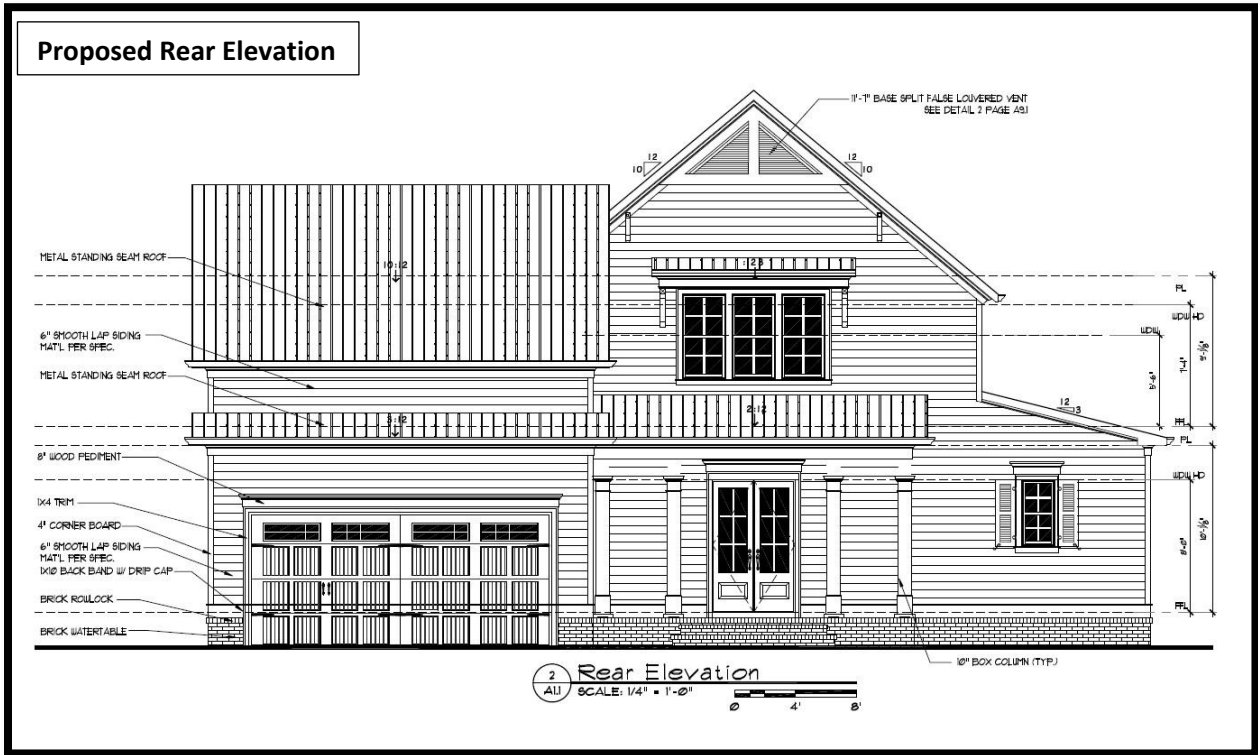
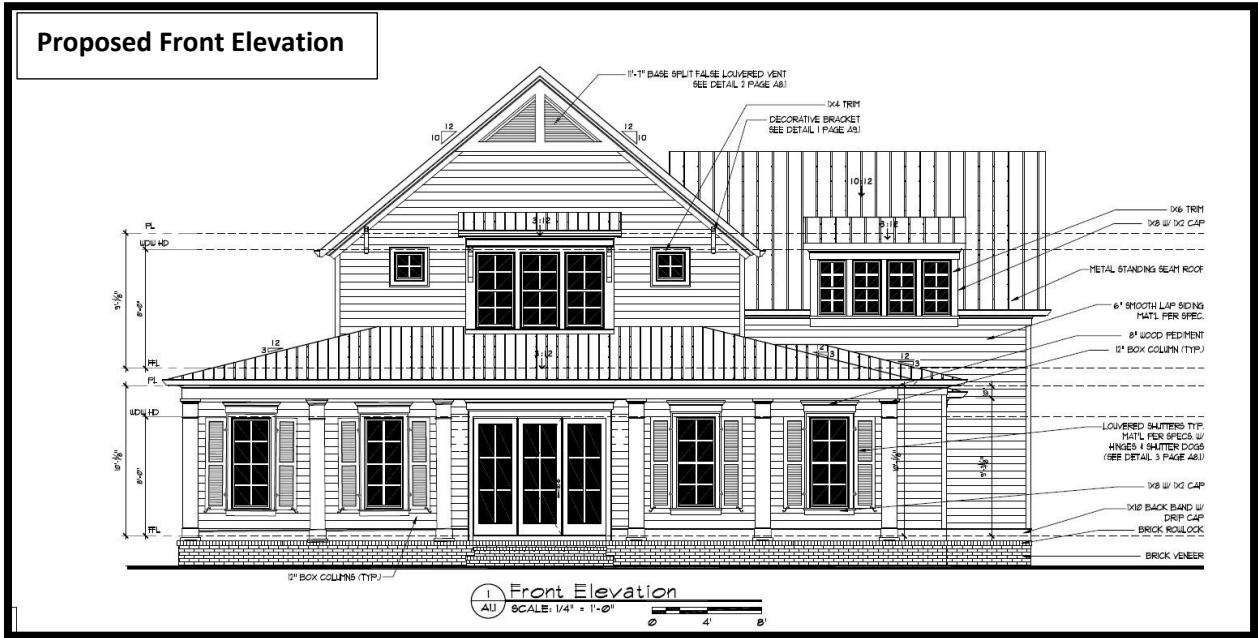
## Certificate of Appropriateness

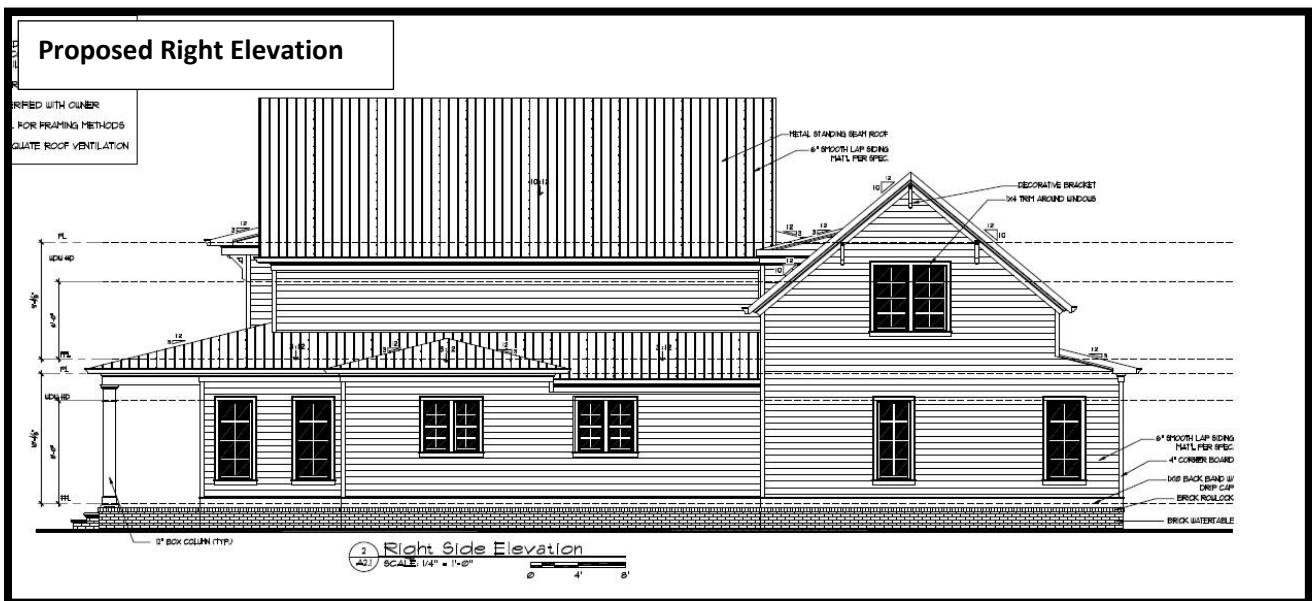
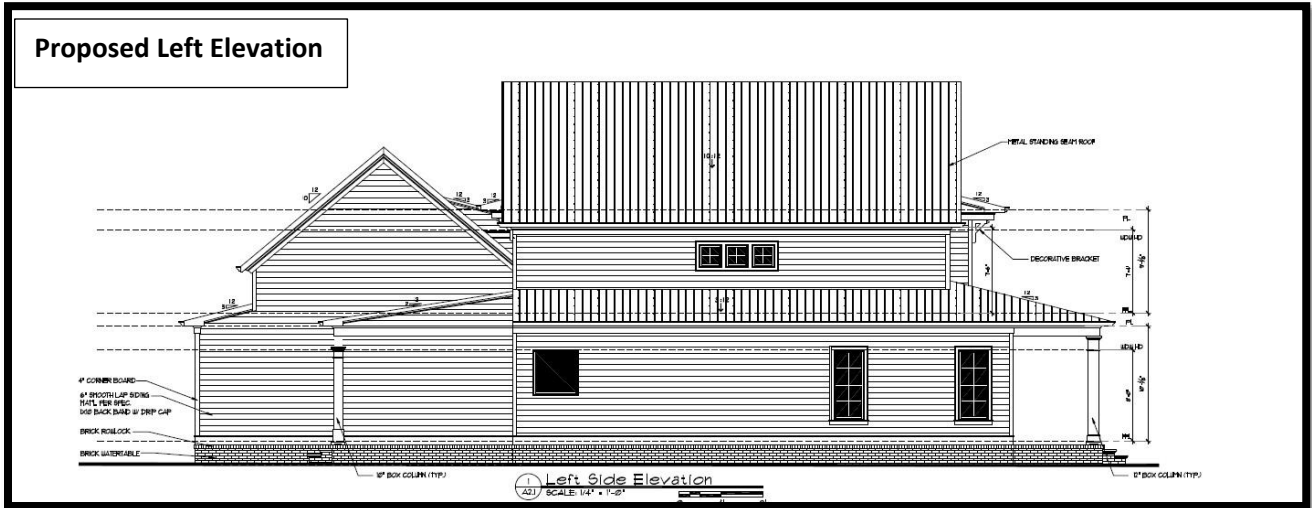
<b>Case Number</b>	<b>COA2026-005</b>
<b>Hearing Date</b>	ARB: May 19, 2026, PWS: June 15, 2026, Final: July 6, 2026
<b>Petitioner</b>	Ethan Frazier
<b>Property Location</b>	503 North Peachtree Street
<b>Current Zoning</b>	R100 (Single-Family Residential)
<b>Proposed Zoning</b>	N/A
<b>Proposal</b>	Historic Demolition and Deconstruction with Intent to Rebuild
<b>Character Area</b>	Character Area 4: North Peachtree Street Neighborhoods
<b>Site Acreage</b>	1.02 acres
<b>District</b>	6
<b>Land Lot</b>	255
<b>Parcel #</b>	6255 015
<b>Taxes Paid</b>	N/A
<b>Historic District</b>	National

### **COMMUNITY DEVELOPMENT AND PLANNING DEPT. RECOMMENDATIONS**

Should the ARB decide to grant approval, Staff recommends the following conditions (The ARB will first need to determine whether the structure is *contributing* or *non-contributing*):

1. The applicant shall recycle the bricks, doors, and windows at a minimum and provide documentation of where or who recycled them through presentation of receipt.
2. This approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
3. The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance.
4. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
5. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.









ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	SW Creamy 7012	Hardie Siding
Primary Façade: Second	SW Creamy 7012	Hardie Siding
Primary Façade: Third	—	—
Left Side:	SW Creamy 7012	Hardie Siding
Left Side: Second	SW Creamy 7012	Hardie Siding
Left Side: Third	—	—
Left Side:	—	—
Right Side:	SW Creamy 7012	Hardie Siding
Right Side: Second	SW Creamy 7012	Hardie Siding
Right Side:	—	—
Right Side:	—	—
Rear: First	SW Creamy 7012	Hardie Siding
Rear: Second	SW Creamy 7012	Hardie Siding
Rear: Third	—	—
Rear: Basemnt	—	—

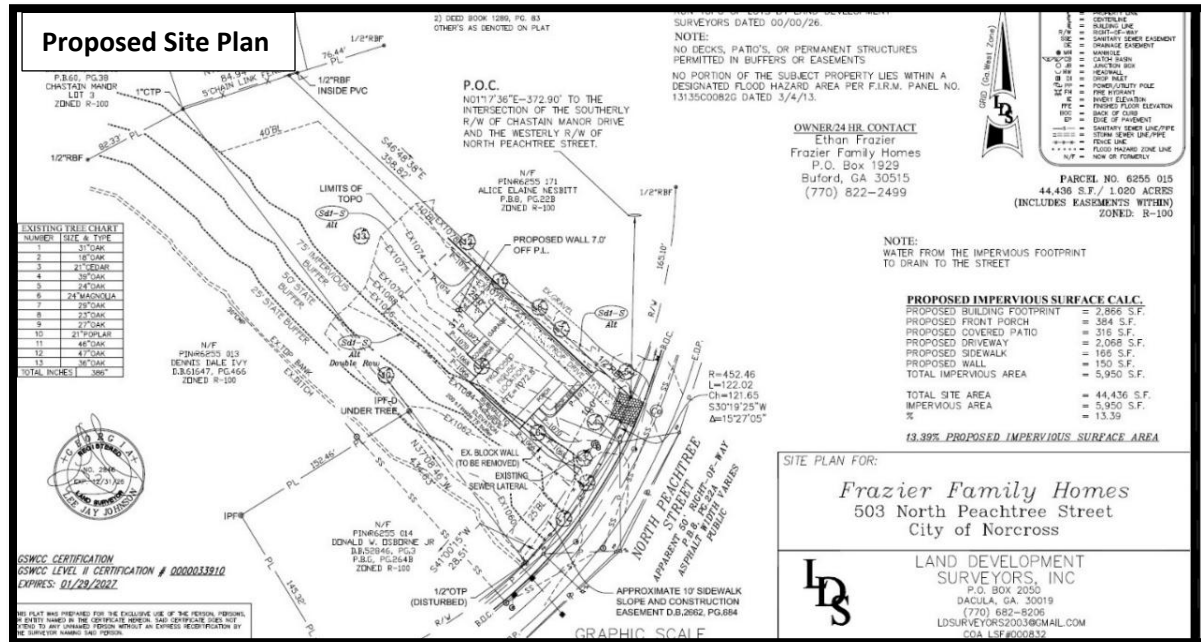
COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Pine Hill Masonry	Brick
Garage Doors	SW Creamy 7012	Carrage Stamped
Trim	SW Creamy 7012	Hardie
Mortar	Coosa Creme	Concrete mortar
Gutters	White	4" Round
Corner Board	SW Creamy <del>7012</del> 7012	4" <del>wood</del> Corner board
Railings	-	-
Windows	SW Creamy 7012	wood
Window Sills	SW Creamy 7012	wood
Window Muntin/Mulli	SW Creamy 7012	wood
Columns	SW Creamy 7012	12" box on Front 10" box on rear
Other Architectural Features	SW Creamy 7012	Decorative Wood Brackets
Other Architectural	B Farrow + Bull Parma Gray	Louvered Shutters
	Dark Walnut	Wood Front Door

SW 7012

## Creamy

FULL DETAILS ▾

This bright white has the softest of yellow undertones to create a subtle warmth in the room. Pairs wonderfully with other soft, warm hues, like Reynard.

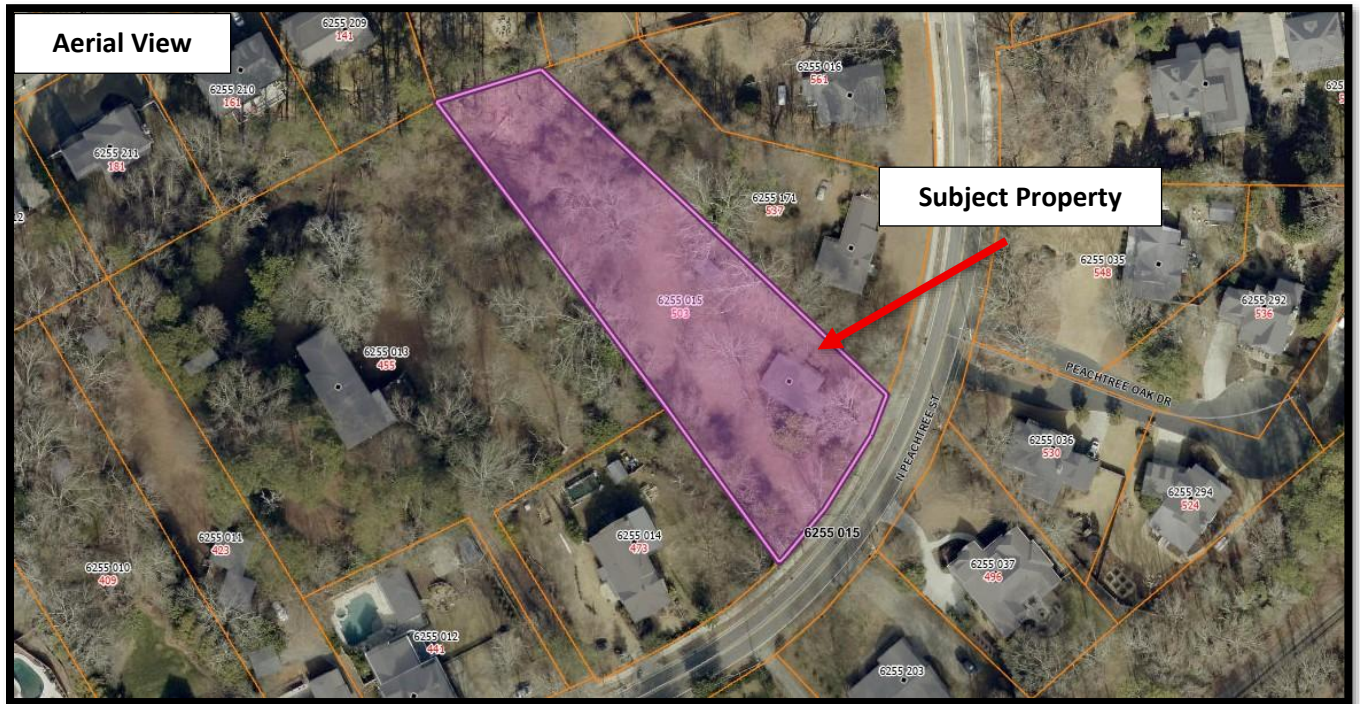


**Proposed Site Plan**

The proposed site plan shows the proposed single-family residence within the required R100 side and rear setbacks. The applicant will have the driveway on the northeastern part of the property and will extend to the rear for a rear entry garage. However, the applicant will have to revise the site plan to reflect the correct setbacks.

**City Engineer’s Comments and Recommendations**

- A buffer variance is required for encroachment into the 75’ impervious setback;
- A complete hydrology study should be performed, along with the design of a stormwater management plan and BMPs;
- A land disturbance permit will be required; and
- A five (5’) foot strip along the front property line shall be dedicated for public right-of-way. The required front setback shall be adjusted and measured from the revised right-of-way boundary (North Peachtree is a collector road and minimum ROW should be 60’. Existing ROW is 50’. It means we need 5’ from each side).



**Summary of the applicant's proposal**

The applicant proposes to demolish a historic home built in 1925 with the intent of rebuilding a two (2) story residence on a 1.02-acre lot. The historic demolition is first reviewed by the Architectural Review Board, with the final review by Mayor and Council.

**Architectural and Site Design Standards**

**1.3.2**

New residential buildings must be compatible with surrounding buildings in terms of form, scale, height, massing, proportion, and roof shape. No structure may exceed the height of an adjacent structure by more than one floor.

**3.4.1.2**

New structures should have roof forms and orientation consistent with buildings within its area of influence.

**3.4.3.1**

Traditional residential styles of pitches roofs ranging from 6:12 to 10:12 are encouraged.

**3.5.1.9**

Approved building materials include brick, stone, wood, and wood shakes/shingles.

**3.5.1.13**

Neutral traditional building color palettes are encouraged. Colors should blend with neighboring buildings.

**3.5.3.1**

All residential construction shall include a combination of architectural treatments, such as brick or stone masonry, stucco, wood, or other durable materials. If masonry materials are used a minimum of (3) three facades must use the masonry material.

**3.5.3.2**

The reveal (exposed portion) of siding will be a minimum of four inches and shall not exceed six (6) inches.

**3.6.1.8**

Large expanses of fixed windows are not permitted unless it is deemed integral to the design of the residence by the ARB.

**3.6.1.11**

Door and window types must correspond with the architectural styles found within the district. Contemporary single pane glass doors, and half-paneled doors with lights are examples of appropriate styles.

**Current zoning district for the property**

The R100 single-family residence zoning district is intended primarily for single family residences and related uses on large sized lots in the city.

## Historic Demolition Review:

Prescribed Guidelines for Evaluation of a Historic Demolition (2.1.6 and 2.1.7):

### Downtown Developments and Historic Districts

**Guidelines**

2.1.5 Each building proposed for demolition must be evaluated for historic and architectural merit as well as its importance to the history of the site, the National Register-listed district, and the DDD. As an alternative to demolition, many property owners consider “mothballing” a historic structure. Mothballing is a temporary means of closing up a structure, which protects it from the weather and secured it from vandalism. It is typically used when all means of finding a productive use have been exhausted, or when funds are not currently available to bring it back to a usable condition. When the local building official has declared a structure unsafe, mothballing can be a viable alternative to demolition, offering protection while funds are sought or while planning for its future use.

2.1.6 The demolition of a noncontributing structure within the district is allowed under the following conditions:

1. Plans for the redevelopment of the site have been through the Design Review process and have been approved by the ARB.
2. It is documented to the satisfaction of the ARB that finances are in place to construct the approved redevelopment plans.

2.1.7 The demolition of a contributing structure within the district is allowed under the following conditions:

1. It is documented to the satisfaction of the ARB that the building cannot feasibly be rehabilitated for use, which should be written by a licensed architect, engineer, or city inspector.
2. Plans for the redevelopment of the site have been through the Design Review process and have been approved by the ARB.
3. It is documented to the satisfaction of the ARB that finances are in place to construct the approved redevelopment plans.

SECTION 2.1 | DOWNTOWN DEVELOPMENT AND HISTORIC DISTRICTS

### The Three-Part Architectural Review Board’s Review of the Historic Demolition:

1. First, the ARB will need to determine if the existing building is a contributing or non-contributing structure. The design standards define contributing structure as a building that,

*“Contributes to the architectural or historic significance of a historic district. A “contributing building” in a historic district is one that may be of limited individual significance but nevertheless functions as an important component of the district.”*

2. Second, the ARB will need to determine the feasibility of rehabilitating the dwelling for use; and
3. Third, the ARB will need to review the financial statement confirming finances are sufficient for the developer to construct the proposed product.

**Historical Background:**

The subject parcel and dwelling are located in the National Historic District. Available records from the Gwinnett County Tax Assessor indicate that the dwelling was constructed in 1925. As it pertains to the Georgia Historic Resources survey conducted for the site, the existing home is on the National Register, with a recognition year of 1980. The full historical survey is attached to this analysis.



**Deconstruction Inspection:**

On April 22, 2026, city staff conducted a deconstruction inspection of the dwelling since the home was built prior to 1950. The Professional Engineer's report drafted by Mr. Daniel T. Sheehan, P.E., assessed the feasibility of renovating the existing building which is attached to this analysis. The conclusion of the report is that the dwelling is not feasible for renovation or reconstruction. The full report is attached to this analysis.

Homes in the Area and Their Existing Architectural Styles:









# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address: <i>503 N Peachtree St</i>	Lot # <i>-</i>	Tax Parcel ID: <i>R6255 015</i>	
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name: <i>Alice Nesbit</i>	Phone: <i>-</i>		
Address: <i>537 N Peachtree St</i>	City: <i>Norcross</i>	State: <i>GA</i>	Zip Code: <i>30071</i>
APPLICANT			
Applicant Name: <i>Ethan Frazier</i>	Phone: [REDACTED]		
Company Name: <i>Frazier Family Homes</i>	Email: [REDACTED]		
Address: <i>390 Brogden Rd Suwanee GA 30025</i>	City: <i>Suwanee</i>	State: <i>GA</i>	Zip Code: <i>30024</i>
DESCRIPTION OF PROJECT			
Project Type <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:  <i>New single family residence</i>			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months?  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please list the board and reference number:  _____			
OWNER'S SIGNATURE			
Signature: <i>Alice Elaine Nesbit</i>	Date: <i>2/25/2026</i>		
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <a href="https://eplansolution.com/norcrossga">https://eplansolution.com/norcrossga</a> Hard copies of application materials will not be accepted.			



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

Foundation Type: (Circle One)		
<u>Slab</u>	Crawl Space	Basement
Building Dimensions:		
Width: 51'4"	Length: 80'	Height:* 28'
Area Dimensions:		
First Floor: 2,222	Second Floor: 1,000	Third Floor: -
Basement**:	Front Porch: 384	Rear Porch: 310
Patio: -	Garage: 653	
Primary Roof System: (Circle One)		
<u>Gable</u>	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch:	<del>10:12</del> 10:12	
Secondary Roof Pitch:	<del>12:12</del> 10:12	
Additional Roof Pitch:	3:12	
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	SW Creamy 7012	Hardie Siding
Primary Façade: <u>Second</u>	SW Creamy 7012	Hardie Siding
Primary Façade: Third	—	—
Left Side:	SW Creamy 7012	Hardie Siding
Left Side: Second	SW Creamy 7012	Hardie Siding
Left Side: Third	—	—
Left Side:	—	—
Right Side:	SW Creamy 7012	Hardie Siding
Right Side: Second	SW Creamy 7012	Hardie Siding
Right Side:	—	—
Right Side:	—	—
Rear: First	SW Creamy 7012	Hardie Siding
Rear: Second	SW Creamy 7012	Hardie Siding
Rear: Third	—	—
Rear: Basemnt	—	—



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Pine Hill Masonry	Brick
Garage Doors	SW Creamy 7012	Carriage Stamped
Trim	SW Creamy 7012	Hardie
Mortar	Cosca Creme	Concrete mortar
Gutters	White	4" Round
Corner Board	SW Creamy <del>7012</del> 7012	4" <del>wood</del> Corner board
Railings	-	-
Windows	SW Creamy 7012	Wood
Window Sills	SW Creamy 7012	Wood
Window Muntin/Mulli	SW Creamy 7012	wood
Columns	SW Creamy 7012	12" box on Front 10" box on rear
Other Architectural Features	SW Creamy 7012	Decorative Wood Brackets
Other Architectural	B Farrow + Brill Parma Gray	Louvered Shutters

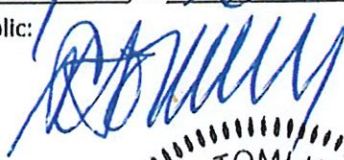
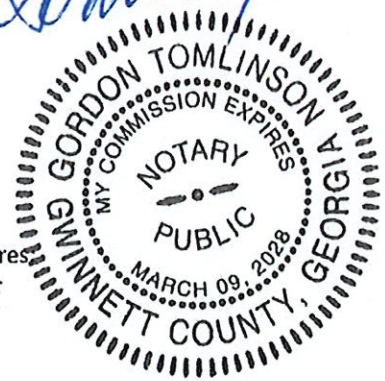
Dark Walnut

Wood Front Door



# Owner's Affidavit

Community Development Department Phone: 678-421-2027 65  
Lawrenceville Street Norcross, GA 30071

<b>Section I. Land Ownership</b>	
I, _____, hereby attest to ownership of the property located at <u>503 N Peachtree</u> , Parcel ID# <u>R6255 015</u> for which this Application is submitted. The Ownership, as recorded on the deed, is in the name of <u>Alice Elaine Nesbitt</u> .	
<b>Section II. Type of Ownership</b>	
<input checked="" type="checkbox"/> Individual <input type="checkbox"/> Corporation/LLC <input type="checkbox"/> Partnership <input type="checkbox"/> Government <input type="checkbox"/> Homeowner	
Corporation/LLC/Partnership Name:	Secretary of State Registration Number:
	Registered Agent Name:
Provide Names of all Officers/Members/General Partners (If applicable):	
Registered Agent Address:	Registered Agent Phone #:
<b>COMPLETE BY OWNER</b>	
As the owner of the above designated property for which this affidavit is submitted, I wish to allow <u>Ethan Frazier</u> (applicant's name) to apply for a <u>Demo &amp; Building</u> for the address mentioned in Section I of this form. I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief.	
<b>NOTARY</b>	
Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.	Sworn and subscribed before me this <u>25<sup>th</sup></u> day of <u>February</u> , 20 <u>26</u> .
Name: <u>Alice Nesbitt</u>	Notary Public: 
Address: <u>537 N Peachtree st</u>	Seal: 
City, State, Zip Code: <u>Norcross GA 30071</u>	
Email address: <u>-</u>	
Phoner Number: <u>-</u>	
Owner's signature: <u>Alice Elaine Nesbitt</u>	Commission expires: _____

**SIGNATURE PAGE**

Please read and initial

EP Application is hereby made according to the laws and ordinances of the City of Norcross for a permit to demolish a building, structure or part thereof located within the National Historic District as described herein or shown on accompanying plan and specification, to be located as shown on accompanying plat plan and if same is granted, agree to conform to all laws and ordinances regulating same. Demolition will be started no later than six months from date of permit issue. Personally appeared the above named applicant, who under oath says that he/she is the applicant for the foregoing, and that all the above statements are true to the best of his/her knowledge.

Ethan Frazier  
Applicant's Name (please print clearly)

[Signature] 3/15/20  
Applicant's Signature and Current Date

Before me, the undersigned notary public, this day, personally, appeared ETHAN FRAZIER to me known, who being duly sworn according to law, deposes the following:

Subscribed and sworn to before me this 5 day of MARCH, 2020.

Notary Public [Signature]



Alice Nesbitt  
Current Property Owner's Name (please print clearly)

Alice Elaine Nesbitt 2/25/2020  
Current Property Owner' Signature and Current Date

Before me, the undersigned notary public, this day, personally, appeared A.E. Nesbitt to me known, who being duly sworn according to law, deposes the following:

Subscribed and sworn to before me this 25 day of February, 2020.

Notary Public [Signature]



This Document  was /  was not signed in the presence of \_\_\_\_\_

City of Norcross Personnel

Date

**Daniel T. Sheehan, P.E.**

**168 Elm St**

**Jefferson, GA 30549**

**770/367/5310**

February 24, 2026

Ethan Frazier  
Frazier Family Homes

Re: Structural Condition Assessment -Existing Residence  
Address: 503 N. Peachtree St.  
Norcross, GA 30071

To Whom It May Concern:

As requested, I have examined the residence referenced above. Specifically, it was requested that I provide a professional opinion as to whether the existing foundation was structurally sound to use when you renovate or reconstruct the residence. I inspected the residence on February 17, 2026.

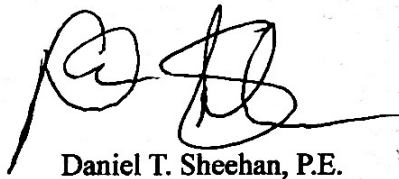
The existing residence was a single-story, wood framed structure that was originally constructed in 1925. The house did not appear to have been well maintained.

It was constructed with a crawlspace. There was a brick skirt wall enclosing the crawlspace. The original foundation piers for the wood framed floor structure were stacked stone that had been mortared. Additional CMU (concrete masonry unit) piers have been added in areas apparently in an attempt to reinforce the floor structure. Some of these blocks were turned sideways instead of being stacked.

The overall condition of the existing foundation and residential structure was below average/ poor. The existing foundation and floor structure is not adequate to be used in the renovation or reconstruction of residence. It would not meet current building code requirements (2024 International Residential Code).

If there are any questions or you need any additional information, please contact me.

Sincerely,



Daniel T. Sheehan, P.E.

State of GA #20186



April 1, 2026

To Whom It May Concern:

This is to certify that Frazier Family Home Builders, LLC. has sufficient funds to construct a new home located at 503 N Peachtree, Norcross, GA 30071 in the amount of \$700,000.00.

If you have any questions, I can be contacted at 678-714-4424.

Sincerely,

*Kim Franklin*

Kim Franklin  
Vice President

**Office 770-932-1900**

**Fax 678-482-9152**

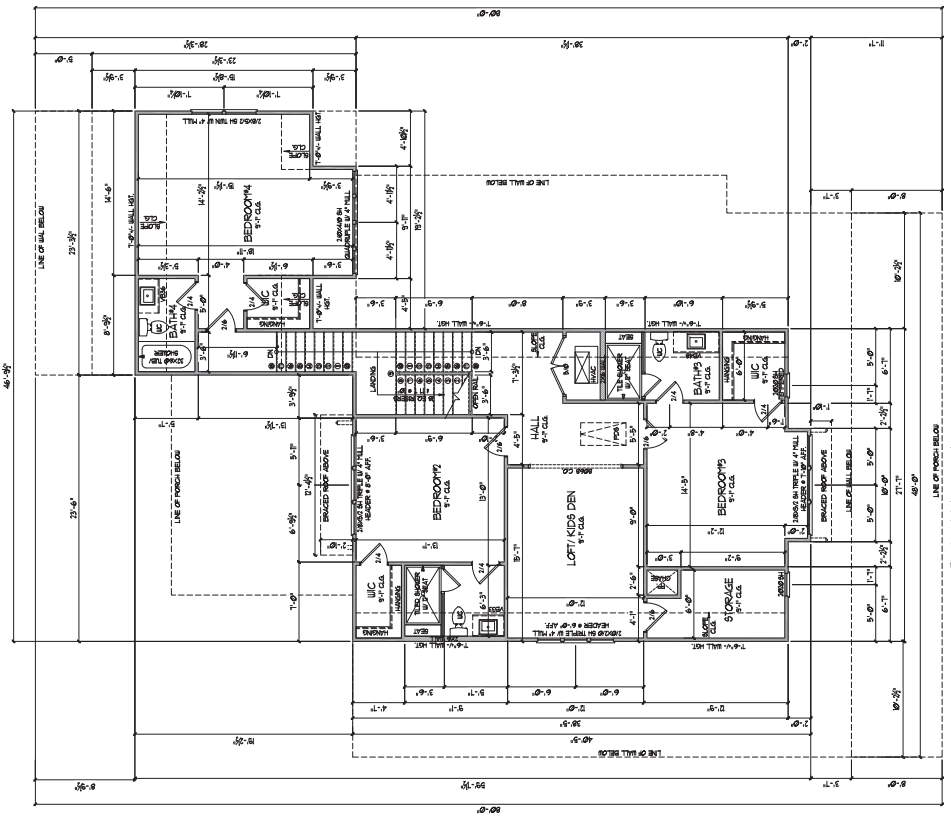
**1899 Buford Highway**

**Buford, GA 30518**

**[www.peoplesbanktrust.com](http://www.peoplesbanktrust.com)**







2nd Floor Plan  
 SCALE 1/4" = 1'-0"

- NOTES:
1. DIMENSIONS ARE CONDITIONS TO BE OBSERVED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
  2. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
  3. VERIFY ALL DOOR AND WINDOW SIZES AND SETS WITH ALL ROOM PARTITION WALLS.
  4. CONSTRUCTION TO VERIFY ALL CLEARANCES OF ALL DOORS AND WINDOWS TO BE CORRECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  5. CONTRACTOR TO VERIFY ALL DIMENSIONS AS SHOWN ON THIS PLAN.
  6. ALL WORK TO BE DONE BY A LICENSED PROFESSIONAL ENGINEER.
  7. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ROOMS AND PARTITIONS PRIOR TO CONSTRUCTION. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ROOMS AND PARTITIONS PRIOR TO CONSTRUCTION. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ROOMS AND PARTITIONS PRIOR TO CONSTRUCTION.
  8. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ROOMS AND PARTITIONS PRIOR TO CONSTRUCTION. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ROOMS AND PARTITIONS PRIOR TO CONSTRUCTION.
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  19. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ROOMS AND PARTITIONS PRIOR TO CONSTRUCTION. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ROOMS AND PARTITIONS PRIOR TO CONSTRUCTION.
  20. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ROOMS AND PARTITIONS PRIOR TO CONSTRUCTION. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ROOMS AND PARTITIONS PRIOR TO CONSTRUCTION.

ITEM	QUANTITY	UNIT	PRICE
1. FLOOR FINISH	1200	SQ. FT.	1.50
2. WALL FINISH	1200	SQ. FT.	1.50
3. CEILING FINISH	1200	SQ. FT.	1.50
4. PAINT	1200	SQ. FT.	1.50
5. CARPET	1200	SQ. FT.	1.50
6. TILE	1200	SQ. FT.	1.50
7. STAINLESS STEEL SINK	1	EA.	100.00
8. STAINLESS STEEL STOVE	1	EA.	100.00
9. STAINLESS STEEL REFRIG.	1	EA.	100.00
10. STAINLESS STEEL DISHWASHER	1	EA.	100.00
11. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
12. STAINLESS STEEL SINK	1	EA.	100.00
13. STAINLESS STEEL STOVE	1	EA.	100.00
14. STAINLESS STEEL REFRIG.	1	EA.	100.00
15. STAINLESS STEEL DISHWASHER	1	EA.	100.00
16. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
17. STAINLESS STEEL SINK	1	EA.	100.00
18. STAINLESS STEEL STOVE	1	EA.	100.00
19. STAINLESS STEEL REFRIG.	1	EA.	100.00
20. STAINLESS STEEL DISHWASHER	1	EA.	100.00
21. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
22. STAINLESS STEEL SINK	1	EA.	100.00
23. STAINLESS STEEL STOVE	1	EA.	100.00
24. STAINLESS STEEL REFRIG.	1	EA.	100.00
25. STAINLESS STEEL DISHWASHER	1	EA.	100.00
26. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
27. STAINLESS STEEL SINK	1	EA.	100.00
28. STAINLESS STEEL STOVE	1	EA.	100.00
29. STAINLESS STEEL REFRIG.	1	EA.	100.00
30. STAINLESS STEEL DISHWASHER	1	EA.	100.00
31. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
32. STAINLESS STEEL SINK	1	EA.	100.00
33. STAINLESS STEEL STOVE	1	EA.	100.00
34. STAINLESS STEEL REFRIG.	1	EA.	100.00
35. STAINLESS STEEL DISHWASHER	1	EA.	100.00
36. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
37. STAINLESS STEEL SINK	1	EA.	100.00
38. STAINLESS STEEL STOVE	1	EA.	100.00
39. STAINLESS STEEL REFRIG.	1	EA.	100.00
40. STAINLESS STEEL DISHWASHER	1	EA.	100.00
41. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
42. STAINLESS STEEL SINK	1	EA.	100.00
43. STAINLESS STEEL STOVE	1	EA.	100.00
44. STAINLESS STEEL REFRIG.	1	EA.	100.00
45. STAINLESS STEEL DISHWASHER	1	EA.	100.00
46. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
47. STAINLESS STEEL SINK	1	EA.	100.00
48. STAINLESS STEEL STOVE	1	EA.	100.00
49. STAINLESS STEEL REFRIG.	1	EA.	100.00
50. STAINLESS STEEL DISHWASHER	1	EA.	100.00
51. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
52. STAINLESS STEEL SINK	1	EA.	100.00
53. STAINLESS STEEL STOVE	1	EA.	100.00
54. STAINLESS STEEL REFRIG.	1	EA.	100.00
55. STAINLESS STEEL DISHWASHER	1	EA.	100.00
56. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
57. STAINLESS STEEL SINK	1	EA.	100.00
58. STAINLESS STEEL STOVE	1	EA.	100.00
59. STAINLESS STEEL REFRIG.	1	EA.	100.00
60. STAINLESS STEEL DISHWASHER	1	EA.	100.00
61. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
62. STAINLESS STEEL SINK	1	EA.	100.00
63. STAINLESS STEEL STOVE	1	EA.	100.00
64. STAINLESS STEEL REFRIG.	1	EA.	100.00
65. STAINLESS STEEL DISHWASHER	1	EA.	100.00
66. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
67. STAINLESS STEEL SINK	1	EA.	100.00
68. STAINLESS STEEL STOVE	1	EA.	100.00
69. STAINLESS STEEL REFRIG.	1	EA.	100.00
70. STAINLESS STEEL DISHWASHER	1	EA.	100.00
71. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
72. STAINLESS STEEL SINK	1	EA.	100.00
73. STAINLESS STEEL STOVE	1	EA.	100.00
74. STAINLESS STEEL REFRIG.	1	EA.	100.00
75. STAINLESS STEEL DISHWASHER	1	EA.	100.00
76. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
77. STAINLESS STEEL SINK	1	EA.	100.00
78. STAINLESS STEEL STOVE	1	EA.	100.00
79. STAINLESS STEEL REFRIG.	1	EA.	100.00
80. STAINLESS STEEL DISHWASHER	1	EA.	100.00
81. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
82. STAINLESS STEEL SINK	1	EA.	100.00
83. STAINLESS STEEL STOVE	1	EA.	100.00
84. STAINLESS STEEL REFRIG.	1	EA.	100.00
85. STAINLESS STEEL DISHWASHER	1	EA.	100.00
86. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
87. STAINLESS STEEL SINK	1	EA.	100.00
88. STAINLESS STEEL STOVE	1	EA.	100.00
89. STAINLESS STEEL REFRIG.	1	EA.	100.00
90. STAINLESS STEEL DISHWASHER	1	EA.	100.00
91. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
92. STAINLESS STEEL SINK	1	EA.	100.00
93. STAINLESS STEEL STOVE	1	EA.	100.00
94. STAINLESS STEEL REFRIG.	1	EA.	100.00
95. STAINLESS STEEL DISHWASHER	1	EA.	100.00
96. STAINLESS STEEL RANGE HOOD	1	EA.	100.00
97. STAINLESS STEEL SINK	1	EA.	100.00
98. STAINLESS STEEL STOVE	1	EA.	100.00
99. STAINLESS STEEL REFRIG.	1	EA.	100.00
100. STAINLESS STEEL DISHWASHER	1	EA.	100.00

NO.	
DESCRIPTION:	
DATE:	

DESIGNER:  
**VIEWPOINT DESIGN**  
 4841 BELLE ESTATES RD.  
 SUWANEE, GEORGIA 30024  
 PHONE: (404) 518-0956  
 rc.viewpointdesign@gmail.com

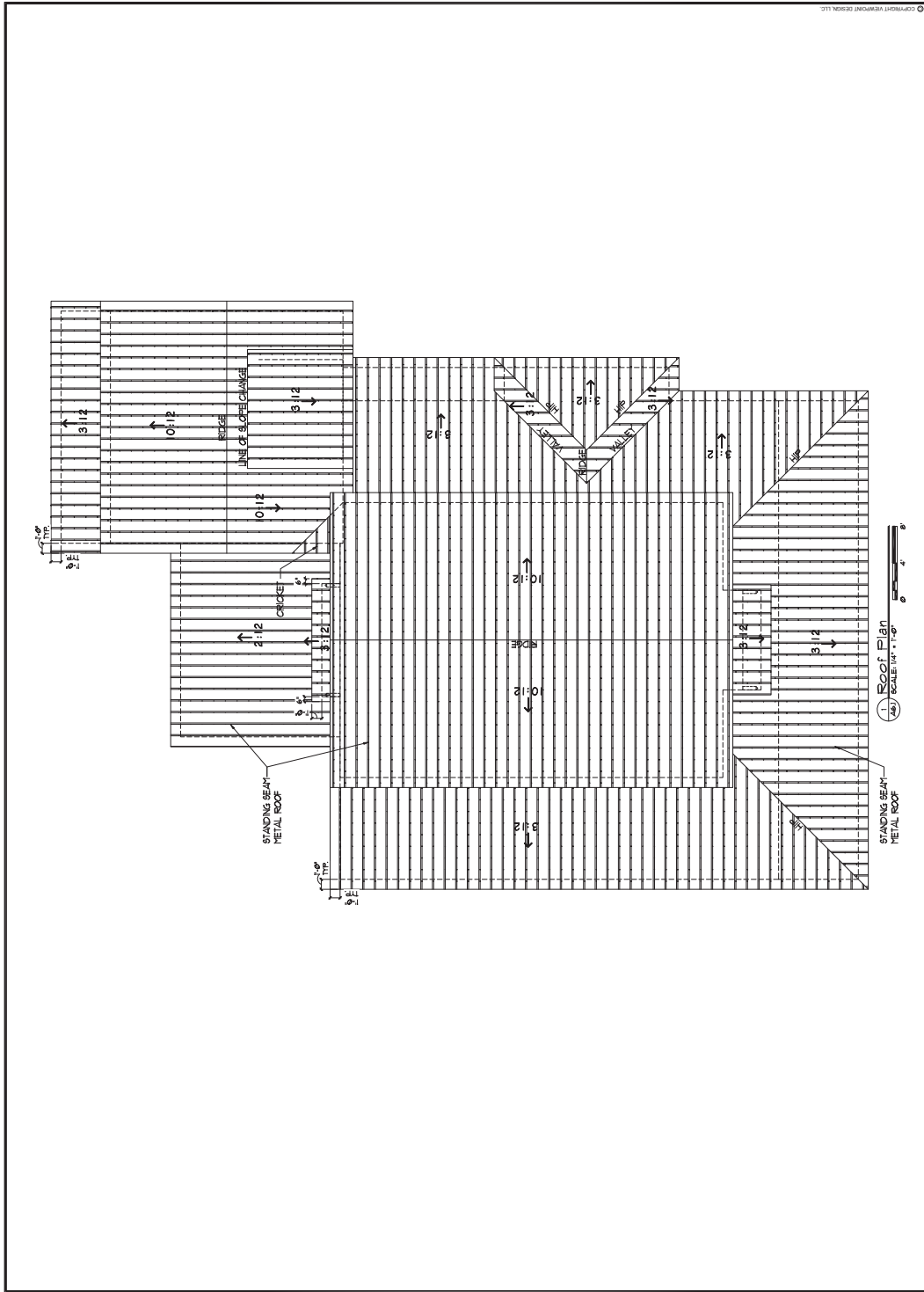
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PROJECT NAME:  
**NEW RESIDENCE**  
 503 N PEACHTREE ST.  
 NORCROSS, GA 30071

OWNER:  
**FRAZIER FAMILY ROOZEE**  
 503 N PEACHTREE ST.  
 NORCROSS, GA 30071

DATE: 1/17/2016  
 DRAWN BY: AS/N/D/D  
 CHECKED BY: N/A  
 SCALE: N/A  
**A6.1**

ROOF PLAN





## Pre-Deconstruction Inspection Checklist

Applicant Name: Ethan Frazer Date: 4/10/20  
 Address: 503 N Peachtree st Year Built: 1925

### APPLICANT COMPLETE THIS SECTION

Please indicate which materials present in your property are proposed to be removed by selecting from the list of items below. Please complete prior to Pre-Deconstruction Inspection scheduled through the Community Development Department.

Doors:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Lighting fixtures:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Plumbing fixtures:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Working appliances:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Hardwood flooring:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Cabinets:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Windows:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Countertops:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Wall Studs:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Brick:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Stone:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Other Materials:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

### FOR OFFICIAL USE ONLY

This section shall be completed by staff during the Pre-Deconstruction Inspection. A copy of this inspection sheet shall be given to the applicant as a record of the deconstruction requirements for this application.

Doors: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No QTY: <u>    </u>	Lighting fixtures: <input type="checkbox"/> Yes <input type="checkbox"/> No QTY: <u>    </u>
Plumbing fixtures: <input type="checkbox"/> Yes <input type="checkbox"/> No QTY: <u>    </u>	Working appliances: <input type="checkbox"/> Yes <input type="checkbox"/> No QTY: <u>    </u>
Hardwood flooring: <input type="checkbox"/> Yes <input type="checkbox"/> No QTY: <u>    </u>	Cabinets: <input type="checkbox"/> Yes <input type="checkbox"/> No QTY: <u>    </u>
Windows: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No QTY: <u>    </u>	Countertops: <input type="checkbox"/> Yes <input type="checkbox"/> No QTY: <u>    </u>
Wall Studs: <input type="checkbox"/> Yes <input type="checkbox"/> No QTY: <u>    </u>	Brick: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No QTY: <u>    </u>
Stone: <input type="checkbox"/> Yes <input type="checkbox"/> No QTY: <u>    </u>	Other Materials: <input type="checkbox"/> Yes <input type="checkbox"/> No QTY: <u>    </u>

Notes: Deconstruction inspection took place on 4-22-20.  
The applicant intends to salvage the bricks, doors, and windows.

**Georgia Historic Resources**  
**Historic Preservation Division,**  
**Georgia Department of Natural Resources.**

<b>Resource ID</b>	206589		
<b>County</b>	Gwinnett		
<b>Item 1. Resource Name</b>			
<b>Item 3. Resource Address/Location</b>	503 North Peachtree Street Norcross 30071		
<b>Item 4. Owner's Name and Address</b>			
<b>Item 5. Classification</b>	Building		
<b>Item 7. Current Use</b>	Domestic/residential-Single dwelling		
<b>Item 7. Original Use</b>	Domestic/residential-Single dwelling		
<b>Item 8. Date of Construction (or estimate)</b>	c1925		
<b>Item 9. Major Changes</b>	<b>Altered:</b>	<u>Description</u>	<u>Date</u>
		screened in front porch	
	<b>Additions:</b>	<u>Description</u>	<u>Date</u>
		rear addition	
	<b>Moved:</b>	<u>Description</u>	<u>Date</u>
	<b>Destroyed:</b>	<u>Description:</u>	<u>Date:</u>
<b>Item 10. Architect/engineer/designer</b>	Unknown		
<b>Item 11. Contractor/builder/craftsman</b>	Unknown		
<b>Item 12. Style</b>	Craftsman		
<b>Item 13. Building Type</b>	House types-Bungalow-Side gable		
<b>Item 14. Original Floor Plan</b>	Two unequal rooms [Two rooms]		
<b>Item 15. Plan Shape</b>	Rectangular		
<b>Item 16. Number Of Stories</b>	One		
<b>Item 17. Facade Symmetry</b>	Asymmetric		
<b>Item 17. Front Door(s)</b>	One door		
<b>Item 18. Roof Type</b>	Gable-Multi-gable		
<b>Item 18. Roof Material</b>	Composition shingle/asphalt shingle		

<b>Item 19. Chimney placement and Material</b>	Off-center, within roof surface-Off-center, roof surface (one) [Brick]										
<b>Item 20. Type Of Construction</b>	Balloon frame/platform frame										
<b>Item 21. Exterior material(s)</b>	Wood-Weatherboard/clapboard/beveled siding										
<b>Item 22. Foundation material(s)</b>	Brick										
<b>Item 23. Porches</b>	Verandah [Front] [1 story] [Partial] [Wood] [Gable]										
<b>Item 24. Windows</b>	Double-hung sash [Flat-headed] [6/6] [Rectangular] Fixed										
<b>Item 25. Additional physical description</b>	Fixed 12 light window in gable and fixed 8 light window in gable; brackets; rear shed roof addition; square columns on brick piers; paired windows										
<b>Item 26. Pictures</b>	<a href="#">Resource 15-a.jpg (107k)</a> <a href="#">Resource 15-b.jpg (88k)</a> <a href="#">Resource 15-c.jpg (101k)</a> <a href="#">Resource 15-d.jpg (105k)</a> <a href="#">Resource 15-e.jpg (89k)</a>										
<b>Item 27. Description of outbuildings (if any)</b>	Implement shed [small, shed roof]										
<b>Item 29. Description of Landscape Features</b>	Yard setting-Casual/unplanned Yard setting-Designed plantings/planting beds										
<b>Item 30. Count</b>	<table border="0"> <tr> <td><b>Number of Buildings:</b></td> <td>1</td> </tr> <tr> <td><b>Number of Structures:</b></td> <td>0</td> </tr> <tr> <td><b>Number of Outbuildings:</b></td> <td>1</td> </tr> <tr> <td><b>Number of Sites:</b></td> <td>0</td> </tr> <tr> <td><b>Number of Landscape features:</b></td> <td>0</td> </tr> </table>	<b>Number of Buildings:</b>	1	<b>Number of Structures:</b>	0	<b>Number of Outbuildings:</b>	1	<b>Number of Sites:</b>	0	<b>Number of Landscape features:</b>	0
<b>Number of Buildings:</b>	1										
<b>Number of Structures:</b>	0										
<b>Number of Outbuildings:</b>	1										
<b>Number of Sites:</b>	0										
<b>Number of Landscape features:</b>	0										
<b>Item 31. Description of the environment</b>	Town [Mixed old and new]										
<b>Item 32. Archeological Potential</b>											
<b>Item 33. History</b>											
<b>Item 34. Historical theme(s)</b>	Architecture										
<b>Item 34. Distinctive aspects of GA's history</b>											
<b>Item 35. Significance</b>	Architecture-Architectural design [Good example/illustration] Architecture-Architectural type-Common [Good example/illustration] Architecture-Architectural style-Common [Good example/illustration] Architecture-Craftsmanship [Good example/illustration] Architecture-Architectural technique-Common [Good example/illustration]										
<b>Item 36. Sources of Information</b>											

**Item 37. Prepared By** Nancy E-K McReynolds  
 Terracon  
 2855 Premiere Parkway  
 Suite C  
 Duluth GA 30097

**Item 38. Date Of Survey** Survey Resurvey  
 2007

**Item 39. Government preservation activity**

**Item 40. National Register Eligibility** Appears to meet Nat. Reg. criteria

**Item 41. USGS quadrangle name** Norcross

	<u>Zone</u>	<u>Easting</u>	<u>Northing</u>
<b>Item 41. UTM Reference and XY Coordinates</b>	16	757961	3759667
	<u>X Coordinate</u>	<u>Y Coordinate</u>	
	-84.208830339498	33.947643365852	

**Item 42. Tax map number** 6255  
 015

**Item 43. Recognition and Date** Recognition Date  
 National Register [District] 1980

**Item 43. State Agency**

**Item 43. Condition** Condition Due To Threatened By  
Good Structure

- **TIP:** To print this report select Print from the browser 'File' menu.
- These results are based on survey data in the database at the time of the search. Not all areas of the state have been surveyed, and not all surveyed areas have been surveyed to current standards. Unsurveyed resources meeting the parameters of your search/query may exist in surveyed and unsurveyed areas.
- This is a product of Georgia's Natural, Archaeological, and Historic Resources GIS developed by The Carl Vinson Institute of Government, ITOS Division at The University of Georgia. The University of Georgia expressly disclaims responsibility for damages or liability that may arise from the use of this report.



Photo 1: 206589



Photo 2: 206589



Photo 3: 206589



Photo 4: 206589

Norcross Survey - Terracon Project No. 49075602

Date Photos Taken: March 2007



Photo 5: 206589

Date Photos Taken: March 2007

Norcross Survey - Terracon Project No. 49075602



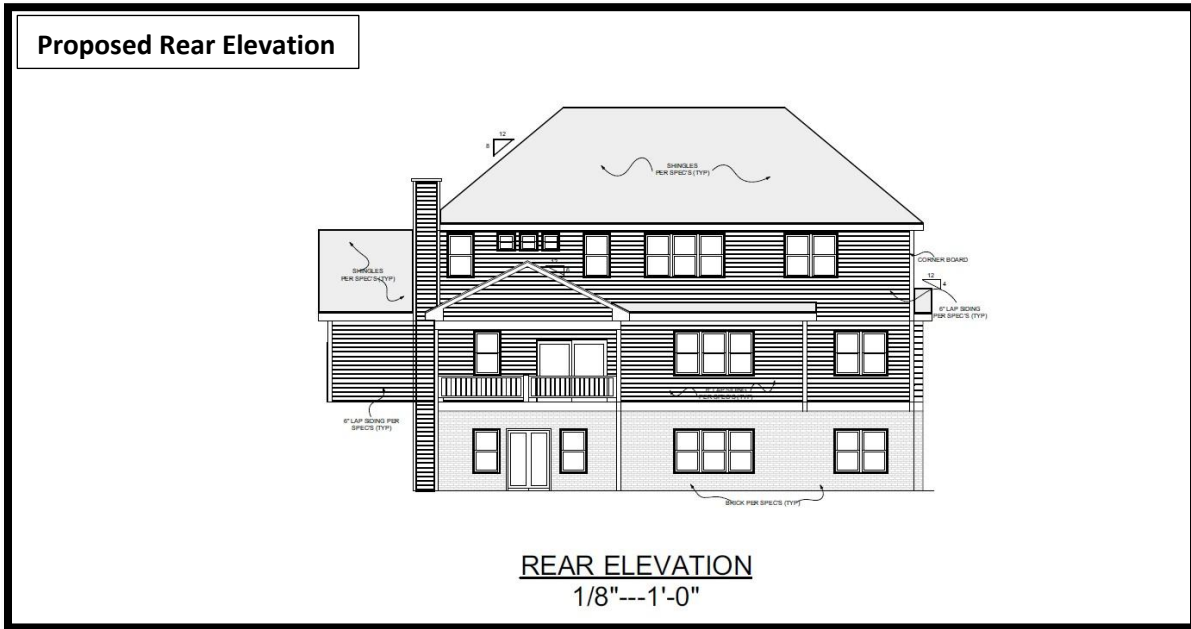
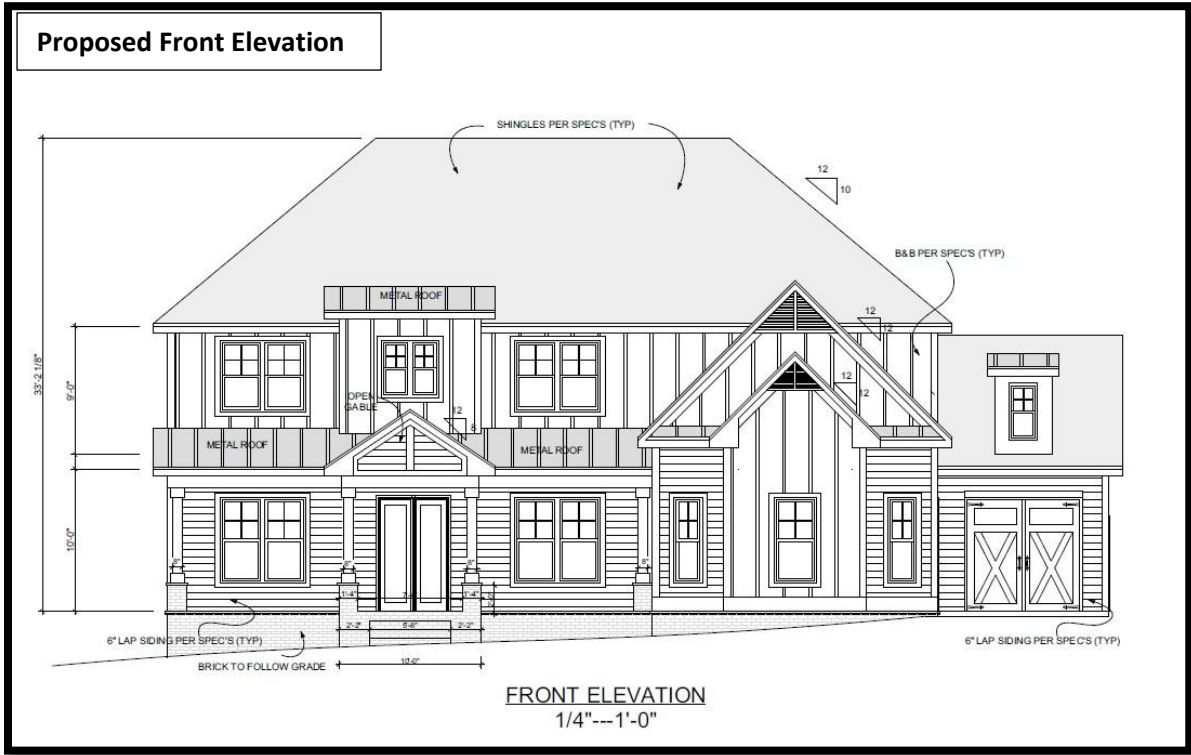
## Certificate of Appropriateness

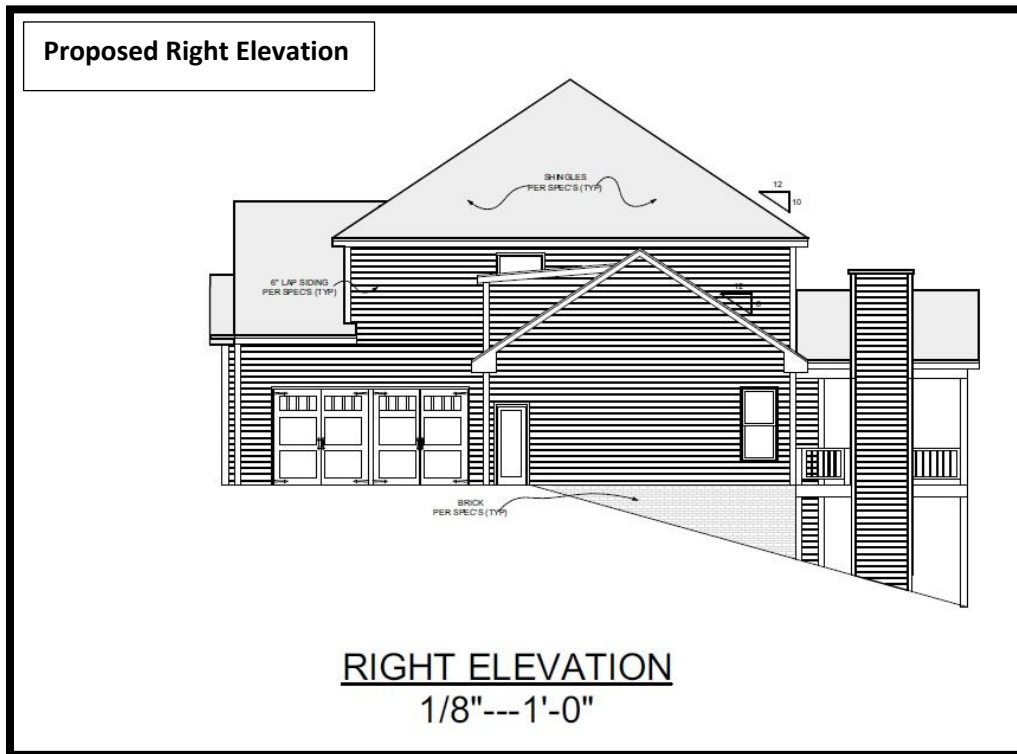
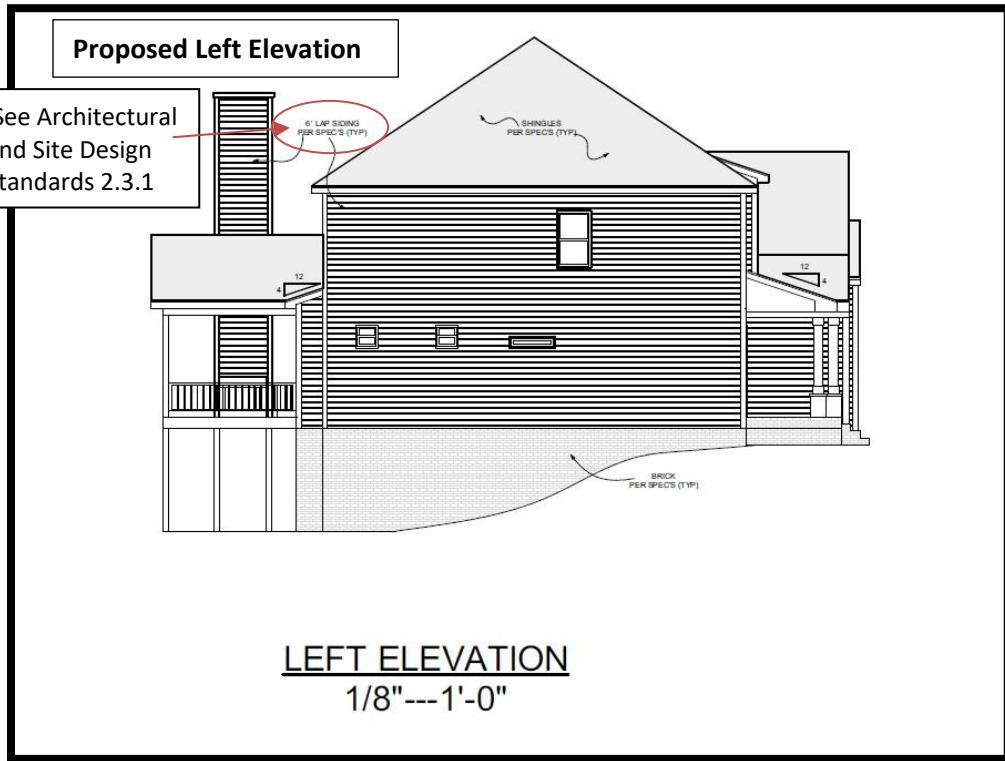
<b>Case Number</b>	<b>COA2026-006</b>
<b>Hearing Date</b>	May 19, 2026
<b>Petitioner</b>	Stan Howington
<b>Property Location</b>	30 North Barton Street
<b>Current Zoning</b>	R100 (Single-Family Residential)
<b>Proposed Zoning</b>	N/A
<b>Proposal</b>	Construction of a New Single-Family Residence
<b>Character Area</b>	Character Area 4: North Peachtree Street Neighborhoods
<b>Site Acreage</b>	0.34 acres
<b>District</b>	6
<b>Land Lot</b>	254
<b>Parcel #</b>	6254 621
<b>Taxes Paid</b>	N/A
<b>Historic District</b>	National

### **COMMUNITY DEVELOPMENT AND PLANNING DEPT. RECOMMENDATIONS**

Should the ARB decide to grant approval, Staff recommends the following conditions:

1. If front porch is higher than 30 inches above grade, it shall include a decorative rail.
2. Per section 2.3.1 horizontal siding is specifically prohibited for use on chimneys.
3. This approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
4. The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance.
5. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
6. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.





ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)			
Component	Color (Include manufacturer's ID)		Material
Primary Façade: First	SW 7637 Oyster White	6 in lap siding	
Primary Façade:	sw 7637 oyster white	B & B	
Primary Façade: Third			
Left Side:	sw 7637 oyster white	6 in lap siding	
Left Side: Second	same		
Left Side: Third			
left Side:	sw 7637 oyster white	6 in lap siding	
Right Side:	same		
Right Side: Second			
Right Side:			
Right Side:			
Rear: First	sw 7637 oyster white	6 in lap siding	
Rear: Second	same		
Rear: Third			
Rear: Basemnt	brick		

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)			
Component	Color (Include manufacturer's ID)		Material
Masonry	coosa ivory mortar	brick	
Garage Doors	sw 7637 oyster white	metal	
Trim	sw 7551 greek villa	hardie	
Mortar	coosa ivory		
Gutters	dark bronze	6 in aluminum	
Corner Board	sw 7551 greek villa	6 in hardie	
Railings	sw 7551 greek villa	pressure treated	
Windows	sw 7551 greek villa	wood	
Window Sills	sw 7551 greek villa	wood	
Window Muntin/Mulli	sw 7551 greek villa	sdl	
Columns	sw 7551 greek villa	pvc	
Other Architectural Features			
Other Architectural			

See Architectural and Site Design Standards 3.5.1.9

SW 7637

### Oyster White

FULL DETAILS ▾

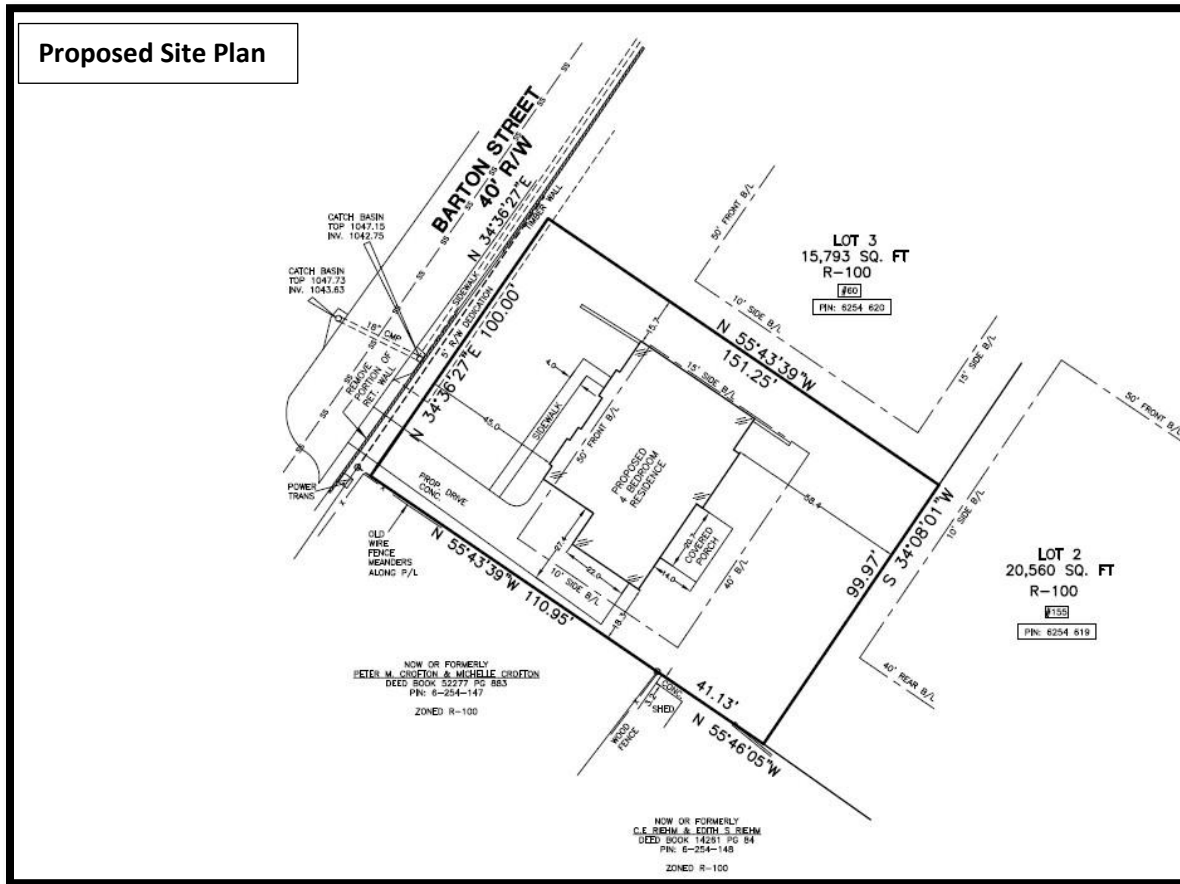
Float into any room painted with this creamy white. Its soft, green-beige undertone make this hue both stylish and calming.

SW 7551

### Greek Villa

FULL DETAILS ▾

This sunny white comes to life in natural light. Use it to brighten any space or try it on trim to make other colors pop.



**Proposed Site Plan**

The proposed site plan shows the footprint of the proposed single-family dwelling which is situated on a 0.34-acre lot. The proposed impervious coverage is 32 percent. The proposed residence meets the prescribed side and rear yard setbacks for a R100 lot. The applicant is proposing a front setback of 45 feet in lieu of the code required 50 feet, which will be reviewed further by the Community Development Department for compliance with Unified Development Ordinance Section 206-8, which offers front yard setback exceptions.





**Summary of the applicant's proposal**

The applicant seeks to construct a two-story single-family residence. The proposed architectural design is attached to this analysis.

**Architectural and Site Design Standards**

**2.1.1**

Architectural details must reflect features within the district or within the area of influence of the project, and will be appropriately scaled to the new construction utilizing historic precedent.

**2.1.2**

Architectural features must promote architectural interest and will use the same proportion, scale and detailing as the historic precedents found within the district. These features and details may not overwhelm a façade.

**2.1.3**

New buildings must be compatible with surrounding buildings in terms of form, scale, height, massing, proportion and roof shape. No structure may exceed the height of an adjacent structure by more than one floor.

**2.1.4**

One-story buildings shall have a minimum height of sixteen feet. No structure may exceed forty feet in height without formal approval of the City.

**2.3.1**

Chimneys may not appear to be cantilevered. All chimneys will feature a base integrated into the foundation, like traditional chimneys. Chimneys must be clad in a form of masonry, all other materials will be reviewed on a case-by-case basis by the ARB. Horizontal siding is specifically prohibited for use on chimneys.

**3.2.1.4**

Whenever possible utilize pervious paving materials (pavers and/or concrete), which help decrease runoff and are aesthetically more pleasing than asphalt.

**3.2.1.5**

All work must be in compliance with the Tree Ordinance.

**3.3.1.1**

The safety of a pedestrian must be paramount when designing the landscape and site layout of a project.

**3.3.1.4**

Consider introducing only native plant materials, or those plants that would have been available during the City's historic period. Native plant materials are adapted to the naturally occurring soil and climate and require less maintenance.

**3.3.1.6**

It is not permitted to remove healthy, mature trees.

**3.3.1.7**

Protect large trees and other significant site features from immediate damage during construction and from delayed damage due to construction activities by using accepted protection measures.

It is especially critical to avoid compaction of the soil and loss of roots within the critical root zone of trees.

**3.3.1.8**

Locate new walkways and driveways so that the topography of the building site and significant site features, including mature trees, are retained.

**3.3.1.10**

The protection of existing mature trees on a site is encouraged. Trees must be retained, and protected during construction using standard tree protection measures and integrated into the development.

**3.4.3.1**

Traditional residential styles of pitches roofs ranging from 6:12 to 10:12 are encouraged.

**3.5.1.4**

Gutters and downspouts that are specifically designed for the task must be used; the use of PVC conduit, piping and other such materials that are not specifically designed as gutters or downspouts is prohibited.

**3.5.1.9**

Approved building materials include brick, stone, wood, and wood shakes/shingles.

**3.5.1.14**

Chosen colors must be approved by the ARB on a case-by-case basis except when located within the National and Local Historic Districts. Suggested color palettes include:

1. "Victorian" by Sherwin Williams; 2. "Arts and Crafts" by Sherwin Williams; 3. "Jazz Age" by Sherwin Williams; 4. "Streamlined Years" by Sherwin Williams; and 5: "Historical Color Collection" by Benjamin Moore

**3.5.1.15**

The painting of masonry will be approved on a case-by-case basis.

**3.7.3.6**

The primary entrance to a residence must utilize an entrance feature, such as a stoop, verandah, porch, or terrace. These features help identify the entrance as the main entry to the residence.

**3.9.3.1**

Low-level lighting must be introduced in residential area to provide for safety and security where needed. Install recessed lights, footlights, pedestrian-scaled lighting, or directional lights in unobtrusive locations.

**3.11.3.4**

Integral garages may not have door openings facing the primary road along the front façade of the residence, unless there is not other feasible egress/ingress to the garage.

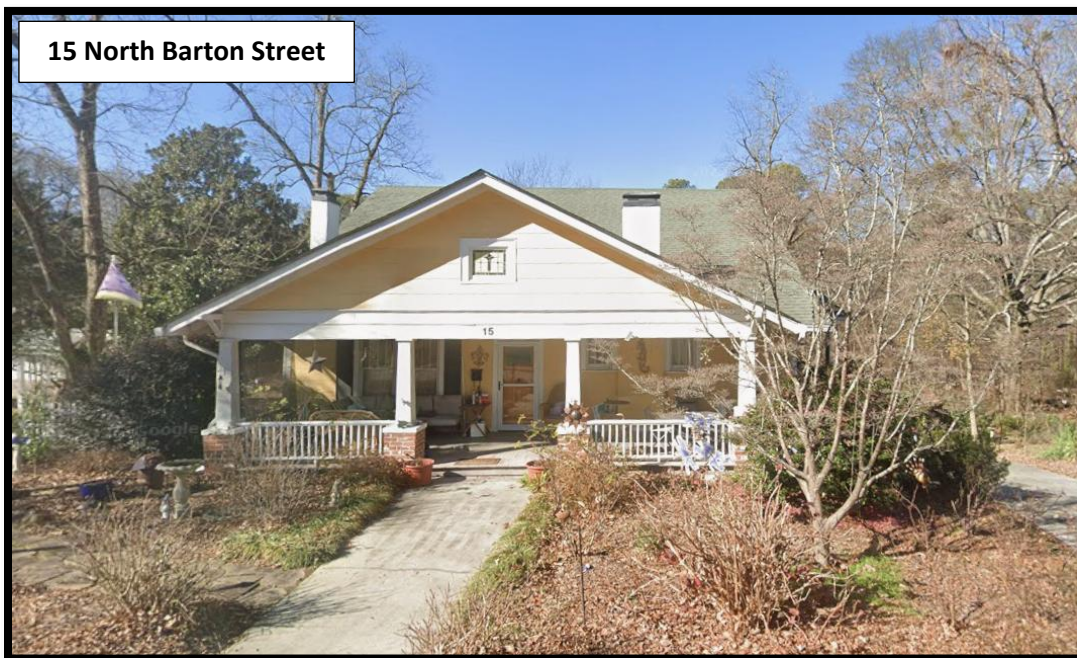
**3.14.2**

All new mailbox designs should be reviewed and receive the Postmaster General’s seal of approval before it goes to market. If you opt to construct your own mailbox, it must meet the same standards as manufactured boxes and must be approved by the local postmaster.

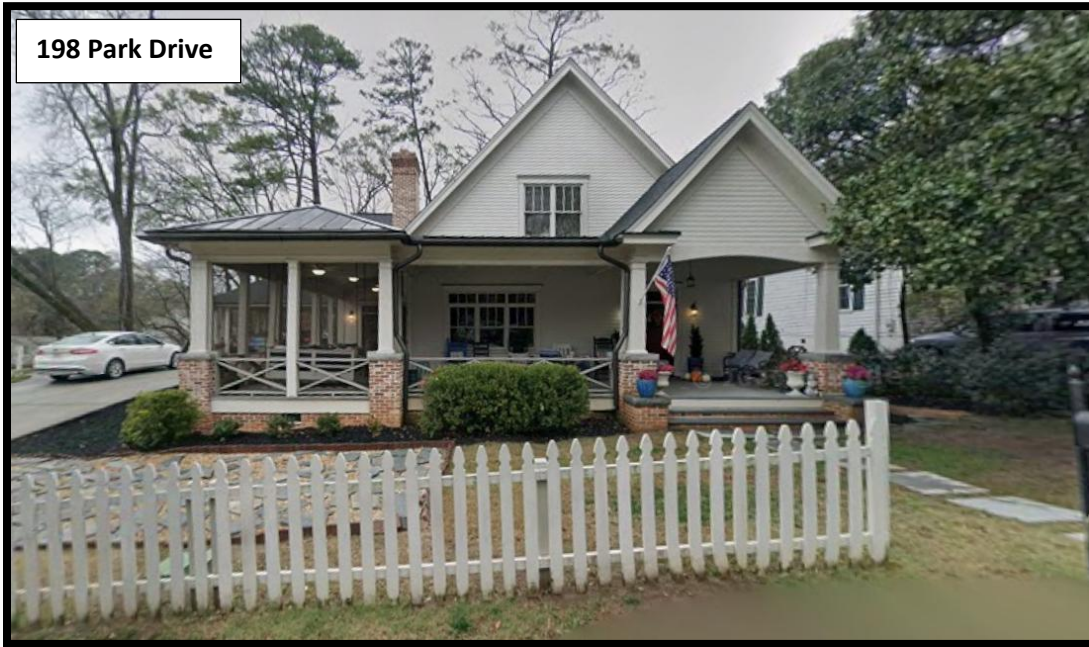
**Current zoning district for the property**

The R100 single-family residence zoning district is intended primarily for single family residences and related uses on large sized lots in the city.

**Homes in the Area and Their Existing Architectural Styles:**









# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027

65 Lawrenceville Street Norcross, GA 30071

### JOB LOCATION

Job Site Address: 30 North Barton Street Lot # 4 Tax Parcel ID: r 6 254 621

### LANDOWNER OF RECORD

If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.

Name: Peter Crofton Phone: [Redacted]  
Address: 198 Park Drive City: Norcross State: GA Zip Code: 30071

### APPLICANT

Applicant Name: Stan Howington Phone: [Redacted]  
Company Name: SCH Properties, Inc. Email: [Redacted]  
Address: 704 Dogwood Circle City: Norcross State: GA Zip Code: 30071

### DESCRIPTION OF PROJECT

Project Type  Residential  Commercial  Industrial  Other project

Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:

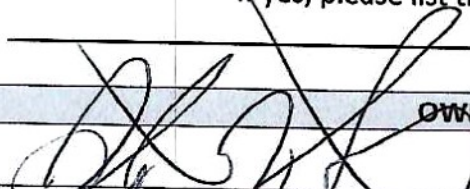
# Construction of a new home

### STATEMENT

Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months?

Yes  No

If yes, please list the board and reference number:



### OWNER'S SIGNATURE

Signature: [Handwritten Signature] Date: 4/3/26

**NOTE:** Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <https://eplansolution.com/norcrossga> Hard copies of application materials will not be accepted.



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

<b>Foundation Type: (Circle One)</b>		
Slab	Crawl Space	Basement
<b>Building Dimensions:</b>		
Width: 66	Length: 60	Height: * 34
<b>Area Dimensions:</b>		
First Floor: 1732	Second Floor: 1886	Third Floor: 00
Basement**: 1685	Front Porch: 252	Rear Porch: 304
Patio:	Garage: 791	
<b>Primary Roof System: (Circle One)</b>		
Gable	Hip xxx	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
<b>Roof Pitches:</b>		
Primary Roof Pitch: 8/12		
Secondary Roof Pitch: 10/12		
Additional Roof Pitch: 12/12 & 4/12		
<b>Floor and Elevation Plan information to be included on each</b>		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
<b>Site Plan and Landscape Plan information to be included on each</b>		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027

65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)			
Component	Color (Include manufacturer's ID)		Material
Primary Façade: First	SW 7637 Oyster White	6 in lap siding	
Primary Façade:	sw 7637 oyster white	B & B	
Primary Façade: Third			
Left Side:	sw 7637 oyster white	6 in lap siding	
Left Side: Second	same		
Left Side: Third			
Left Side:	sw 7637 oyster white	6 in lap siding	
Right Side:	same		
Right Side: Second			
Right Side:			
Right Side:			
Rear: First	sw 7637 oyster white	6 in lap siding	
Rear: Second	same		
Rear: Third			
Rear: Basemnt	brick		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)			
Component	Color (Include manufacturer's ID)		Material
Masonry	coosa ivory mortar	brick	
Garage Doors	sw 7637 oyster white	metal	
Trim	sw 7551 greek villa	hardie	
Mortar	coosa ivory		
Gutters	dark bronze	6 in aluminum	
Corner Board	sw 7551 greek villa	6 in hardie	
Railings	sw 7551 greek villa	pressure treated	
Windows	sw 7551 greek villa	wood	
Window Sills	sw 7551 greek villa	wood	
Window Muntin/Mulli	sw 7551 greek villa	sdl	
Columns	sw 7551 greek villa	pvc	
Other Architectural Features			
Other Architectural			



# Owner's Affidavit

Community Development Department Phone: 678-421-2027/65  
Lawrenceville Street Norcross, GA 30071

## Section I. Land Ownership

I, Peter Crofton, hereby attest to ownership of the property located at  
30 Barton Street Norcross Georgia, Parcel ID# R6254 621 for which this Application is submitted.  
The Ownership, as recorded on the deed, is in the name of Peter M. Crofton

## Section II. Type of Ownership

Individual     Corporation/LLC     Partnership     Government     Homeowner

Corporation/LLC/Partnership Name:

Secretary of State Registration Number:

Registered Agent Name:

Provide Names of all Officers/Members/General Partners (if applicable):

Registered Agent Address:

Registered Agent Phone #:

### COMPLETE BY OWNER

As the owner of the above designated property for which this affidavit is submitted, I wish to allow Stan Howington  
(applicant's name) to apply for a building permit and ARB review for the address mentioned in Section I of this form.  
I attest that the application is made in good faith and that any information contained in the application is accurate and  
complete to the best of my knowledge and belief.

### NOTARY

Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.

Sworn and subscribed before me this 31<sup>st</sup> day of March, 2026

Notary Public:

Seal:

Name: Peter Crofton

Address: 198 Park Drive

City, State, Zip Code: Norcross, GA 30071

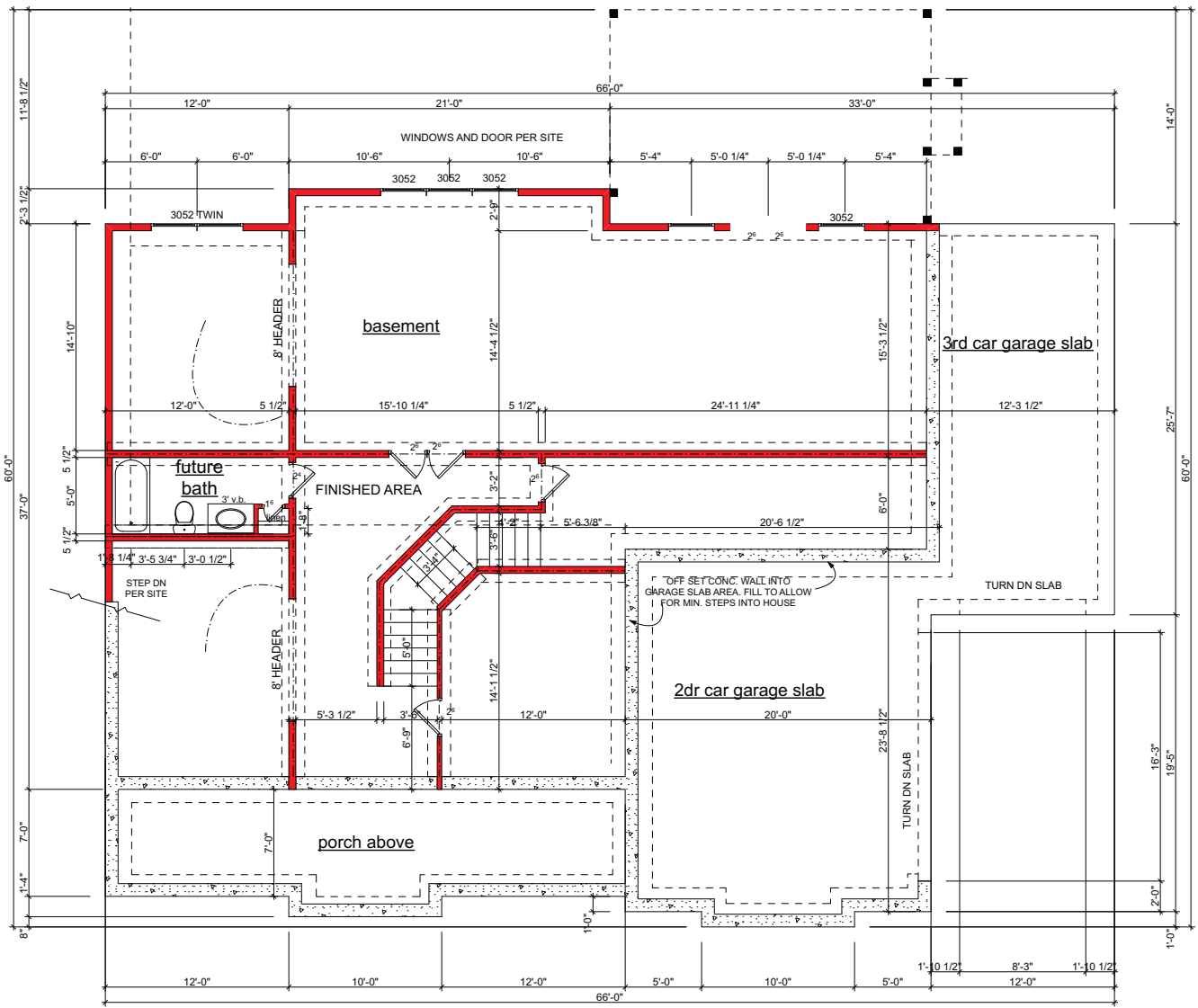
Email address: [REDACTED]

Phone Number: [REDACTED]

Owner's signature:



Commission expires 03.13.2029



18X24 PAPER SCALE 1/4" = 1'-0"

REV.	DATE

SCH PROPERTIES  
678-758-3828

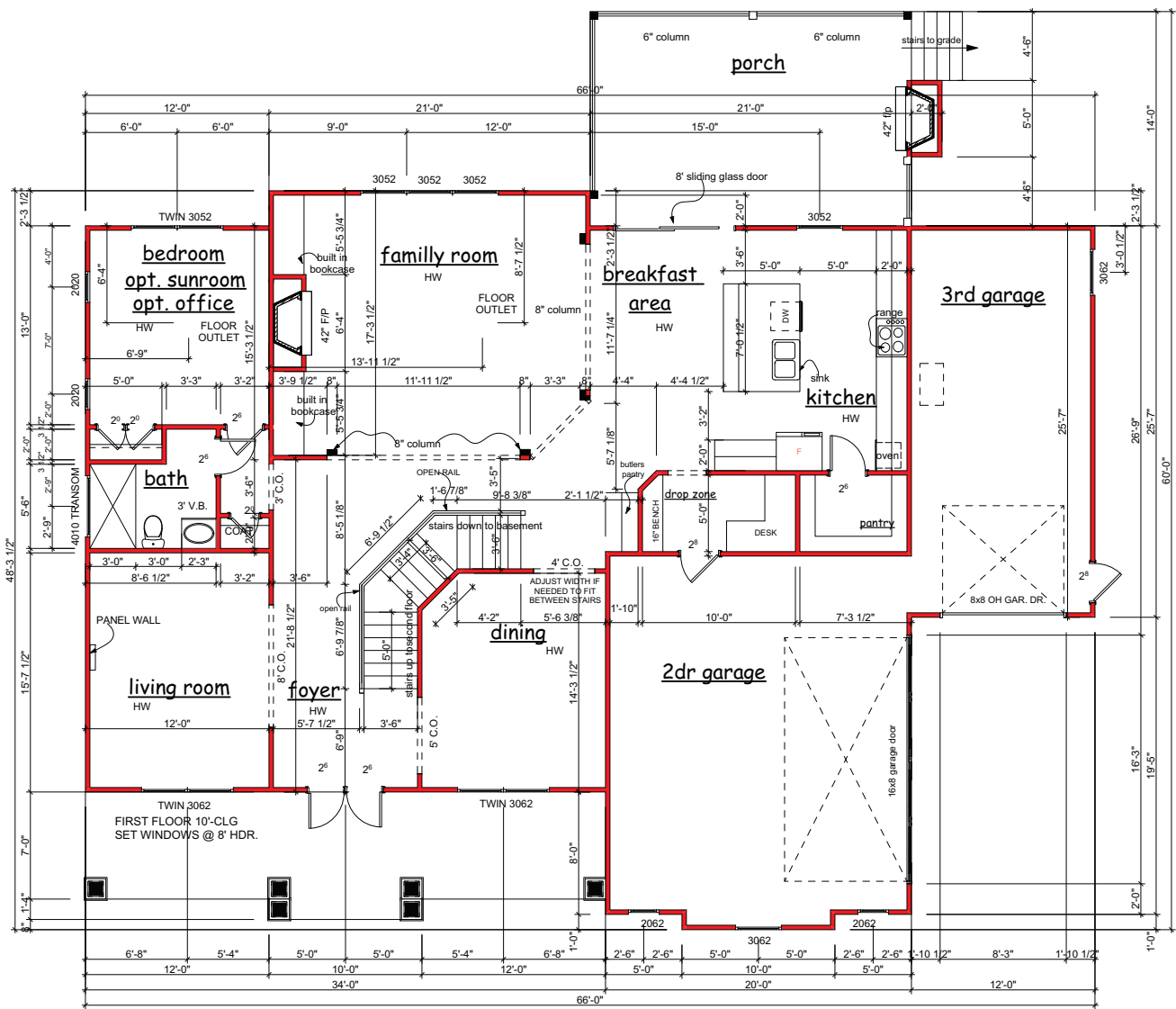
GOSSETT FAMILY  
BASMENT PLAN

DWG. BY:  
PWL/SAM

DATE:  
4-1-26

SHEET:  
2

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS)-RELEASED FOR CONSTRUCTION



WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS)-RELEASED FOR CONSTRUCTION

18X24 PAPER SCALE 1/4" = 1'-0"

REV.	
DATE	

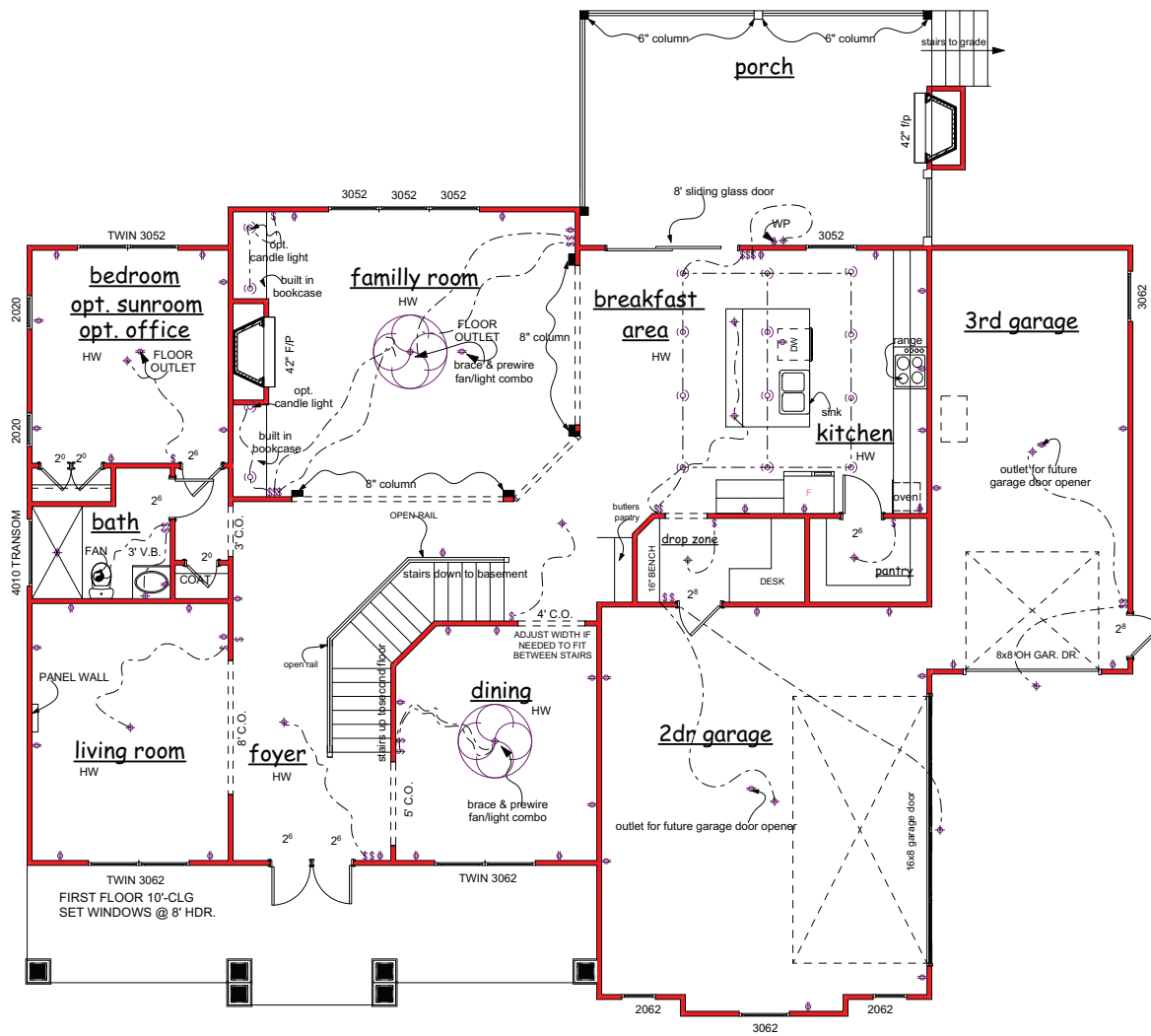
SCH PROPERTIES  
678-758-3828

GOSSETT FAMILY  
FIRST FLOOR

DWG. BY:  
PWL/SAM

DATE:  
4-1-26

SHEET:  
3

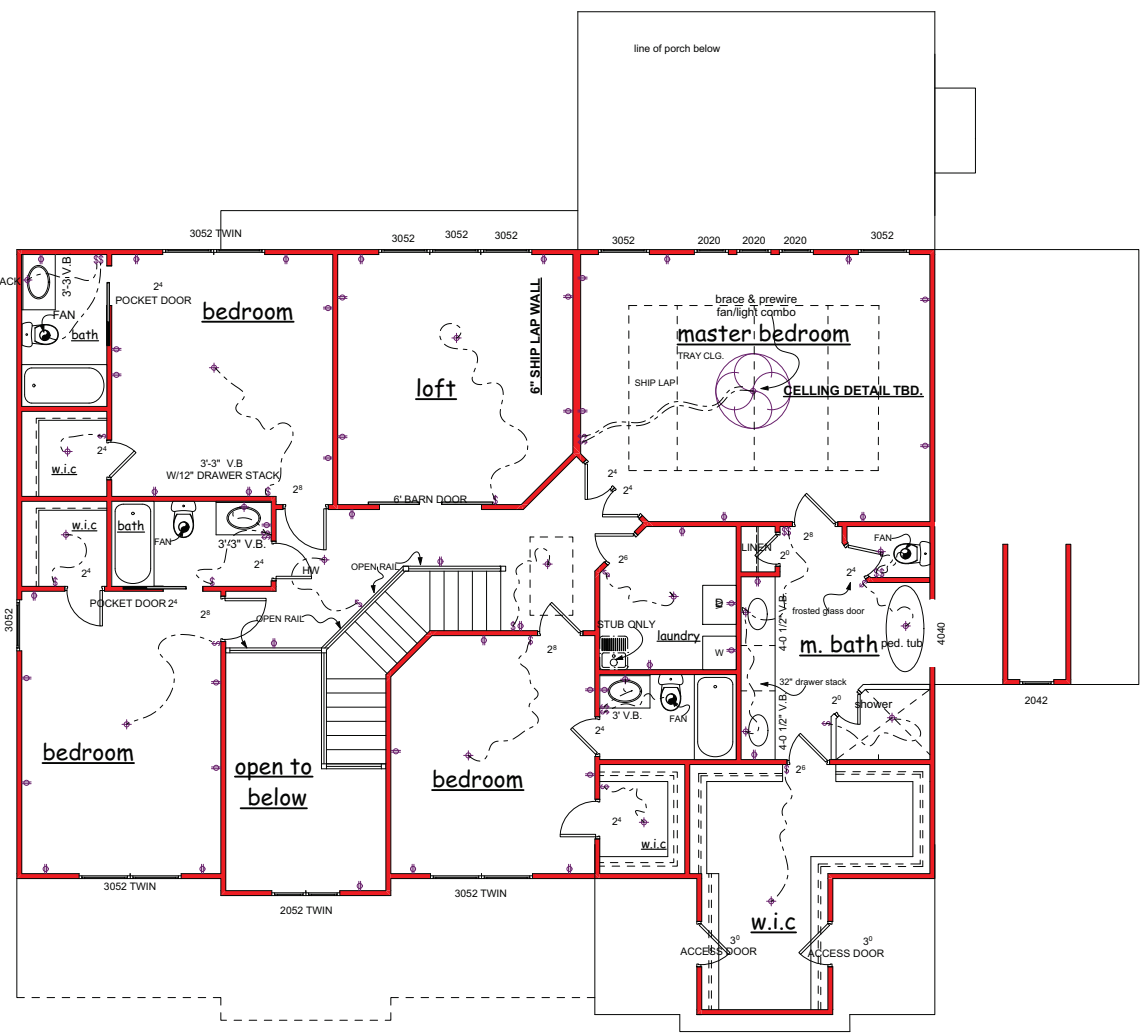


WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS)-RELEASED FOR CONSTRUCTION

18X24 PAPER SCALE 1/4" = 1'-0"

REV.	
DATE	
SCH PROPERTIES 678-758-3828	
GOSSETT FAMILY FIRST FLOOR ELEC	
DWG. BY:	PWL/SAM
DATE:	4-1-26
SHEET:	3E

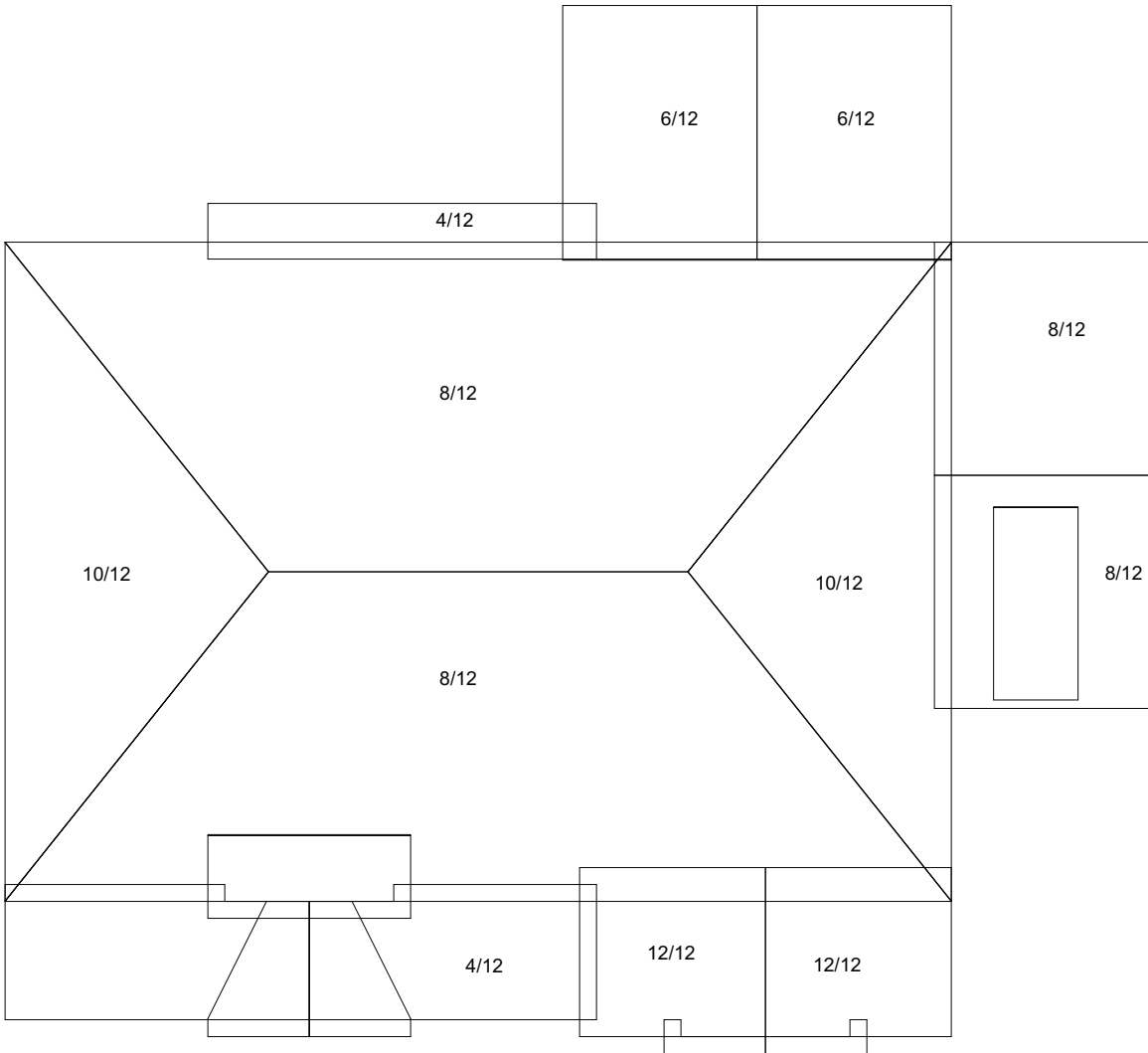




18X24 PAPER SCALE 1/4" = 1'-0"

REV.	
DATE	
SCH PROPERTIES 678-758-3828	
GOSSETT FAMILY SECOND FLOOR ELEC.	
DWG. BY:	PWL/SAM
DATE:	4-1-26
SHEET:	4E

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS)-RELEASED FOR CONSTRUCTION



18X24 PAPER SCALE 1/4" = 1'-0"

REV.	

DATE	
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SCH PROPERTIES  
678-758-3828

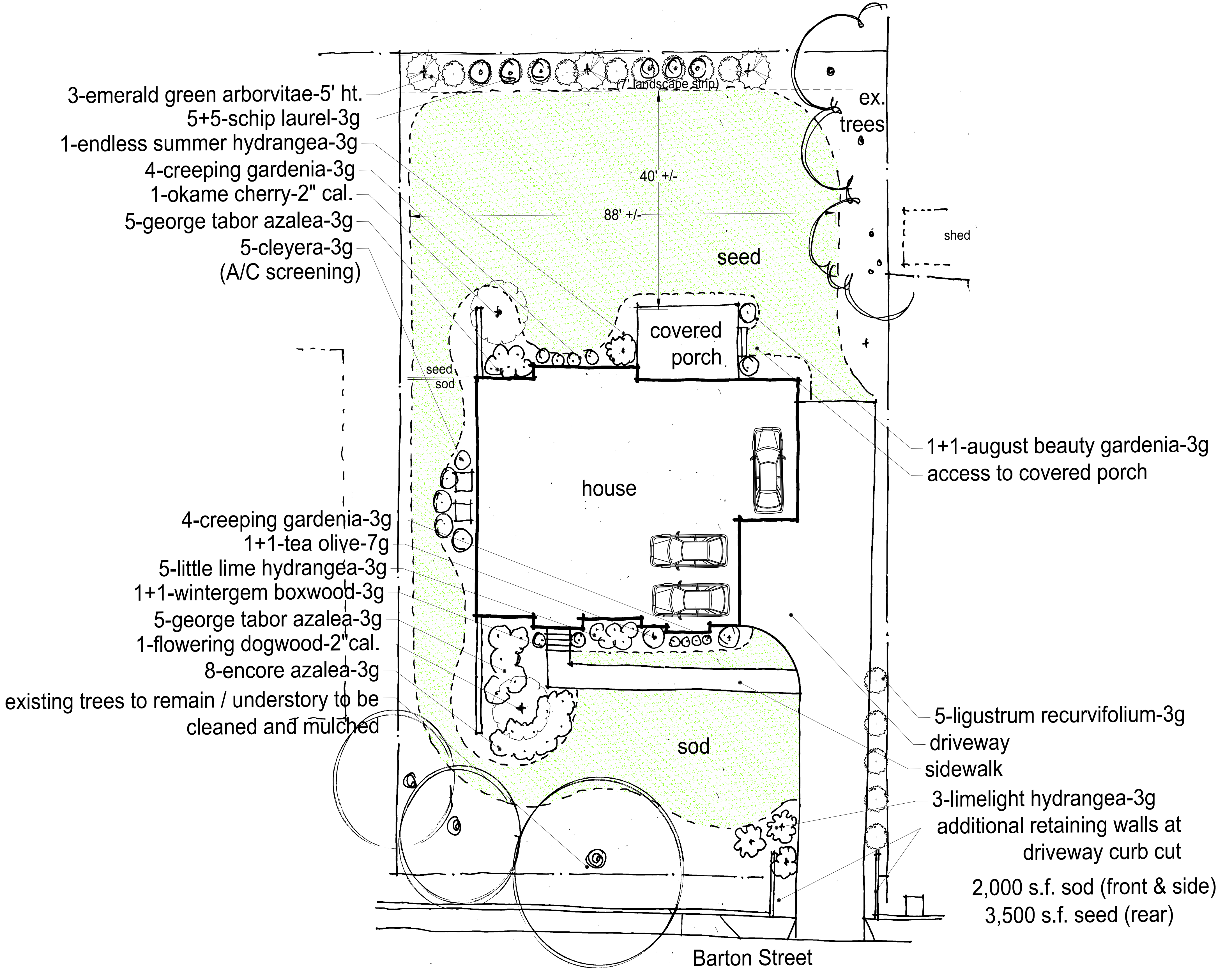
GOSSETT FAMILY  
ROOF PLAN

DWG. BY:  
PWL/SAM

DATE:  
4-1-26

SHEET:  
**5**

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS)-RELEASED FOR CONSTRUCTION



**Holbrook Estates - Lot 4 30 Barton Street,  
 Norcross, GA 30071  
 landscape plan - 1"=10'-0" 04-13-26**