

City of Norcross

*65 Lawrenceville Street
Norcross, GA 30071*



Meeting Agenda

Monday, December 2, 2024

6:30 PM

Council Chambers

Mayor and Council

Mayor Craig Newton

Mayor Pro Tem Bruce Gaynor

Councilmember Andrew Hixson

Councilmember Josh Bare

Councilmember Matt Myers

Councilmember Marshall Cheek

Live Stream Here:

<https://youtube.com/live/7DRX7IfsyAg?feature=share>

- A. **Call to Order by Mayor Craig Newton**
PLEASE TURN OFF ALL CELL PHONES AND ELECTRONIC DEVICES
- B. **Invocation**
- C. **Pledge of Allegiance to the Flag of the United States of America**
- D. **Roll Call (recorded)**
- E. **Presentation of previous meeting minutes for acceptance**
[24-7186](#) **Approval of Previous Meeting Minutes**
[Policy Work Session - Policy Work Session - Oct 21, 2024, 6:30 PM](#)
[Mayor and Council - Regular Meeting - Nov 4, 2024, 6:30 PM](#)
[Policy Work Session - Policy Work Session - Nov 18, 2024, 6:30 PM](#)
- F. **Set agenda as presented for the scheduled meeting.**
 - 1. [24-7187](#) **Acceptance of the Agenda and Approval of the Consent**
- G. **Ceremonial Presentations, Recognitions, and Swearing in Ceremonies**
 - 1. [24-7193](#) **Proclamation Honoring NDA Chair Kathleen Allen**
A proclamation honoring Kathleen Allen for her service to the Norcross Development Authority.
[PRO - Kathleen Allen](#)
 - 2. [24-7194](#) **Proclamation Honoring NDA Member Sophie Gibson**
A proclamation honoring Sophie Gibson for her service to the Norcross Development Authority.
[PRO - Sophie Gibson](#)
 - 3. [24-7195](#) **Proclamation Honoring NDA Member Bianca Keaton**
A proclamation honoring Bianca Keaton for her service to the Norcross Development Authority.
[PRO - Bianca Keaton](#)
 - 4. [24-7196](#) **Proclamation Honoring SNC Vice Chair Chelsea Youmans**
A proclamation honoring Chelsea Youmans for her service to the Sustainable Norcross Commission.
[PRO - Chelsea Youmans](#)

5. [24-7197](#) **Proclamation Honoring SNC Member LeTricia Parks**
A proclamation honoring member LeTricia Parks for her service to the Sustainable Norcross Commission.

[PRO - LeTricia Parks](#)

6. [24-7198](#) **Proclamation Honoring SNC Member Jiann-Ming Su**
A proclamation honoring Jiann-Ming Su for his service to the Sustainable Norcross Commission.

[PRO - Jiann-Ming Su](#)

H. Floor Open to Citizens Desiring to Address the Governing Authority

- a. Comments by Citizens
- b. Comments by Council
- c. Comments by City Manager

PH. Public Hearings

- PH1. [24-7171](#) **Special Use Permit - Stage at South End**
Consider a request for a Special Use Permit for an outdoor stage as part of the South End development at 127 South Peachtree Street with the staff and Mayor and Council conditions described herein.

[Agenda Report - Special Use Permit - Stage at South End](#)

[SUP2024-003 Staff Report](#)

J. Reports of the Mayor and Councilmembers

- a. General Announcements

DECEMBER CALENDAR OF EVENTS

Holiday Celebration

Friday, December 6 | 5:30 - 8:30 p.m. | Thrasher Park

Carriage Rides

Friday, December 6 - Friday, December 20 | Every Tuesday, Wednesday & Friday
6:30 - 8:30 p.m. | Skin, Alley, Behind 45 South Cafe

Historic Norcross Christmas Village

Saturday, December 7 - Sunday, December 8 | 1:00 - 5:00 p.m. | Downtown Norcross

Movie Monday: A Christmas Carol

Monday, December 9 | 1:30 & 6:30 p.m. | Cultural Arts & Community Center

Mayor's Angel Giving Tree

Monday, December 9 | 5:00 p.m. | City Hall Lobby

Photos With Santa

Wednesday, December 11 - Friday, December 20 | Every Wednesday & Friday
6:00 - 8:00 p.m. | 45 South Café

Coffee With Council

Saturday, December 14 | 8:00 a.m. | 45 South Cafe

Policy Work Session

Monday, December 16 | 6:30 p.m. | City Hall, 2nd Floor Conference Room

Movie Monday: Journey To Bethlehem

Monday, December 23 | 1:30 & 6:30 p.m. | Cultural Arts & Community Center

Christmas Day Observance

Tuesday, December 24 - Wednesday, December 25 | Sanitation & Recycling Will Be Delayed

New Years Day Observance

Wednesday, January 1 | Sanitation & Recycling Will Be Delayed

First Friday Concert: 7 Sharp 9

Friday, January 3 | 7:00 - 9:00 p.m. | Cultural Arts & Community Center

K. Board Appointments

1. [24-7188](#) **Discovery Garden Park Board (Two Vacancies | One Applicant)**
The following candidate satisfied the requirements to be considered for appointment to the Discovery Garden Park Board, which currently has (two) vacancies:

Nicole Maxfield
2. [24-7189](#) **Historic Preservation Commission (Two Vacancies | Two Applicants)**
The following candidates satisfied the requirements to be considered for reappointment to the Historic Preservation Commission, which currently has (two) vacancies:

Pam Hopper

Ashley Lyons
3. [24-7190](#) **Norcross Development Authority (Seven Vacancies | Two Applicants)**
The following candidates satisfied the requirements to be considered for appointment to the Norcross Development Authority, which currently has (seven) vacancies:

Bill Boucher

Daniel Dorsey
4. [24-7191](#) **Norcross Public Arts Commission (Four Vacancies | Four Applicants)**
The following candidates satisfied the requirements to be considered for appointment or reappointment to the Norcross Public Arts Commission, which currently has (four) vacancies:

Elizabeth Simpson

Yamily Mijes-O'Reilly

Michael MacManus

Jacques Murphy

5. [24-7192](#) **Sustainable Norcross Commission (Six Vacancies | One Applicant)**
The following candidates satisfied the requirements to be considered for reappointment to the Sustainable Norcross Commission, which currently has (six) vacancies:

Jacquelyn Morgan

L. Consent Agenda

1. [24-7172](#) **Verbal Request to Reduce the “Lapse of Time Requirement for Reapplication” for a Special Use Permit Request at 3150 Holcomb Bridge Road from 12 Months to 6 Months**
Consider a verbal request from applicant Mr. Robert Baffour to reduce the “lapse of time requirement for reapplication” for a special use permit request from 12 months to 6 months.

[Agenda Report - Verbal request to reduce the “lapse of time requirement for reapplication” for a special use permit request at 3150 Holcomb Bridge Road from 12 months to 6 months.](#)
2. [24-7180](#) **Agreement with Gwinnett County Sheriff’s Department for the Transport of Prisoners from Outside of Gwinnett County to Their Facility**
Approve an agreement between the City and Gwinnett County Sheriff’s Department authorizing both GCSO and NPD personnel to transport arrestees to the GCSO detention facility from outside the County pursuant to State law.

[Agenda Report - Agreement with Gwinnett County Sheriff’s Department for The Transport of Prisoners from Outside of Gwinnett County to Their Facility](#)

[Agreement drafted by the Gwinnett County Sheriff’s Department](#)

[Copy of O.C.G.A. § 17-4-25.1](#)
3. [24-7175](#) **Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03**
Reject proposals for contract award ITB PW 25-03, construction of a gravel parking lot on Britt Street, in order to continue funding street resurfacing as a transportation priority.

[Agenda Report - Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03](#)

[Bid Tabulation ITB PW 25-03](#)

[City of Norcross Packet ITB PW 25-03](#)
4. [24-7176](#) **Storm Water Pipe Repair and Relining on Hammond Drive**
Approve underground stormwater repairs on Hammond Drive.

[Agenda Report - Storm Water Pipe Repair and Relining on Hammond Drive](#)

[Dickerson Quote](#)

[Civil Construction and Utilities LLC - Quote](#)

[Photos 5946 Hammond Drive](#)

5. [24-7177](#) **Disposition of City Sewer Easement in Connection with Development at 5420 Buford Highway**
Authorize the Mayor, upon payment of purchase price, to execute a Quit Claim Deed of Sewer Easements held by the City on 5420 Buford Highway in a form approved by the City Attorney.

[Agenda Report - Disposition of City Sewer Easement in Connection with Development at 5420 Buford Highway](#)

[Draft Quit Claim Deed \(subject to approval by Developer and City Attorney's office\)](#)

[Survey showing easement within property](#)
6. [24-7181](#) **Financial Services Agreement with Piper Sandler**
Approve a financial services agreement with Piper Sandler.

[Agenda Report - Financial Services Agreement with Piper Sandler](#)

[FA Agreement GA City of Norcross 102924 v2](#)
7. [24-7122](#) **Homestead Exemptions**
Authorize discussions with local delegation to introduce requisite local legislation so as to implement an increase in the City's existing homestead exemption from \$9,000 to \$45,000 and, for those age 65 or older, increase the exemption from \$18,000 to \$90,000. Direct the City Attorney and City Manager to prepare amendments to local legislation as needed and facilitate requisite procedural requirements.

[Agenda Report - Homestead Exemption](#)

[Draft Local Legislation](#)
- M. **Items for Discussion**
- N. **Adjourn in memory of**
- O. **Adjourn to Executive Session for Personnel, Real Estate, or Legal**
- P. **Signed by**_____ **Mayor Craig Newton**
- Q. **Attest:** _____ **Monique Philip, City Clerk**



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7186	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Approval of Previous Meeting Minutes		

Sponsors:

Code Sections:

Title

Approval of Previous Meeting Minutes

Motion

A motion to Approve/Deny the November 4th Regular Council Meeting Minutes and Executive Session meeting minutes, and the October 21st and November 18th Policy Work Session and Executive Session meeting minutes.

City of Norcross

65 Lawrenceville Street
Norcross, GA 30071



Meeting Minutes

Monday, October 21, 2024

6:30 PM

2nd Floor Conference Room

Policy Work Session

Mayor Craig Newton

Mayor Pro Tem Bruce Gaynor

Councilmember Andrew Hixson

Councilmember Josh Bare

Councilmember Matt Myers

Councilmember Marshall Cheek

Minutes Acceptance: Minutes of Oct 21, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

A. Roll Call (recorded)

Attendee Name	Title	Status	Arrived
Craig Newton	Mayor	Present	
Bruce Gaynor	Mayor Pro Tem	Present	
Andrew Hixson	Councilmember	Remote	In person at 8:12 pm
Josh Bare	Councilmember	Absent	
Matt Myers	Councilmember	Present	
Marshall Cheek	Councilmember	Present	

Policy Work Session was called to order at 6:32 PM by Mayor Craig Newton

B. Citizen Input**C. Board Updates**

Discovery Garden Park Board Annual Update - John Herron, Chair

D. General Updates

* Pavement Analysis 2024 and Road Paving - Len Housley

E. Council - General Discussion**F. City Manager's Report****G. Board Appointments**

There are no Board, Commission, or Authority Appointments or Reappointments for the Mayor and Council to consider at this time.

H. Items for Discussion**1. 24-7148: Jain Society Revised Site Plan**

RESULT: THIS MATTER WAS REFERRED TO

Next: 11/4/2024 6:30 PM

TO: Mayor and Council

2. 24-7123: Special Exception – Decorative South End Water Tower with South End Logo

RESULT: REFERRED TO A FUTURE POLICY METING TBD

3. 24-7144: Recommendation to Mayor and Council to Include the Norcross Women's Club Library at 65 N. Peachtree Street in the Norcross Local Historic District

RESULT: THIS MATTER WAS REFERRED TO

Next: 11/4/2024 6:30 PM

TO: Mayor and Council

Minutes Acceptance: Minutes of Oct 21, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

4. **24-7115: Changes to the Unified Development Ordinance**

RESULT:	THIS MATTER WAS REFERRED TO
	Next: 11/4/2024 6:30 PM
TO:	Mayor and Council

5. **24-7149: Resolution to Update Authorized Users for Georgia Fund 1**

RESULT:	THIS MATTER WAS REFERRED TO
	Next: 11/4/2024 6:30 PM
TO:	Mayor and Council

6. **24-7150: Selection of Commissioning Agent for Public Safety Building Project**

RESULT:	THIS MATTER WAS REFERRED TO
	Next: 11/4/2024 6:30 PM
TO:	Mayor and Council

7. **24-7151: Demolition & Abatement – Stevens Rd Properties for Public Safety Building**

RESULT:	THIS MATTER WAS REFERRED TO
	Next: 11/4/2024 6:30 PM
TO:	Mayor and Council

8. **24-7152: Award of Contract for Atlantic Boulevard Road Resurfacing**

RESULT:	THIS MATTER WAS REFERRED TO
	Next: 11/4/2024 6:30 PM
TO:	Mayor and Council

9. **24-7153: Award of Contract for Johnson Dean Preserve Improvements**

RESULT:	THIS MATTER WAS REFERRED TO
	Next: 11/4/2024 6:30 PM
TO:	Mayor and Council

10. **24-7154: Hazard Mitigation Plan**

RESULT:	THIS MATTER WAS REFERRED TO
	Next: 11/4/2024 6:30 PM
TO:	Mayor and Council

Minutes Acceptance: Minutes of Oct 21, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

11. **24-7098: Economic Development Millage**

RESULT:	DISCUSSED
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12. **24-7157: Purchase and Financing of 80 Wingo Street and 94 Wingo Street**

RESULT:	THIS MATTER WAS REFERRED TO
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Next:	11/4/2024 6:30 PM
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TO:	Mayor and Council
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13. **24-7070: Pocket Parks/Outdoor Dining Areas on Jones Street**

RESULT:	THIS MATTER WAS REFERRED TO
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Next:	11/4/2024 6:30 PM
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TO:	Mayor and Council
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14. **24-7122: Homestead Exemptions and First-Time Homebuyers Incentive**

RESULT:	THIS MATTER WAS REFERRED TO
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Next:	11/18/2024 6:30 PM
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TO:	Policy Work Session
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15. **24-7129: Norcross Transportation Infrastructure Improvement Referendum**

RESULT:	TABLED INDEFINITELY (NO VOTE)
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16. **24-7155: Ordinance for Art Regulation**

RESULT:	THIS MATTER WAS REFERRED TO
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Next:	11/18/2024 6:30 PM
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TO:	Policy Work Session
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17. **24-7156: Invocation at Regular Meeting**

RESULT:	THIS MATTER WAS REFERRED TO
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Next:	11/18/2024 6:30 PM
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TO:	Policy Work Session
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18. **24-7158: Recommended Rebate Amount for Norcross Power Residential Customers**

RESULT:	THIS MATTER WAS REFERRED TO
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Next:	11/4/2024 6:30 PM
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TO:	Mayor and Council
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Minutes Acceptance: Minutes of Oct 21, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

- I. **Adjourn to Executive Session for Personnel, Real Estate, or Legal** The meeting adjourned to Executive Session for Real Estate and Legal at 10:26 PM with a motion to adjourn made by Mayor Pro Tem Gaynor, seconded by Councilmember Cheek.
- J. **Signed by:** _____ **Mayor Craig Newton**
- K. **Attest:** _____ **Monique Philip, City Clerk**

Minutes Acceptance: Minutes of Oct 21, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

City of Norcross

65 Lawrenceville Street
Norcross, GA 30071



Meeting Minutes

Monday, November 4, 2024

6:30 PM

Council Chambers

Mayor and Council

Mayor Craig Newton

Mayor Pro Tem Bruce Gaynor

Councilmember Andrew Hixson

Councilmember Josh Bare

Councilmember Matt Myers

Councilmember Marshall Cheek

Minutes Acceptance: Minutes of Nov 4, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

- A. Call to Order by Mayor Craig Newton
- B. Invocation
- C. Pledge of Allegiance to the Flag of the United States of America
- D. Roll Call (recorded)

Attendee Name	Title	Status	Arrived
Craig Newton	Mayor	Present	
Bruce Gaynor	Mayor Pro Tem	Present	
Andrew Hixson	Councilmember	Present	
Josh Bare	Councilmember	Absent	
Matt Myers	Councilmember	Absent	
Marshall Cheek	Councilmember	Present	

Regular Meeting was called to order at 6:36 PM by Mayor Craig Newton

- E. Presentation of previous meeting minutes for acceptance

24-7166: Approval of Previous Meeting Minutes

Motion

A motion to Approve the October 7 Regular Council Meeting minutes.

Mayor and Council - Regular Meeting - Oct 7, 2024, 6:30 PM

RESULT: APPROVED [UNANIMOUS]
MOVER: Marshall Cheek, Councilmember
SECONDER: Bruce Gaynor, Mayor Pro Tem
AYES: Bruce Gaynor, Andrew Hixson, Marshall Cheek
ABSENT: Josh Bare, Matt Myers

Policy Work Session - Policy Work Session - Oct 21, 2024, 6:30 PM

RESULT: POSTPONED TO DECEMBER REGULAR MEETING FOR APPROVAL

- F. Set agenda as presented for the scheduled meeting.

24-7167: Acceptance of the Agenda and Approval of the Consent Agenda

Motion

A motion to Approve the Consent Agenda and Accept the Agenda as Presented with the following items being moved to discussion:

24-7149: Resolution to Update Authorized Users for Georgia Fund 1
 24-7150: Selection of Commissioning Agent for Public Safety Building Project
 24-7153: Award of Contract for Johnson Dean Preserve Improvements
 24-7122: Homestead Exemptions and First-Time Homebuyers Incentive
 24-7158: Recommended Rebate Amount for Norcross Power Residential Customers

RESULT: WITHDRAWN TO ADD ITEM FROM FLOOR (NO VOTE)
MOVER: Andrew Hixson, Councilmember
SECONDER: Marshall Cheek, Councilmember

RESULT: ACCEPTANCE OF AGENDA & APPROVAL OF CONSENT AGENDA
MOVER: Andrew Hixson, Councilmember
SECONDER: Marshall Cheek, Councilmember
AYES: Bruce Gaynor, Andrew Hixson, Marshall Cheek
ABSENT: Josh Bare, Matt Myers

Minutes Acceptance: Minutes of Nov 4, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

Motion

A motion to add the following item from the floor:

24-7169: Emergency Authorization to Purchase up to \$75,000 in Replacement IT Equipment

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bruce Gaynor, Mayor Pro Tem
SECONDER:	Andrew Hixson, Councilmember
AYES:	Bruce Gaynor, Andrew Hixson, Marshall Cheek
ABSENT:	Josh Bare, Matt Myers

G. Ceremonial Presentations, Recognitions, and Swearing in Ceremonies

24-7138: Swearing in of Officer Cinthya Alvarez

RESULT:	SWORN IN BY MAYOR NEWTON
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24-7165: Swearing in of Officer Cinthya Alvarez

RESULT:	SWORN IN BY MAYOR NEWTON
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H. Floor Open to Citizens Desiring to Address the Governing Authority**a. Comments by Citizens**

- Larry Hall - Updates on Norcross Annual Photography Contest and upcoming "A Century of Service" Veterans Exhibit
- Pierre Levy - Comment pertaining to item 24-7157: Purchase and Financing of 80 Wingo Street and 94 Wingo Street and suggested that Council consider not tearing down more historic homes.
- Martie Henley - Comments pertaining to item 24-7153: Award of Contract for Johnson Dean Preserve Improvements.
- Faye McFarland - Reported that she'd heard a discussion on the radio stating that Norcross has the highest amount of fees with 29% of budget coming from said fees.
- Jeff Allen - Comments pertaining to item 24-7153: Award of Contract for Johnson Dean Preserve Improvements.
- Jim Eyre - Comments pertaining to item 24-7148: Jain Society Revised Site Plan, item 24-7150 : Selection of Commissioning Agent for Public Safety Building Project, item 24-7070 : Pocket Parks/Outdoor Dining Areas on Jones Street, and thanks to Council for the approval of item 24-7157 : Purchase and Financing of 80 Wingo Street and 94 Wingo Street.

b. Comments by Council**c. Comments by City Manager**

Minutes Acceptance: Minutes of Nov 4, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

PH. Public Hearings**PH1. 24-7115: Changes to the Unified Development Ordinance****Motion**

A motion to Approve an amendment to Chapter 100, Sec.102-2, 104-3, 104-4, 104-6, Chapter 400, Sec. 407-1, -20, of the Unified Development Ordinance, with the following enacting clause:

The Mayor and City Council of the City of Norcross, Georgia hereby ordains that the adopted Code of Ordinances is hereby amended as more particularly set forth below. It is the intention of the Mayor and City Council, and it is hereby ordained that all following provisions shall become and be made part of the Code of the City of Norcross.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bruce Gaynor, Mayor Pro Tem
SECONDER:	Andrew Hixson, Councilmember
AYES:	Bruce Gaynor, Andrew Hixson, Marshall Cheek
ABSENT:	Josh Bare, Matt Myers

PH2. 24-7144: Recommendation to Mayor and Council to Include the Norcross Women's Club Library at 65 N. Peachtree Street in the Norcross Local Historic District**Motion**

A motion to Approve the inclusion of the Norcross Women's Club Library at 65 N. Peachtree Street in the Norcross Local Historic District.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Andrew Hixson, Councilmember
SECONDER:	Marshall Cheek, Councilmember
AYES:	Bruce Gaynor, Andrew Hixson, Marshall Cheek
ABSENT:	Josh Bare, Matt Myers

J. Reports of the Mayor and Councilmembers**a. General Announcements****NOVEMBER CALENDAR OF EVENTS****Historic Walking Tour**

Saturday, November 9 | 10:00 a.m. | Thrasher Park Pavilion

Veterans Day Observance

Monday, November 11 | Sanitation & Recycling Will Be Not Be Affected

Veterans Day Ceremony

Monday, November 11 | 10:00 a.m. | Veterans Park

'A Century Of Service' Veterans Exhibit

Monday, November 11 | 5:00 – 8:00 p.m. | The Rectory and Cultural Arts & Community Center

Movie Monday: The Color Purple

Tuesday, November 12 | 1:30 & 6:30 p.m. | Cultural Arts & Community Center

Mayor's Angel Giving Tree

Wednesday, November 13 | City Hall Lobby

Coffee With Council

Saturday, November 16 | 8:00 a.m. | 45 South Café

Historic Norcross Holiday Open House

Saturday, November 16 | 11:00 a.m. - 7:00 p.m. | Downtown Norcross

Policy Work Session

Monday, November 18 | 6:30 p.m. | City Hall, 2nd Floor Conference Room

Movie Monday: Hunger Games: The Ballad Of Songbirds & Snakes

Monday, November 25 | 1:30 & 6:30 p.m. | Cultural Arts & Community Center

Thanksgiving Day Observance

Thursday, November 28 & Friday, November 29 | Sanitation & Recycling Will Be Delayed

K. Board Appointments

There are no Board, Commission, or Authority appointments or re-appointments for the Mayor and Council to consider at this time.

L. Consent Agenda**1. 24-7148: Jain Society Revised Site Plan**

Motion

A motion to Approve Jain Society's revised site plan.

2. 24-7151: Demolition & Abatement – Stevens Rd Properties for Public Safety Building

Motion

A motion to Approve Reeves Young to proceed with demolition and abatement of the Stevens Road structures as early release work, ahead of an agreed upon Guaranteed Maximum Price (GMP) for the construction of the public safety building.

3. 24-7152: Award of Contract for Atlantic Boulevard Road Resurfacing

Motion

A motion to Approve the attached contract between the City of Norcross and Sunbelt Asphalt Surfaces, Inc. for Atlantic Boulevard Road Resurfacing.

4. 24-7154: Hazard Mitigation Plan

Motion

A motion to Approve the City of Norcross Hazard Mitigation Plan as an annex to Gwinnett County's Emergency Management Plan and Hazard Mitigation Plan and authorize the Mayor to sign the attached Resolution.

5. 24-7157: Purchase and Financing of 80 Wingo Street and 94 Wingo Street

Motion

A motion to Approve the attached Resolution, approving and authorizing the issuance of a revenue bond of the Development Authority of the City of Norcross and the terms thereof; and approving certain documents in that connection, including an Intergovernmental Agreement and related matters.

6. 24-7070: Pocket Parks/Outdoor Dining Areas on Jones Street

Motion

A motion to table this item to the November Policy Work Session for further discussion.

Minutes Acceptance: Minutes of Nov 4, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

M. Items for Discussion**1. 24-7149: Resolution to Update Authorized Users for Georgia Fund 1**

Modified Backup:

[Agenda Report – Resolution to update Authorized Users for Georgia Fund 1](#)
[GF1 Sample Resolution](#)

Motion

A motion to Approve a resolution authorizing the Mayor, City Manager, and Assistant City Manager to access the Georgia Fund 1 investment account managed by the Georgia Office of the State Treasurer.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Andrew Hixson, Councilmember
SECONDER:	Bruce Gaynor, Mayor Pro Tem
AYES:	Bruce Gaynor, Andrew Hixson, Marshall Cheek
ABSENT:	Josh Bare, Matt Myers

2. 24-7150: Selection of Commissioning Agent for Public Safety Building Project

Motion

A motion to Deny the selection of Dewberry Engineers, Inc. as the Commissioning Agent for the Public Safety Building project.

RESULT:	DENY [UNANIMOUS]
MOVER:	Marshall Cheek, Councilmember
SECONDER:	Andrew Hixson, Councilmember
AYES:	Bruce Gaynor, Andrew Hixson, Marshall Cheek
ABSENT:	Josh Bare, Matt Myers

3. 24-7153: Award of Contract for Johnson Dean Preserve Improvements

Motion

A motion to Reject the submitted proposals and allow Public Works to provide a phased approach at the November Policy Work Session.

RESULT:	WITHDRAWN TO REVISE MOTION (NO VOTE)
MOVER:	Andrew Hixson, Councilmember
SECONDER:	Marshall Cheek, Councilmember

Motion

A motion to Reject the submitted proposal for the award of the Contract for Johnson Dean Preserve improvements.

RESULT:	APPROVED THE REJECTION OF PROPOSALS [UNANIMOUS]
MOVER:	Andrew Hixson, Councilmember
SECONDER:	Marshall Cheek, Councilmember
AYES:	Bruce Gaynor, Andrew Hixson, Marshall Cheek
ABSENT:	Josh Bare, Matt Myers

Motion

A motion to Approve City staff to move forward with parking pad, driveway, signage, and retaining wall at Johnson Dean Park given the approved funding.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Andrew Hixson, Councilmember
SECONDER:	Marshall Cheek, Councilmember
AYES:	Bruce Gaynor, Andrew Hixson, Marshall Cheek
ABSENT:	Josh Bare, Matt Myers

Minutes Acceptance: Minutes of Nov 4, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

4. **24-7122: Homestead Exemptions and First-Time Homebuyers Incentive**

Motion

A motion to table this item to the November 18 Policy Work Session.

RESULT:	TABLED SENT TO [UNANIMOUS]
	Next: 11/18/2024 6:30 PM
TO:	Policy Work Session
MOVER:	Andrew Hixson, Councilmember
SECONDER:	Marshall Cheek, Councilmember
AYES:	Bruce Gaynor, Andrew Hixson, Marshall Cheek
ABSENT:	Josh Bare, Matt Myers

5. **24-7158: Recommended Rebate Amount for Norcross Power Residential Customers**

Motion

A motion Authorizing Norcross Power to issue a residential rebate to residential customers in the amount of \$30 each.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bruce Gaynor, Mayor Pro Tem
SECONDER:	Andrew Hixson, Councilmember
AYES:	Bruce Gaynor, Andrew Hixson, Marshall Cheek
ABSENT:	Josh Bare, Matt Myers

6. **24-7169: Emergency Authorization to Purchase Up to \$75,000 in Replacement IT Equipment (ITEM ADDED FROM FLOOR)**

Backup Material for Item Added from Floor:

[Agenda Report – Emergency Authorization to Purchase up to \\$75,000 in Replacement IT Equipment](#)

Motion

A motion to Authorize purchase of up to \$75,000 in IT equipment from the Technology Sur-charges Fund for time-sensitive replacement of switches and associated equipment to improve network connectivity.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Andrew Hixson, Councilmember
SECONDER:	Marshall Cheek, Councilmember
AYES:	Bruce Gaynor, Andrew Hixson, Marshall Cheek
ABSENT:	Josh Bare, Matt Myers

N. **Adjourn in memory of**

O. **Adjourn to Executive Session for Personnel, Real Estate or Legal**

The meeting adjourned to Executive Session for Legal at 7:50 PM with a motion to adjourn made by Mayor Pro Tem Gaynor, seconded by Councilmember Cheek.

P. **Signed by** _____ **Mayor Craig Newton**

Q. **Attest:** _____ **Monique Philip, City Clerk**



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

Agenda Report

To: Mayor and Council

From: Toni Jo Howard, Finance Director

Meeting Date: November 4, 2024 - Regular Council Meeting

Item No.: 24-7149

Title: Resolution to Update Authorized Users for Georgia Fund 1

CC: Eric Johnson, City Manager

Recommendation

Approve a resolution authorizing the Mayor, City Manager, and Assistant City Manager to access the Georgia Fund 1 investment account managed by the Georgia Office of the State Treasurer.

Background

The City currently has an account with the Office of the State Treasurer, however, the authorized contact list has not been updated with recent staff changes. Staff recommends authorizing the Mayor, City Manager, and Assistant City Manager to transfer funds between this account and the local pooled cash account.

Financial Impact:

With a current favorable interest rate, continued use of Georgia Fund 1 allows the City to optimize interest earnings.

Consistent with Comprehensive Plan?

6. Furthers the City's Tradition of Strong Leadership and High Level of Quality Services

Attachments

GF1 Sample Resolution

Next Steps

If the Council chooses to approve this item, the Mayor and city staff will complete an electronic resolution similar to the attached sample resolution.

Minutes Acceptance: Minutes of Nov 4, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

For Customer Use:

I have an existing Acct. # _____
This resolution is for:
New Account _____
Change to Existing Acct. # _____

For OTFS Use Only:

_____ Acct Approved _____ Auth Entered.
_____ Audit _____ Wire Instructions
_____ Addr Entered _____ Wire Templates
Approval: _____
_____ AD1 _____ AD2
Res. form 2000A

GEORGIA FUND 1
(local government investment pool)
RESOLUTION TO AUTHORIZE INVESTMENT

WHEREAS, Ga. Code Ann. §§36-83-1 to 36-83-8 authorizes Georgia local governments and other authorized entities to invest funds through the local government investment pool, and
WHEREAS, from time to time it may be advantageous to the City of Norcross

_____ to deposit funds available for
(Name of Local Government, Political Subdivision or State Agency)
investment in Georgia Fund 1 (hereinafter referred to as the local government investment pool) as it may deem appropriate; and

WHEREAS, to provide for the safety of such funds deposited in the local government investment pool, investments are restricted to those enumerated by Ga. Code Ann. §36-83-8 under the direction of the State Depository Board, considering first the probable safety of capital and then the probable income to be derived; and WHEREAS, such deposits must first be duly authorized by the governing body of the local government or authorized entity and a certified copy of the resolution authorizing such investment filed with the Treasurer of the Office of the State Treasurer; and

WHEREAS, such resolution must name the official(s) authorized to make deposits or withdrawals of funds in the local government investment pool; and

WHEREAS, Ga. Code Ann. §36-83-8 requires a statement of the approximate cash flow requirements of the participating government pertaining to the funds to accompany the authorization to invest such funds at the time such deposits are duly authorized;

NOW, THEREFORE BE IT RESOLVED by the Mayor and Council of the City of Norcross
(Board, Council or other Governing Body)
that funds of the City of Norcross may be deposited from time to time in the manner prescribed by law and the applicable policies and procedures for the local government investment pool.

BE IT FURTHER RESOLVED THAT:

1. Any one of the following individuals shall be authorized to deposit and/or withdraw funds from the local government investment pool on behalf of such government or other authorized entity (if a listed individual is employed by an entity other than the depositor, indicate employer):

Craig Newton, Mayor
Name, Title, (Employer, if applicable) _____ (Area Code) _____ Phone Number _____
Email: _____
Tracy Rye, Assistant City Manager
Email: _____
Eric Johnson, City Manager
Email: _____

2. Any one of the following individuals shall be authorized to read-only access of the Georgia Fund 1 Account:
- _____

All withdrawals from the local government investment pool shall be wired to the following participant's demand deposit account: **(Many banks have separate instructions for wires and ACH deposits. Please verify both sets of instructions with your bank and provide them below. This will ensure accurate delivery of your funds to the designated bank account).**

(For ACH) TRUIST Pooled Cash Account
(Local Bank Name) (Account Title)

(ABA Number) (Account Number) (City, State)
(For WIRE) _____
(Local Bank Name) (Account Title)

(ABA Number) (Account Number) (City, State)

(Bank Name)

(City)

(ABA Number)

(Account Number)

Additional Bank Account (if applicable):

(For ACH)

(Local Bank Name)

(Account Title)

(ABA Number)

(Account Number)

(City, State)

(For WIRE)

(Local Bank Name)

(Account Title)

(ABA Number)

(Account Number)

(City, State)

Correspondent Bank (if applicable):

(Bank Name)

(City)

(ABA Number)

(Account Number)

3. The local government investment pool shall mail the monthly statements of account to:

Eric Johnson, City Manager

(Attention)

65 Lawrenceville St.

(Address)

(Address)

Norcross, GA 30071

(City, State & Zip)

4. Changes in the above authorization shall be made by cancellation or replacement resolution delivered to the Office of the State Treasurer. Until such a replacement resolution is received by the Office of the State Treasurer, the above authorized individuals, local government demand account instructions and statement mailing address(es) shall remain in full force and effect.
5. The following schedule represents the period in which existing balances are currently expected to remain invested in the local government investment pool:

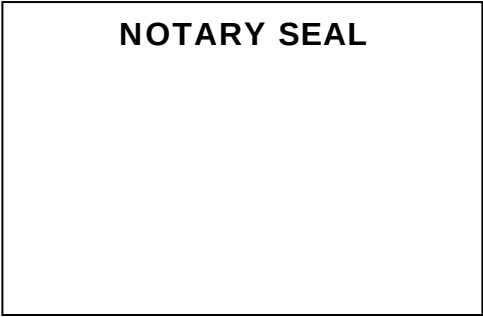
_____ % 30 days or less;

_____ % more than 30 days but less than 90 days;

100 _____ % 90 days or longer.

100 _____ %

Entered at _____ , Georgia this _____ day of _____ 20__.



(Signature of Head of Governing Authority)

(Please Print or Type - Head of Governing Authority)

(Title)

Sworn to and subscribed before me this _____ day of _____ 20__.

(Notary Public)

Please complete and return an original copy to:

Georgia Fund 1
Office of the State Treasurer
200 Piedmont Avenue
Suite 1204, West Tower
Atlanta, GA 30334-5527

Telephone: (404) 651-8964 or (404) 656-2993
Toll Free: (800) 222-6748
Fax: (404) 656-9048

Georgia Fund 1 (local government investment pool) deposits are not guaranteed or insured by any bank, the Federal Deposit Insurance Corporation (FDIC), the Federal Reserve Board, the State of Georgia or any other agency.



Office of the State Treasurer
200 Piedmont Ave, Suite 1202, West Tower
Atlanta, Georgia 30334-5527

Steve McCoy
State Treasurer

(404) 656-2168
Fax (404) 656-9048

ACH TRANSFER AUTHORIZATION FORM

CUSTOMER NAME:

	Georgia Fund 1 Account #	Bank Account Title	Bank ABA #	Bank Account Number
1				
2				
3				
4				
5				
6				
7				
8				
9				

If you wish to be included in the ACH funds transfer program, please complete the bank information for each of the accounts that appear on the resolution for each Georgia Fund 1 account. This form authorizes the Office of the State Treasurer (OST) to **DEBIT** the bank accounts listed for **LGIP contributions**.

Please verify ACH instructions with your financial institution before completing this form and verify that an ACH Debit Block is **NOT** placed on your account. If there is a block on the account, please provide your bank our two Company IDs: 1581125844 & 2581125844. This will allow OST to debit the account. If you have any questions, please email accounting@treasury.ga.gov.

☐ We **DO NOT** wish to participate in the ACH funds transfer program for ☐ all of our accounts or ☐ for the following accounts: _____. We understand that we will be responsible for sending a wire for any contributions made to a Georgia Fund 1 account not included in the ACH funds transfer program.

This form does not need to be notarized, but the authorizing signature must be someone on the current resolution. Any changes to this form can be faxed to 404-657-9066 or emailed to accounting@treasury.ga.gov. The original form does not need to be mailed.

Authorizing Signature

Print Name

Date



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

Agenda Report

To: Mayor and Council

From: Eric Johnson, City Manager

Meeting Date: November 4, 2024 – Council Meeting

Item No.: 24-7169

Title: Emergency authorization to purchase up to \$75,000 in replacement IT equipment

CC: Toni Jo Howard, Director of Finance

Recommendation Authorize purchase of up to \$75,000 in IT equipment from the Technology Sur-charges Fund for time-sensitive replacement of switches and associated equipment to improve network connectivity.

Background City employees are experiencing service interruptions that appear associated with equipment at, or nearing, end-of-life. Due to the performance issues, equipment associated with those issues is being requested now. Other equipment needs are being identified but can be considered through a normal approval process.

Financial Impact Existing funds are being prioritized to facilitate purchase of equipment. Additional equipment will likely be needed during FY 25 as equipment approaches end-of-life. An added appropriation will likely be necessary during FY 25 for these equipment replacements not anticipated in the FY 25 budget.

Consistent with Comprehensive Plan? Yes.

Next Steps

Attachments None.

Minutes Acceptance: Minutes of Nov 4, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

City of Norcross

65 Lawrenceville Street
Norcross, GA 30071



Meeting Minutes

Monday, November 18, 2024

6:30 PM

2nd Floor Conference Room

Policy Work Session

Mayor Craig Newton

Mayor Pro Tem Bruce Gaynor

Councilmember Andrew Hixson

Councilmember Josh Bare

Councilmember Matt Myers

Councilmember Marshall Cheek

Minutes Acceptance: Minutes of Nov 18, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

A. Roll Call (recorded)

Attendee Name	Title	Status	Arrived
Craig Newton	Mayor	Present	
Bruce Gaynor	Mayor Pro Tem	Present	
Andrew Hixson	Councilmember	Absent	
Josh Bare	Councilmember	Present	
Matt Myers	Councilmember	Present	
Marshall Cheek	Councilmember	Absent	

Policy Work Session was called to order at 6:31 PM by Mayor Craig Newton

B. Citizen Input**C. Board Updates**

* Norcross Development Authority - Kathleen Allen, Chair

D. General Updates**E. Council - General Discussion****F. City Manager's Report****G. Board Appointments**

* Discovery Garden Park Board (Two Vacancies | One Applicant)

* Historic Preservation Commission (Two Vacancies | Two Applicant)

* Norcross Development Authority (Seven Vacancies | Two Applicants)

* Norcross Public Arts Commission (Four Vacancies | Four Applicants)

* Sustainable Norcross Commission (Six Vacancies | One Applicant)

H. Items for Discussion**1. 24-7171: Special Use Permit - Stage at South End**

RESULT: THIS MATTER WAS REFERRED TO

Next: 12/2/2024 6:30 PM

TO: Mayor and Council

2. 24-7172: Verbal Request to Reduce the "Lapse of Time Requirement for Reapplication" for a Special Use Permit Request at 3150 Holcomb Bridge Road from 12 Months to 6 Months

RESULT: THIS MATTER WAS REFERRED TO

Next: 12/2/2024 6:30 PM

TO: Mayor and Council

Minutes Acceptance: Minutes of Nov 18, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

3. **24-7180: Agenda Report - Agreement with Gwinnett County Sheriff's Department for The Transport of Prisoners from Outside of Gwinnett County to Their Facility**

RESULT: THIS MATTER WAS REFERRED TO

Next: 12/2/2024 6:30 PM

TO: Mayor and Council

4. **24-7155: Ordinance for Art Regulation**

RESULT: THIS MATTER WAS REFERRED TO

Next: 12/16/2024 6:30 PM

TO: Policy Work Session

5. **24-7174: City of Norcross Traffic Calming Manual**

RESULT: THIS MATTER WAS REFERRED TO

Next: 12/16/2024 6:30 PM

TO: Policy Work Session

6. **24-7173: Replacement of Speed Bumps on West Peachtree Street**

RESULT: THIS MATTER WAS REFERRED TO

Next: 12/16/2024 6:30 PM

TO: Policy Work Session

7. **24-7175: Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03**

RESULT: THIS MATTER WAS REFERRED TO

Next: 12/2/2024 6:30 PM

TO: Mayor and Council

8. **24-7070: Pocket Parks/Outdoor Dining Areas on Jones Street**

RESULT: THIS MATTER WAS REFERRED TO

Next: 12/16/2024 6:30 PM

TO: Policy Work Session

9. **24-7176: Storm Water Pipe Repair and Relining on Hammond Drive**

RESULT: THIS MATTER WAS REFERRED TO

Next: 12/2/2024 6:30 PM

TO: Mayor and Council

Minutes Acceptance: Minutes of Nov 18, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)

10. **24-7122: Homestead Exemptions and First-Time Homebuyers Incentive****RESULT:** HOMESTEAD EXEMPTIONS WAS REFERRED TO**Next:** 12/2/2024 6:30 PM**TO:** Mayor and Council**RESULT:** FIRST-TIME HOMEBUYERS INCENTIVE WITHDRAWN FROM CONSIDERATION11. **24-7177: Disposition of City Sewer Easement in Connection with Development at 5420 Buford Highway****RESULT:** THIS MATTER WAS REFERRED TO**Next:** 12/2/2024 6:30 PM**TO:** Mayor and Council12. **24-7156: Invocation at Regular Meeting****RESULT:** THIS MATTER WAS REFERRED TO STAFF TO CREATE AN ANNUAL INVOCATION SCHEDULE ALLOCATING TWO MEETINGS TO THE MAYOR AND EACH COUNCIL MEMBER TO ENSURE EQUITABLE PARTICIPATION, REFLECTING THE DIVERSE PERSPECTIVES OF THE COMMUNITY.13. **24-7178: RFQ for City Attorney****RESULT:** THIS MATTER WAS REFERRED TO**Next:** 12/16/2024 5:00 PM**TO:** Special Called Meeting - Executive Session14. **24-7181: Financial Services Agreement with Piper Sandler****RESULT:** THIS MATTER WAS REFERRED TO**Next:** 12/2/2024 6:30 PM**TO:** Mayor and Council**I. Adjourn to Executive Session for Personnel, Real Estate, or Legal**

The meeting adjourned to Executive Session for Personnel, Real Estate, and Legal at 9:24 PM, with a motion to adjourn made by Councilmember Bare, seconded by Councilmember Myers. The vote was unanimously approved. 3-0

J. Signed by: _____ **Mayor Craig Newton****K. Attest:** _____ **Monique Philip, City Clerk**

Minutes Acceptance: Minutes of Nov 18, 2024 6:30 PM (Presentation of previous meeting minutes for acceptance)



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7187	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Acceptance of the Agenda and Approval of the Consent		

Sponsors:

Code Sections:

Title

Acceptance of the Agenda and Approval of the Consent

Motion

A motion to Accept the Agenda as Presented with the following items being moved to discussion:

A motion to Approve the Consent Agenda.



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7193	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Proclamation Honoring NDA Chair Kathleen Allen		

Sponsors:

Code Sections:

Attachments:

1. [PRO - Kathleen Allen](#)

Title
Proclamation Honoring NDA Chair Kathleen Allen

Proclamation

City of Norcross, Georgia

HONORING

KATHLEEN ALLEN

FOR SERVICE TO THE NORCROSS DEVELOPMENT AUTHORITY

- Whereas:** The Norcross Development Authority (NDA) was created for nonprofit and public purposes as set forth in O.C.G.A. § 36-62-1 et seq., including but not limited to serving and providing investment capital to Low-Income Communities or Low-Income Persons as those terms are defined in the law and regulations of the Economic Development Administration, HUD, New Markets Tax Credit Program and other federal government programs; and
- Whereas:** the Mayor and Council are proud to recognize individuals who dedicate their time, effort, and expertise to the betterment of our community; and
- Whereas:** during her tenure on the Development Authority, Kathleen demonstrated exceptional leadership skills; her proactive approach to problem-solving, coupled with her strong communication skills, ensured that projects were executed efficiently; and
- Whereas:** has consistently demonstrated a commitment to collaboration, innovation, and dedication to the future of our community, ensuring that the Development Authority's initiatives align with the needs and aspirations of our citizens; and
- Whereas:** I extend my deepest gratitude and sincere appreciation for Kathleen's contributions to the growth and prosperity of our city and offer best wishes for continued success in all future endeavors.

Now, Therefore, on behalf of the Norcross City Council, I, Mayor Craig Newton, do hereby recognize Kathleen Allen for her valuable service, dedication, and many contributions to the Norcross Development Authority and the people of the City of Norcross.

Craig Newton, Mayor

Attest: Monique Philip, City Clerk

Packet Pg. 31



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7194	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Proclamation Honoring NDA Member Sophie Gibson		

Sponsors:

Code Sections:

Attachments:

1. [PRO - Sophie Gibson](#)

Title
Proclamation Honoring NDA Member Sophie Gibson

Proclamation

City of Norcross, Georgia

HONORING

SOPHIE GIBSON

FOR SERVICE TO THE NORCROSS DEVELOPMENT AUTHORITY

- Whereas:** The Norcross Development Authority (NDA) was created for nonprofit and public purposes as set forth in O.C.G.A. § 36-62-1 et seq., including but not limited to serving and providing investment capital to Low-Income Communities or Low-Income Persons as those terms are defined in the law and regulations of the Economic Development Administration, HUD, New Markets Tax Credit Program and other federal government programs; and
- Whereas:** the Mayor and Council are proud to recognize individuals who dedicate their time, effort, and expertise to the betterment of our community; and
- Whereas:** during her tenure on the Development Authority, Sophie leveraged her business acumen to drive impactful discussions for sustainable growth which has been a vital asset in identifying opportunities that benefit the community; and
- Whereas:** Sophie has consistently demonstrated a commitment to collaboration, innovation, and dedication to the future of our community, ensuring that the Development Authority's initiatives align with the needs and aspirations of our citizens; and
- Whereas:** We extend our deepest gratitude and sincere appreciation for Sophie's contributions to the growth and prosperity of our city and offer best wishes for continued success in all future endeavors.

Now, Therefore, on behalf of the Norcross City Council, I, Mayor Craig Newton, do hereby recognize Sophie Gibson for her valuable service, dedication, and many contributions to the Norcross Development Authority and the people of the City of Norcross.

Craig Newton, Mayor

Attest: Monique Philip, City Clerk



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7195	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Proclamation Honoring NDA Member Bianca Keaton		

Sponsors:

Code Sections:

Attachments:

1. [PRO - Bianca Keaton](#)

Title
Proclamation Honoring NDA Member Bianca Keaton

Proclamation

City of Norcross, Georgia

HONORING

BIANCA KEATON

FOR SERVICE TO THE NORCROSS DEVELOPMENT AUTHORITY

- Whereas:** The Norcross Development Authority (NDA) was created for nonprofit and public purposes as set forth in O.C.G.A. § 36-62-1 et seq., including but not limited to serving and providing investment capital to Low-Income Communities or Low-Income Persons as those terms are defined in the law and regulations of the Economic Development Administration, HUD, New Markets Tax Credit Program and other federal government programs; and
- Whereas:** the Mayor and Council are proud to recognize individuals who dedicate their time, effort, and expertise to the betterment of our community; and
- Whereas:** during her tenure on the Development Authority, Bianca has played a vital role in fostering growth, supporting local businesses, and contributing to the development of key projects that have enhanced the quality of life for our residents; and
- Whereas:** has consistently demonstrated a commitment to collaboration, innovation, and dedication to the future of our community, ensuring that the Development Authority's initiatives align with the needs and aspirations of our citizens; and
- Whereas:** I extend my deepest gratitude and sincere appreciation for Bianca's contributions to the growth and prosperity of our city and offer best wishes for continued success in all future endeavors.

Now, Therefore, on behalf of the Norcross City Council, I, Mayor Craig Newton, do hereby recognize Bianca Keaton for her valuable service, dedication, and many contributions to the Norcross Development Authority and the people of the City of Norcross.

Craig Newton, Mayor

Attest: Monique Philip, City Clerk

Attachment: PRO - Bianca Keaton (24-7195 : Proclamation Honoring NDA Member Bianca Keaton)



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

City of Norcross

Legislation Details (With Details)

File #:	24-7196	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Proclamation Honoring SNC Vice Chair Chelsea Youmans		

Sponsors:

Code Sections:

Attachments:

1. [PRO - Chelsea Youmans](#)

Title
Proclamation Honoring SNC Vice Chair Chelsea Youmans

Proclamation

City of Norcross, Georgia

HONORING
CHELSEA YOUMANS

- WHEREAS:** change is constant and affects all cities. Sustainability planning and plans can help manage this change in a way that provides better choices for how people work and live; and
- WHEREAS:** sustainability planning provides an opportunity for all residents to be meaningfully involved in making choices that determine the future of their community, and the full benefits of planning require public officials and citizens who understand, support, and demand excellence in sustainability planning and plan implementation; and
- WHEREAS:** Chelsea Youmans has improved the Norcross Community by contributing to the Sustainable Norcross Commission as a member, being instrumental in the Pedal Norcross event, Annual Neighborhood Recycling event, Inaugural Bike Rodeo, Norcross Community Market, Zero Waste Summer Concerts Pilot, SNC Social Media Page, Recycling Contamination Audit, Pollinator Workshops, Recycling Contamination Audit, serving as a committee member for Parks, Greenspaces, and Trails Master Plan and Livable Centers Initiative (LCI) and Comprehensive Plan Update Steering Committee, as well as greatly contributing to the Norcross recertification as an Atlanta Regional Commission Platinum Certified Green Community in 2022, and implementing bike racks downtown Norcross and a bicycle fix-it station; and
- WHEREAS:** Chelsea Youmans has been a powerful influence for good in the growth and progress of our community; and
- WHEREAS:** her performance of duties and responsibilities as a member of this community has been characterized by excellent and constructive contributions, instilling a sense of pride and appreciation in our entire community.

NOW, THEREFORE, I, Craig Newton, commend **Chelsea Youmans** for her valuable service, dedication, and many contributions to the progress of the community and the citizens of the City of Norcross and extend our personal thanks and those of the City Council and all our citizens for her dedicated and faithful service.

Mayor Craig Newton

Attest: Monique Philip, City Clerk

Attachment: PRO - Chelsea Youmans (24-7196 : Proclamation Honoring SNC Vice Chair Chelsea Youmans)



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

City of Norcross

Legislation Details (With Details)

File #:	24-7197	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Proclamation Honoring SNC Member LeTricia Parks		

Sponsors:

Code Sections:

Attachments:

1. [PRO - Letricia Parks](#)

Title
Proclamation Honoring SNC Member LeTricia Parks

Proclamation

City of Norcross, Georgia

HONORING LETRICIA PARKS

- WHEREAS:

change is constant and affects all cities. Sustainability planning and plans can help manage this change in a way that provides better choices for how people work and live; and
- WHEREAS:

sustainability planning provides an opportunity for all residents to be meaningfully involved in making choices that determine the future of their community, and the full benefits of planning require public officials and citizens who understand, support, and demand excellence in sustainability planning and plan implementation; and
- WHEREAS:

Letricia Parks has improved the Norcross Community by contributing to the Sustainable Norcross Commission as a member, being instrumental in the Pedal Norcross event, Annual Neighborhood Recycling event, Zero Waste Summer Concerts Pilot, as well as greatly contributing to engagement and education of young scholars especially with starting a recycling club at Norcross Elementary School and participating the Clean-Up and Beautification Day at Norcross Elementary School; and
- WHEREAS:

Letricia Parks has been a powerful influence for good in the growth and progress of our community; and
- WHEREAS:

her performance of duties and responsibilities as a member of this community has been characterized by excellent and constructive contributions, instilling a sense of pride and appreciation in our entire community.

NOW, THEREFORE, I, Craig Newton, commend **Letricia Parks** for her valuable service, dedication, and many contributions to the progress of the community and the citizens of the City of Norcross and extend our personal thanks and those of the City Council and all our citizens for her dedicated and faithful service.

Mayor Craig Newton

Attest: Monique Philip, City Clerk

Attachment: PRO - Letricia Parks (24-7197 : Proclamation Honoring SNC Member LeTricia Parks)



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

City of Norcross

Legislation Details (With Details)

File #:	24-7198	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Proclamation Honoring SNC Member Jiann-Ming Su		

Sponsors:

Code Sections:

Attachments:

1. [PRO - Jiann Ming Su](#)

Title
 Proclamation Honoring SNC Member Jiann-Ming Su

Proclamation

City of Norcross, Georgia

HONORING
JIANN MING SU

- WHEREAS:** change is constant and affects all cities. Sustainability planning and plans can help manage this change in a way that provides better choices for how people work and live; and
- WHEREAS:** sustainability planning provides an opportunity for all residents to be meaningfully involved in making choices that determine the future of their community, and the full benefits of planning require public officials and citizens who understand, support, and demand excellence in sustainability planning and plan implementation; and
- WHEREAS:** Jiann Ming Su has improved the Norcross Community by contributing to the Sustainable Norcross Commission as a member, being instrumental in the Annual Neighborhood Recycling event, Recycling Contamination Audit, Pedal Norcross event, Norcross Community Market, Zero Waste Summer Concerts Pilot, Livable Centers Initiative (LCI) and Comprehensive Plan Update participation, as well as greatly contributing to engagement and education of sustainability initiatives including recycling and composting with downtown businesses; and
- WHEREAS:** Jiann Ming Su has been a powerful influence for good in the growth and progress of our community; and
- WHEREAS:** his performance of duties and responsibilities as a member of this community has been characterized by excellent and constructive contributions, instilling a sense of pride and appreciation in our entire community.

NOW, THEREFORE, I, Craig Newton, commend **Jiann Ming Su** for his valuable service, dedication, and many contributions to the progress of the community and the citizens of the City of Norcross and extend our personal thanks and those of the City Council and all our citizens for his dedicated and faithful service.

Mayor Craig Newton

Attest: Monique Philip, City Clerk

Attachment: PRO - Jiann Ming Su (24-7198 : Proclamation Honoring SNC Member Jiann-Ming Su)



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7171	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Special Use Permit - Stage at South End		

Sponsors:

Code Sections:

Attachments:

1. [Final Agenda Report - Special Use Permit – Stage at South End](#)
2. [SUP2024-003 Staff Report](#)

Title
Special Use Permit - Stage at South End

Drafter
Vivian Vakili

Motion

A Motion to Approve/Deny a request for a Special Use Permit for an outdoor stage as part of the South End development at 127 South Peachtree Street with the following staff and Mayor and Council conditions:

1. Applicant must plant a double row of shrubs as well as erect a vegetated wall with a concrete, brick, or stone base (also known as a “green wall”) a minimum of 28’ long and 12’ tall along the entire length and height of the stage and its supporting structure between the South End property and the wedding event venue property at 173 South Peachtree Street. The vegetation type on the wall shall be approved by the City Arborist. The applicant is reminded that the use of the stage shall be in compliance with all City of Norcross ordinances, including the noise ordinance, and that a special use permit can be considered for revocation, after public notice and a public hearing by the Mayor and Council.

2. No certificate of occupancy or completion shall be issued on the stage until the certificates of occupancy have been issued for at least three of the following buildings, one of which shall be Building C or Building B: Building B, C, D, E, F.

3. The size of the structure shall be limited to the size shown on the site plan included with this application: 28' wide by 29.2' deep. The height shall be limited to 12'.



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

Agenda Report

To: Mayor and Council

From: Vivian Vakili, Community Development Director

Meeting Date: December 2, 2024 – Mayor and Council Regular Meeting

Item No.: 24-7171

Title: Special Use Permit – Stage at South End

CC: Eric Johnson, City Manager

Recommendation

Consider a request for a Special Use Permit for an outdoor stage as part of the South End development at 127 South Peachtree Street with the following staff and Mayor and Council conditions:

1. Applicant must plant a double row of shrubs as well as erect a vegetated wall with a concrete, brick, or stone base (also known as a “green wall”) a minimum of 28’ long and 12’ tall along the entire length and height of the stage and its supporting structure between the South End property and the wedding event venue property at 173 South Peachtree Street. The vegetation type on the wall shall be approved by the City Arborist. The applicant is reminded that the use of the stage shall be in compliance with all City of Norcross ordinances, including the noise ordinance, and that a special use permit can be considered for revocation, after public notice and a public hearing by the Mayor and Council.
2. No certificate of occupancy or completion shall be issued on the stage until the certificates of occupancy have been issued for at least three of the following buildings, one of which shall be Building C or Building B: Building B, C, D, E, F.
3. The size of the structure shall be limited to the size shown on the site plan included with this application: 28’ wide by 29.2’ deep. The height shall be limited to 12’.

Background

The applicant seeks a special use permit for a “small stage area” inside the property and states that the stage will be used for “small venues in the community and South End tenant use.” The overall dimensions are 28’ wide by 29’-2 ¼” deep. The height is not provided on the submitted plans but appears to be around 12’. The rear of the stage is comprised of a 20’ long by 9’ tall shipping container that serves as a storage area.

The Planning and Zoning Board recommended approval with staff conditions at their meeting on November 6th, 2024.



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

Consistent with Comprehensive Plan?

1. Continues to define Norcross' sense of place

Attachments

SUP2024-003 Staff Report

Update

The following changes in red bold were recommended by Mayor and Council at the Policy Work Session on November 18th:

1. Applicant must plant a double row of shrubs as well as erect a vegetated wall with a concrete, brick, or stone base (also known as a "green wall") a minimum of 28' long and 12' tall along the entire length and height of the stage and its supporting structure between the South End property and the wedding event venue property at 173 South Peachtree Street.
The vegetation type on the wall shall be approved by the City Arborist. The applicant is reminded that the use of the stage shall be in compliance with all City of Norcross ordinances, including the noise ordinance, and that a special use permit can be considered for revocation, after public notice and a public hearing by the Mayor and Council.
2. No certificate of occupancy or completion shall be issued on the stage until the certificates of occupancy have been issued for at least **three of the following buildings, one of which shall be Building C or Building B:** Building B, C, D, E, F.
3. The size of the structure shall be limited to the size shown on the site plan included with this application: 28' wide by 29.2' deep. The height shall be limited to 12'.



Meeting Date: 11/06/2024 at 6:30 PM

Petition Number: SUP2024-003

Project Type:	Commercial
Property Location:	127 South Peachtree Street
Tax Parcel ID:	6243 048
Petitioner:	David Gay
Petitioner's Request:	Special Use Permit for a stage in HX zoning.
Recommendation:	Approval

Summary

The applicant requests a special use permit for a stage as part of the South End development at 127 South Peachtree Street.

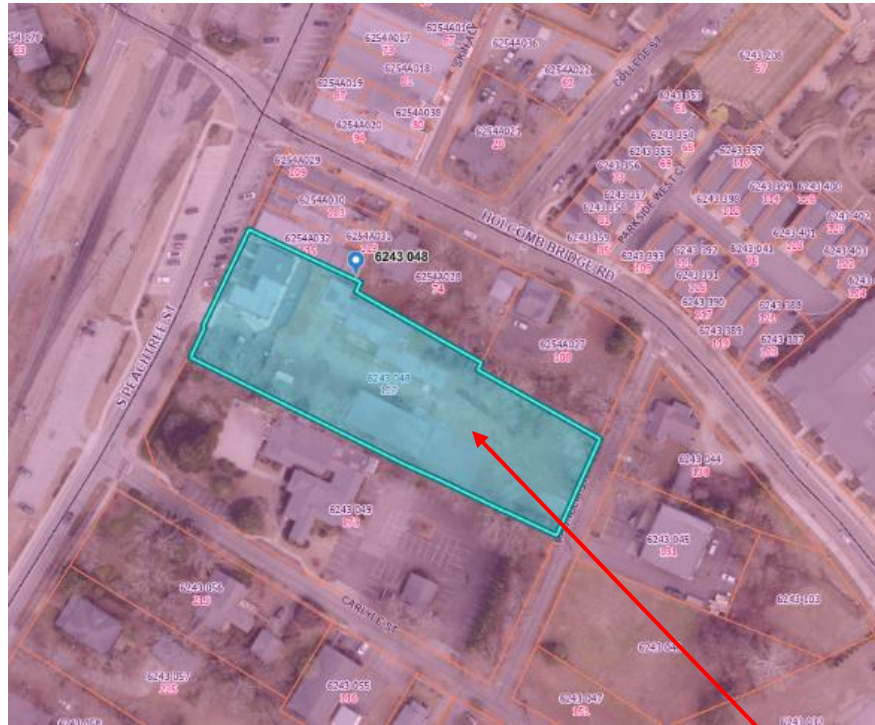
Timeline

UDO section 104-3 requires special use permits to be first heard by the Planning and Zoning Board, followed by Mayor and Council's policy meeting and finally Mayor and Council's regular meeting for final action. Below is the proposed schedule of dates.

Board	Meeting Type	Meeting	Meeting Time	Room
P&Z	Hearing	Wednesday, November 6, 2024	6:30 PM	City Hall Conference Room
M&C	Meeting	Monday, November 18, 2024	6:30 PM	City Hall Conference Room
M&C	Hearing	Monday, December 2, 2024	6:30 PM	City Hall Council Chambers

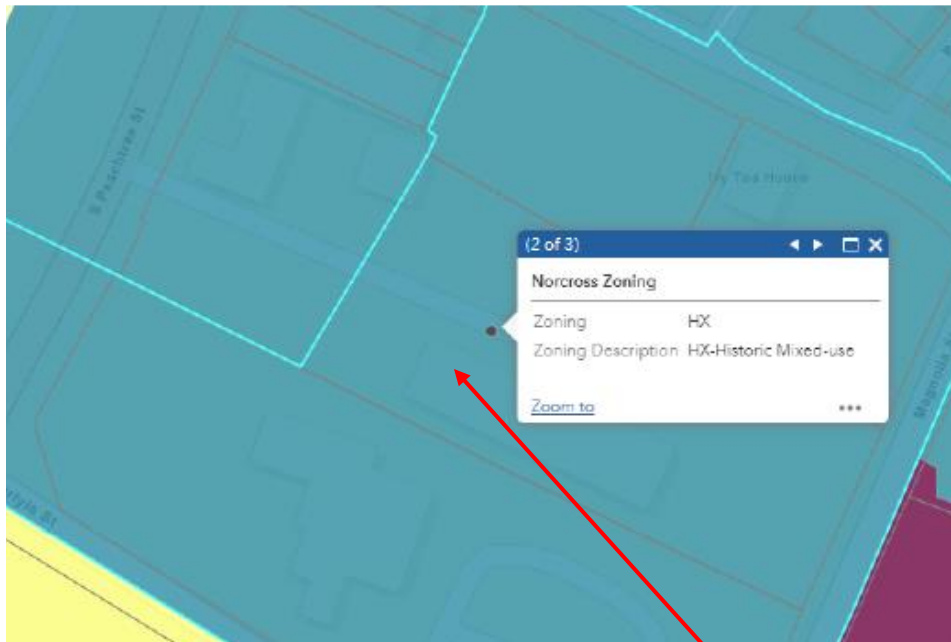
Attachment: SUP2024-003 Staff Report (24-7171 : Special Use Permit - Stage at South End)

Aerial View



Site

Zoning Map



Site

Attachment: SUP2024-003 Staff Report (24-7171 : Special Use Permit - Stage at South End)

Future Development Map



Character Area 7: Town Center

PROPERTY INFORMATION	
Property Location	127 South Peachtree Street
Acreage:	1.4
Existing Zoning / Land Use	HX / Historic Mixed-Use
Proposed Zoning / Land Use	HX with a Special Use Permit for a Stage
Character Area	Town Center
Existing Lot Dimensions:	Frontage: Approximately 145' on South Peachtree Street Depth: Approximately 439'
Topography:	High Point: around middle of southern property line Low Point: along eastern property line
Elevation:	High Point: 1060' Low Point: 1026'
Encumbrances:	The location of the proposed stage is in the Local Historic District.

Attachment: SUP2024-003 Staff Report (24-7171 : Special Use Permit - Stage at South End)

EXISTING ZONING AND LAND USE OF PROPERTIES WITHIN 500 FEET			
Location relative to subject property	Zoning/Land Use	Address(es)	Land Area (acres) (Approximate)
North	HX	115 South Peachtree Street 21 Holcomb Bridge Road 108 Holcomb Bridge Road	0.08 0.49 0.41
South	HX	173 South Peachtree St	1.66 AC
East	BH	131 Magnolia St	0.41 AC

Applicant's Request

The applicant, David Gay, seeks to install a “small stage area” inside the property. The applicant states that the stage will be used for “small venues in the community and South End tenant use.”

Existing Conditions

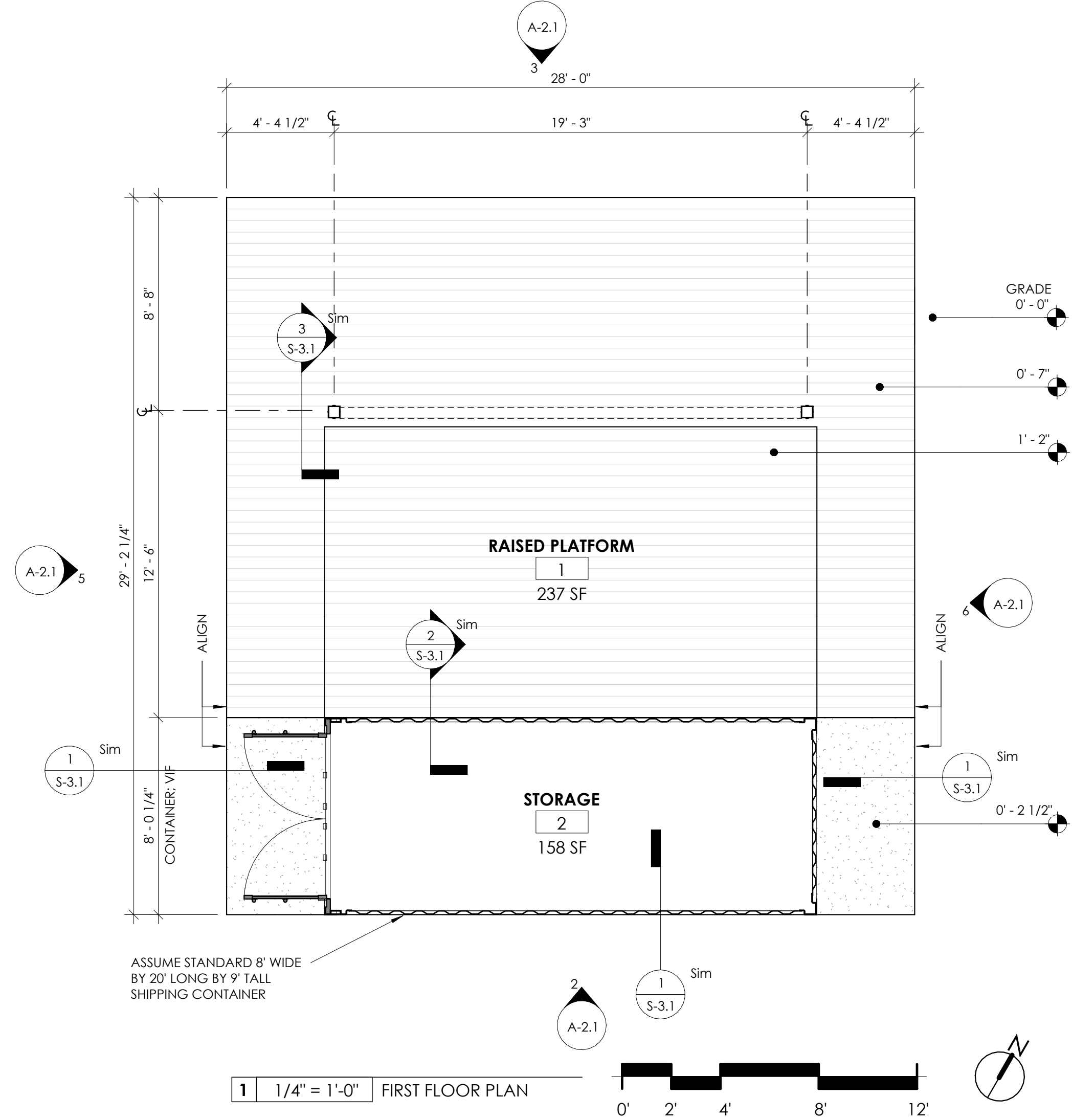
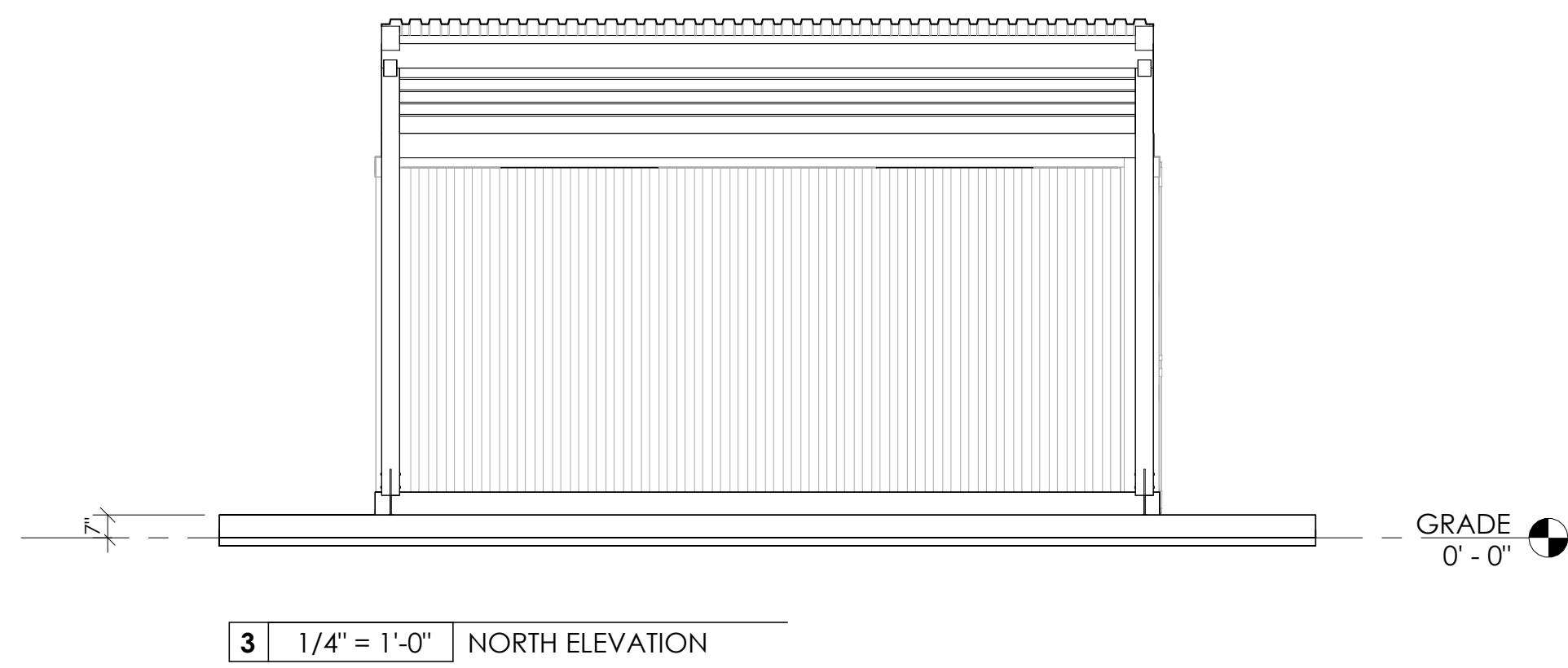
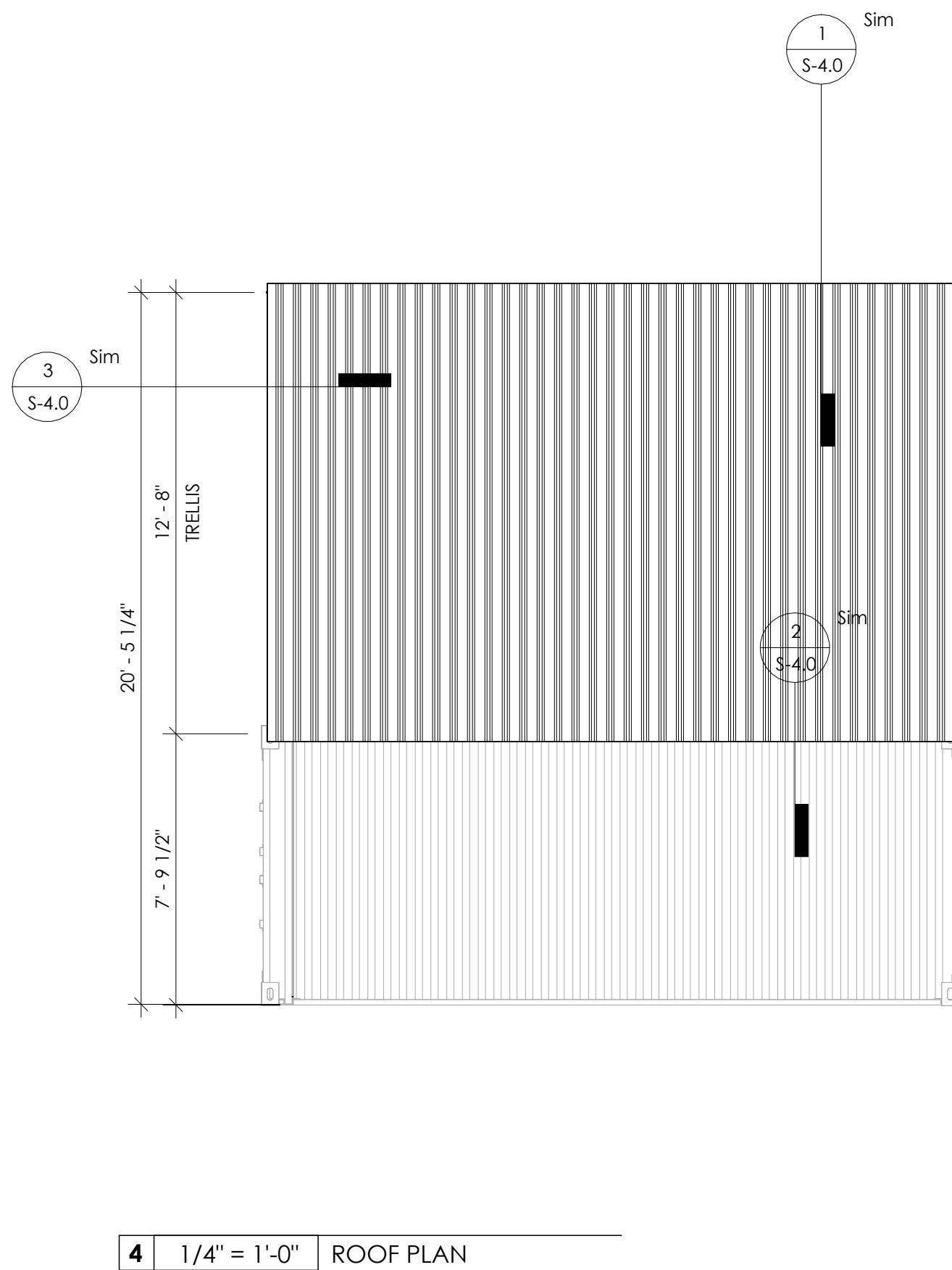
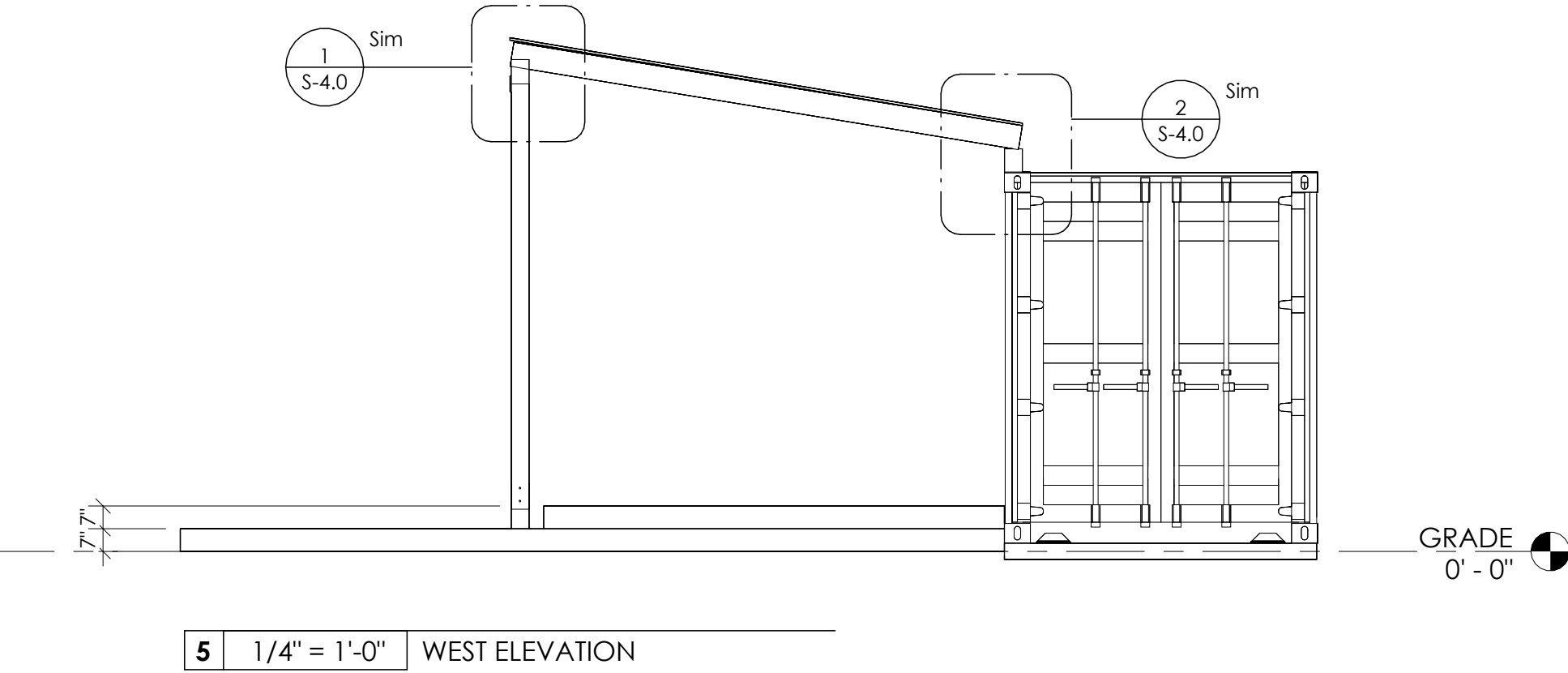
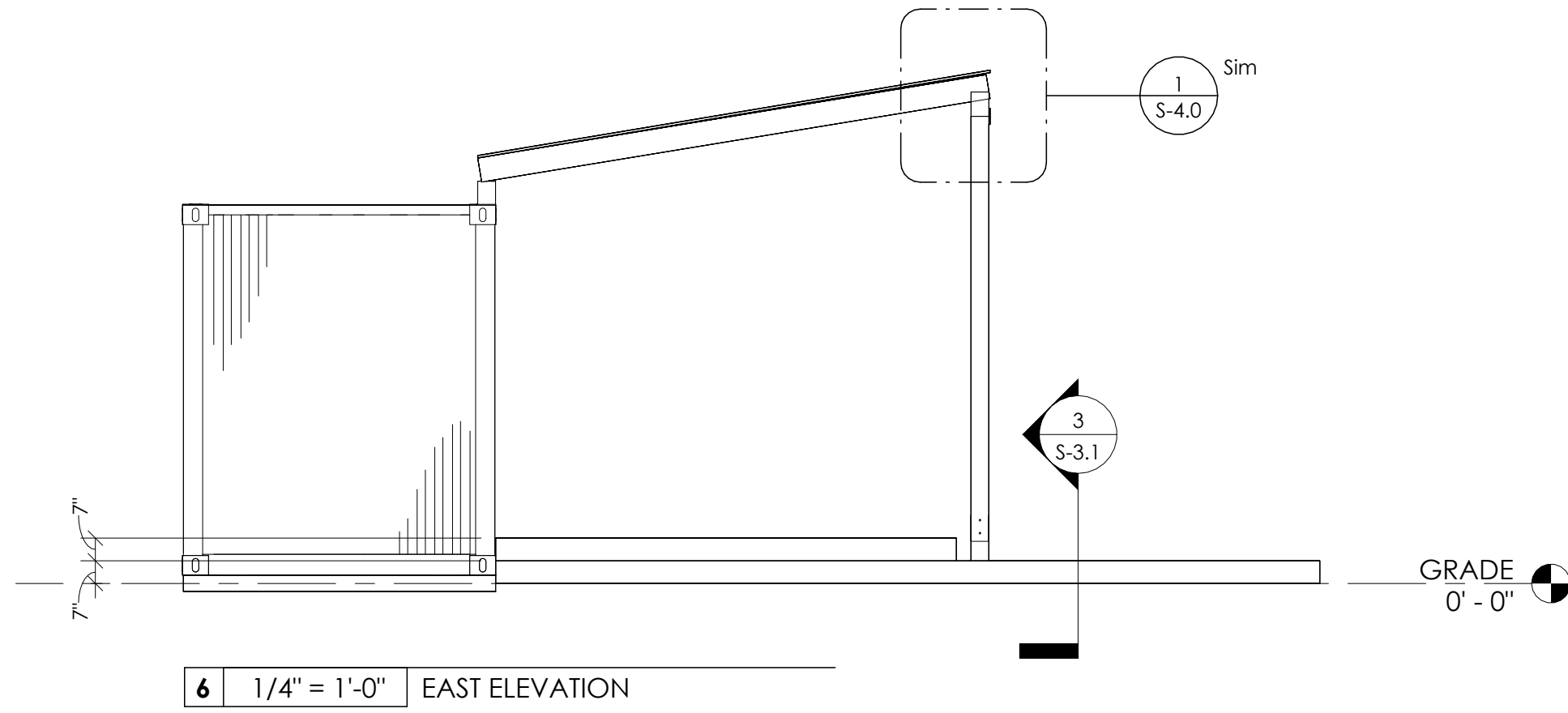
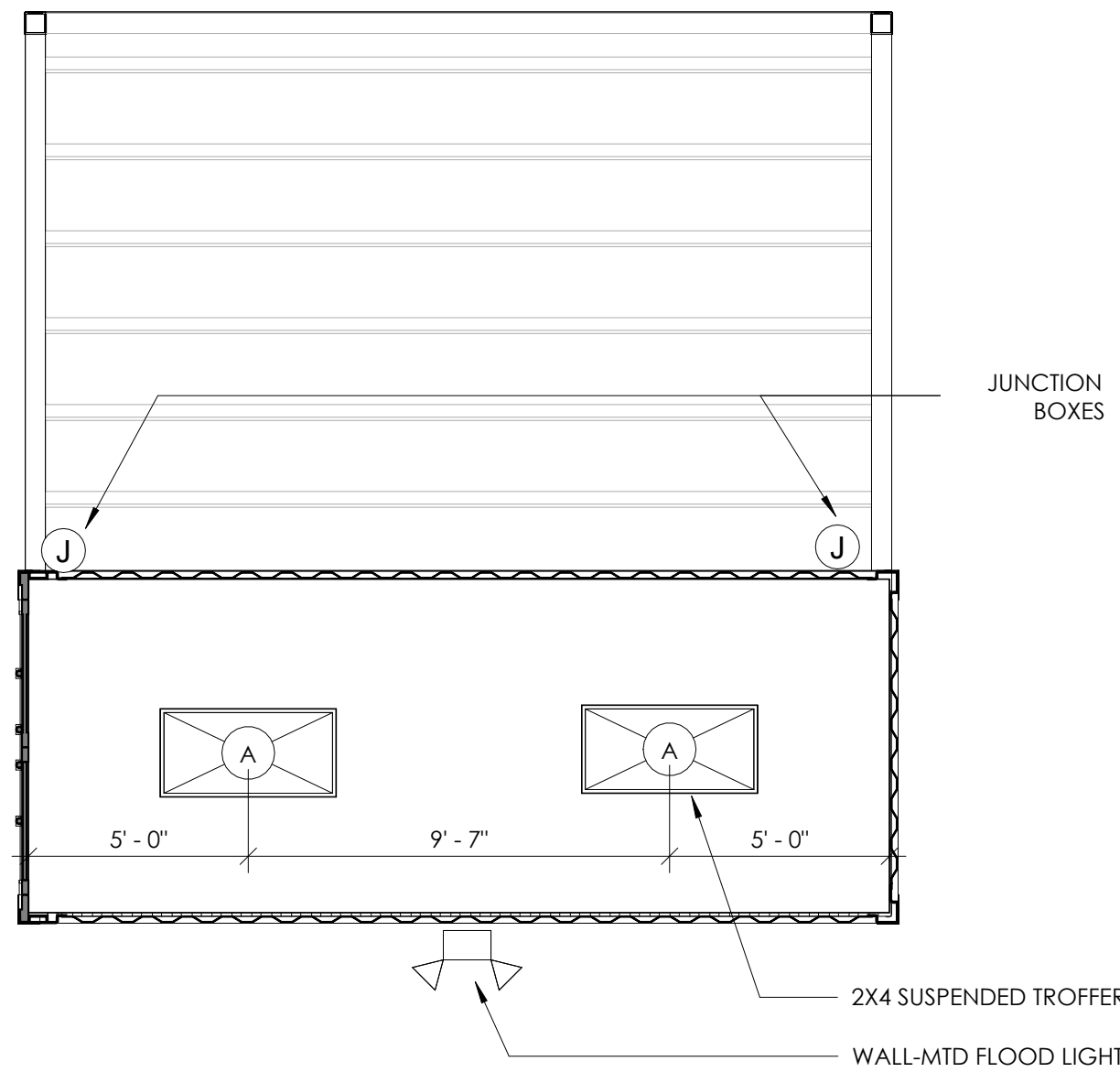
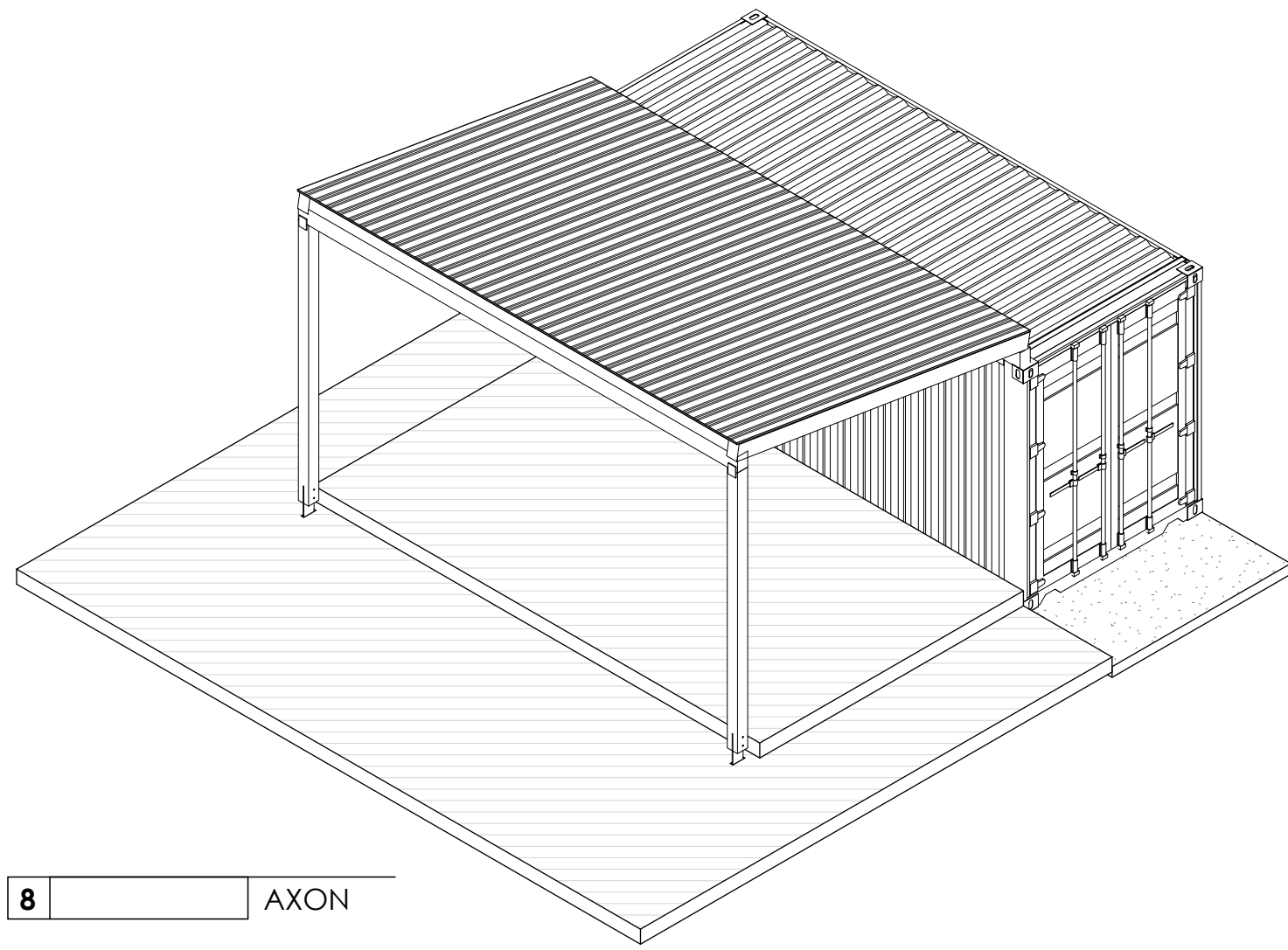
The subject property is zoned HX (Historic Mixed-Use) with 3 buildings on site. One of these buildings is occupied and houses 3 businesses: Rose & Hemp, Refuge Coffee, and Butter & Cream.

Project Description

The applicant seeks a special use permit for a “small stage area” inside the property. The overall dimensions are 28’ wide by 29’-2 ¼” deep. The height is not provided on the submitted plans but appears to be around 12’. The rear of the stage is comprised of a 20’ long by 9’ tall shipping container that serves as a storage area. Below is the site plan provided by the applicant with the stage area highlighted by staff for easy reference as well as the plans for the stage.

GENERAL NOTES

1. All walls are Type P-1 unless otherwise noted. See sheet A-9.1 for Partition Type Legend.
2. All walls are 90° unless noted otherwise.
3. Existing walls are dimensioned from finish face unless noted otherwise.
4. New walls are dimensioned from face of stud unless noted otherwise.
5. Provide blocking at all bathroom accessories, wall cabinets, and shelving.
6. Center light fixtures on doorways, in rooms, or above plumbing fixtures where applicable.
7. Windows & doors are dimensioned to center of opening unless noted otherwise.
8. Storefront dimensioned to true opening. Contractor to account for shimming dimensions.



ARCHITECTURE & INTERIORS
ATLANTA, GA TEL 678.271.8054 STUDIO.SOGO.COM



SOUTH END PLATFORM
127 S PEACHTREE STREET
NORCROSS, GA 30071

ISSUANCE SCHEDULE

06.21.2024 PERMIT SET

REVISION SCHEDULE
MARK DATE DESCRIPTION

Project ID 2417
Drawn By MM
Checked By LGE
Sheet Title

FLOOR PLANS

Drawing No. **A-2.1**
Paper Size: 24" x 36"

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**Project Application: Norcross South End
127 South Peachtree Street Norcross, Ga.**

To Whom It May Concern:

Please allow this letter to address the open items list per the statements that are required in the Special Use Permit. **Please note that we are not requesting a Zoning Change, only the use of a stage within the property.**

SUP Permit Statements

Item #8: Domestic Water is supplied via a 2" water meter located just inside the property fire access driveway. The SUP for the stage does not need nor required use for water.

Item #9 Sanitary Sewer is currently running thru the middle of the property servicing all tenants. The SUP for the stage does not require nor will need to use the sanitary sewer.

Item #10 Storm Water is currently being directed to multiple drop inlet collectors inside the property and is being directed to a detention pond on the property corner at Magnolia Street.

Item #11: The SUP is being requested for the installation of a small stage area inside the property. This stage will be used for small venues in the community and South End Tenant use.

Let me know if you have any questions.

Thanks,

3D Project Management

David Gay

678) 794-8182

Attachment: SUP2024-003 Staff Report (24-7171 : Special Use Permit - Stage at South End)

ZONING ANALYSIS

Current Zoning

The subject property is zoned HX (Historic Mixed-Use). Adjacent uses include The Carlyle House (a wedding venue) to the south, BH zoning to the east across Magnolia Street, and various retail and restaurant zoned HX to the north. The property fronts South Peachtree Street to the west and there are residential lots across the railroad tracks and Thrasher Street. The HX (Historic Mixed-Use) district is established to provide for a variety of retail, service, office, public and semi-public uses, with the inclusion of limited residential uses, in a pedestrian-friendly environment to promote live-work and mixed-use opportunities. Outdoor theater as well as various recreation, amusement, and entertainment uses are allowed through obtaining a special use permit.

Comprehensive Plan Analysis

The Comprehensive Plan is a policy guide for making rezoning and capital investment decisions and sets policies for city officials and staff concerning the future development of Norcross. The Comp Plan contains information to help guide the appropriateness of a zoning action. Table 2.1 is a matrix that depicts land uses by character area. The subject parcel falls within Character Area 7, Town Center.

A. Land Uses by Character Area

Taken from the matrix, the following uses are either specifically detailed in the character area description or considered appropriate according to the matrix:

Character Area 7, Town Center
Low Density Residential
Medium Density Residential
Planned Residential Community
Skilled Nursing Facilities (no rehab)
Neighborhood-level commercial, studio, or office (<5,000 sf)
Community-level commercial or office (<50,000 sf)
Mixed-use (vertical)
Entertainment-related commercial
Places of assembly
Transportation, communication, utilities
Parks and recreation

Entertainment-related commercial is defined as “downtown restaurants, brewpubs, small specialty commercial, professional office, civic and public uses. Central gathering places for the community.”

Places of assembly is defined as “meeting places at which the public or membership groups are assembled regularly, including but not limited to schools, places of worship, theaters, auditoriums, funeral homes, and stadiums.”

B. Policy Goals

Under the policy goals the proposed special use permit meets the following criteria:

- *Policy 1-2: Redevelop and enhance existing commercial and industrial areas.*
- *Policy 2-5: Provide pleasant, accessible public gathering places.*
- *Policy 6-15: Continue to support local arts and cultural events through the provision of facilities, logistics, and marketing efforts.*

C. Character Area Vision

The Town Center Character Area is defined as “The civic heart of the community, the Town Center offers a wide variety of entertainment, dining, recreational and shopping options. Through redevelopment and public investment, the Town Center character is a destination for the Greater Norcross community...”

Standards Governing the Exercise of Zoning Power

According to Section 103-11, the criteria by which a special use permit action can be approved or denied are as follows:

1) Whether the zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby properties?

Applicant answer: Yes, the stage is located within the development and not visual from adjacent properties.

Staff analysis: Yes, staff believes that a stage would be appropriate within the context of the overall South End development and the downtown area.

2) Whether the zoning proposal will adversely affect the existing use or usability of adjacent or nearby property?

Applicant answer: No, the stage is screened from view and a back drop is being used for sound. We are also adding a wall for sound screening.

Staff analysis: There is a wedding event venue adjacent to the site that may have weddings at the same hours as the proposed stage would be in use. Without appropriate sound mitigation, events held at the stage may disrupt the weddings held at the event venue.

3) Whether the property to be affected by the zoning proposal has a reasonable economic use as currently zoned?

Applicant answer: No however the stage complements the development.

Staff analysis: Yes.

4) Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities or schools?

Applicant answer: No.

Staff analysis: No.

5) Whether the zoning proposal is in conformity with the policy and intent of the Comprehensive Plan?

Applicant answer: Yes.

Staff analysis: Yes, entertainment-related commercial is noted as an appropriate use in Character Area 7, and included within that definition are civic and public uses as well as central gathering places.

6) Whether there are other existing or changing conditions affecting the use and development of the property which give supporting grounds for either approval or disapproval of the zoning proposal?

Applicant answer: The development is community-focused and a small stage enhances the public use and purpose.

Staff analysis: No.

7) Whether the policies and objectives of the comprehensive plan, particularly in relationship to the proposed site and surrounding area align and support the proposal.

Applicant answer: Yes.

Staff analysis: Yes.

8) Whether the proposal has the potential for adverse impacts on the surrounding area, regarding, but not limited to traffic, storm drainage, land values and compatibility of land use activities.

Applicant answer: No. The stage is for a small band 2-3 people with buffers of sound.

Staff analysis: The stage could have an adverse impact on the adjacent wedding venue if sound is not sufficiently mitigated.

9) In the case of antennae and towers, the proposal will need to meet the standards listed in subsection 202z)(5), special use permits.

This criterion does not apply to this request and is therefore not applicable.

Conclusion

The application meets the general vision of the Comprehensive Plan for this area.

Recommendation

Staff recommends approval of the special use permit for an outdoor stage at this location with the following conditions:

1. Applicant must plant a double row of shrubs as well as erect a vegetated wall with a concrete, brick, or stone base (also known as a "green wall") a minimum of 28' long and 12' tall along the entire length and height of the stage and its supporting structure between the

South End property and the wedding event venue property at 173 South Peachtree Street. The applicant is reminded that the use of the stage shall be in compliance with all City of Norcross ordinances, including the noise ordinance, and that a special use permit can be considered for revocation, after public notice and a public hearing by the Mayor and Council.

2. No certificate of occupancy or completion shall be issued on the stage until the certificates of occupancy have been issued for at least two of the following buildings: Building B, C, D, E, F.
3. The size of the structure shall be limited to the size shown on the site plan included with this application: 28' wide by 29.2' deep. The height shall be limited to 12'.



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7188	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Discovery Garden Park Board (Two Vacancies One Applicant)		

Sponsors:

Code Sections:

Title

Discovery Garden Park Board (Two Vacancies | One Applicant)

Motion

A motion to Approve/Deny the appointment of the following candidate and term as presented:

Discovery Garden Park Board

_____ 06/01/2026



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7189	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Historic Preservation Commission (Two Vacancies Two Applicant)		

Sponsors:

Code Sections:

Title

Historic Preservation Commission (Two Vacancies | Two Applicant)

Motion

A motion to Approve/Deny the reappointment of the following board members and terms as presented:

Historic Preservation Commission

_____ 12/1/2027

_____ 12/1/2027



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7190	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Norcross Development Authority (Seven Vacancies Two Applicants)		

Sponsors:

Code Sections:

Title

Norcross Development Authority (Seven Vacancies | Two Applicants)

Motion

A motion to Approve/Deny the appointment of the following candidates and staggered terms as presented:

Norcross Development Authority



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7191	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Norcross Public Arts Commission (Four Vacancies Four Applicants)		

Sponsors:

Code Sections:

Title

Norcross Public Arts Commission (Four Vacancies | Four Applicants)

Motion

A motion to Approve/Deny the appointment and reappointment of the following candidates and terms as presented:

Norcross Public Arts Commission

	12/01/2027
	12/01/2027
	12/01/2025 (Unexpired Term)
	12/01/2026 (Unexpired Term)



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7192	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Sustainable Norcross Commission (Six Vacancies One Applicant)		

Sponsors:

Code Sections:

Title

Sustainable Norcross Commission (Six Vacancies | One Applicant)

Motion

A motion to Approve/Deny the appointment of the following board member and term as presented:

Sustainable Norcross Commission



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

City of Norcross

Legislation Details (With Details)

File #:	24-7172	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Verbal Request to Reduce the “Lapse of Time Requirement for Reapplication” for a Special Use Permit Request at 3150 Holcomb Bridge Road from 12 Months to 6 Months		

Sponsors:

Code Sections:

Attachments:

1. [Agenda Report - 3150 Holcomb Bridge Lapse of Time](#)

Title

Verbal Request to Reduce the “Lapse of Time Requirement for Reapplication” for a Special Use Permit Request at 3150 Holcomb Bridge Road from 12 Months to 6 Months

Drafter

Mayor Pro Tem Bruce Gaynor

Motion

A motion to Approve/Deny a verbal request from applicant Mr. Robert Baffour to reduce the “lapse of time requirement for reapplication” for a special use permit request from 12 months to 6 months.



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

Agenda Report

To: Mayor and Council

From: Mayor Pro Tem Bruce Gaynor

Meeting Date: December 2, 2024 – Mayor and Council

Item No.: 24-7172

Title: Verbal Request to Reduce the “Lapse of Time Requirement for Reapplication” for a Special Use Permit Request at 3150 Holcomb Bridge Road from 12 Months to 6 Months.

CC: Eric Johnson, City Manager

Recommendation

Consider a verbal request from applicant Mr. Robert Baffour to reduce the “lapse of time requirement for reapplication” for a special use permit request from 12 months to 6 months.

Background

Mr. Robert Baffour made an application for a special use permit for an event hall at 3150 Holcomb Bridge Road in the Proficient office building under application SUP2024-002 on July 25, 2024. The application was considered at public hearings by the Planning and Zoning Board on September 4, 2024, and then by Mayor and Council on October 7, 2024. The request was denied by the Mayor and Council on October 7, 2024.

Under the Unified Development Ordinance, in Section 104-5(d):

(d) Lapse of time requirement for reapplication. No application or reapplication for any zoning map amendment affecting the same land or any portion thereof shall be acted upon or otherwise considered by the city within 12 months from the date of last action by the Mayor and City Council that defeated a previous rezoning application unless such 12-month period is waived by the Mayor and City Council, and in no case may such an application or reapplication be considered in less than six months from the date of last action by the Mayor and City Council that defeated a previous rezoning application.

In essence, a defeated zoning type of action, including special use permits, prejudices the property in question for a period of twelve months from the date of the defeated action meaning no further zoning or special use permit actions are permissible on the property for twelve months from the denial date, except that Mayor and Council can consider reducing the time lapse (prejudice) on the property to a period of six months from the date of denial.

The applicant believes that his application can be improved and requests that the prejudice date be reduced to 6 months from the last date of action.



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

Since the original application was defeated, a new application would need to be made, with a new filing fee of \$750. New legal ads and site postings would need to be made and additional hearings scheduled before both the Planning and Zoning Board and Mayor and Council. The earliest date that could be made would be Monday, April 7, 2025, for the Planning and Zoning Board meeting of May 7, 2025, and Mayor and Council meetings of May 19, 2025, and June 2, 2025,

Financial Impact:

N/A

Consistent with Comprehensive Plan?

(Select the appropriate goal(s). Please make sure the goal(s) match the corresponding goal number.)

1. Continues to define Norcross' sense of place
2. Continues to Strengthen Norcross as a Livable, Inclusive, and Safe Environment
3. Increases Opportunities for Travel via Different Modes within and Outside the Community
4. Maintains a Vibrant Economy and Continue to Facilitate Job Growth
5. Ensures that Norcross Residents have a Variety of Attainable, Quality Housing Options
6. ***Furtheres the City's Tradition of Strong Leadership and High Level of Quality Services***

Attachments

Next Steps

Update



Mayor: Craig Newton • Mayor Pro Tem: Bruce Gaynor • Councilmember: Andrew Hixson • Councilmember: Josh Bare
Councilmember: Matt Myers • Councilmember: Marshall Cheek • City Manager: Eric Johnson • City Clerk: Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7180	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Agreement with Gwinnett County Sheriff's Department for the Transport of Prisoners from Outside of Gwinnett County to Their Facility		

Sponsors:

Code Sections:

Attachments:

1. [Agenda Report - Agreement with Gwinnett County Sheriff's Department for The Transport of Prisoners from Outside of Gwinnett County to Their Facility](#)
2. [Agreement drafted by the Gwinnett County Sheriff's Department](#)
3. [Copy of O.C.G.A. § 17-4-25.1](#)

Title

Agreement with Gwinnett County Sheriff's Department for the Transport of Prisoners from Outside of Gwinnett County to Their Facility

Drafter

Bill Grogan

Motion

A motion to Approve/Deny an agreement between the City and Gwinnett County Sheriff's Department authorizing both GCSO and NPD personnel to transport arrestees to the GCSO detention facility from outside the County pursuant to State law.



Mayor: Craig Newton • Mayor Pro Tem: Bruce Gaynor • Councilmember: Andrew Hixson • Councilmember: Josh Bare
Councilmember: Matt Myers • Councilmember: Marshall Cheek • City Manager: Eric Johnson • City Clerk: Monique Philip

Agenda Report

To: Mayor and Council

From: Bill Grogan, Chief of Police

Meeting Date: December 2, 2024 – Mayor and Council

Item No.: 24-7179

Title: Agreement with Gwinnett County Sheriff's Department for The Transport of Prisoners from Outside of Gwinnett County to Their Facility

CC: Eric Johnson, City Manager

Recommendation

Approve an agreement between the City and Gwinnett County Sheriff's Department authorizing both GCSO and NPD personnel to transport arrestees to the GCSO detention facility from outside the County pursuant to State law.

Background

The Norcross Police Department is in the process of obtaining a Certification under Excellence in Policing (EIP), sponsored by GIRMA. One of the standards in EIP calls for an agreement between the county sheriff and the police department for the transportation of inmates housed outside of Gwinnett County to their facility. Our current agreement does not specifically authorize it. The GC Sheriff's Department has provided an agreement to assist us in fulfilling this requirement.

From EIP, the language specifically relating to this is:

3.6. Transporting Detainees

The agency shall have a written directive for transporting detainees including:--

- Authorization or agreement with the sheriff to transport individuals from another county (O.C.G.A. § 17-4-25.1)

Financial Impact: None.

Consistent with Comprehensive Plan?

Yes, it is consistent with Goal 6 as it furthers strong leadership and ensures a high level of quality services.

Attachments

- 1) Agreement drafted by the Gwinnett County Sheriff's Department.
- 2) Copy of O.C.G.A. § 17-4-25.1

Next Steps

If approved, Mayor and Chief of Police signatures.

Update: N/A

CONTRACT FOR THE TRANSPORTATION OF ARRESTEES

Subject:

This contract between the City of Norcross (here in after "Norcross"), the Norcross Police Department (here in after "Police") and the Gwinnett County Sheriff's Office (here in after "Sheriff") addresses the transportation of arrestees pursuant to O.C.G.A. § 17-4-25.1.

Purpose:

When any person arrested on charges originating from the jurisdiction of the city of Norcross is in custody of another jurisdiction, such person must be transported to the appropriate detention facility, which is the Gwinnett County Jail operated by the Sheriff. O.C.G.A. § 17-4-25.1 applies to such transportation of arrestees. Paragraph (a) authorizes a sworn law enforcement officer from a county or municipality in which an offense is alleged to have been committed to transport an arrested person, with the warrant under which such person was arrested, from one jurisdiction to the county or municipality in which the offense is alleged to have been committed for examination before any judicial officer of that county or municipality.

Paragraph (c) authorizes Police to transport a prisoner lawfully in the custody of the Police to a medical facility, a juvenile detention facility or to a court appearance outside of the Police jurisdiction for any other lawful or necessary purpose.

Paragraph (e) authorizes a contract between the Sheriff and the Police with the approval of Norcross for such transports and places any liability incurred upon the transporting agency.

Agreement:

In consideration of the mutual benefits of the parties, which is hereby expressly recognized by the parties, the Sheriff and the Police, with the authorization of Norcross, agree that the Sheriff will transport arrestees from other jurisdictions to the Gwinnett County Jail when at least one the arrestee's charges are prosecutable in the Juvenile, State, or Superior Court of Gwinnett County. The Sheriff will bear the responsibility and costs associated with the transportation. Further, the Sheriff will transport such arrestees to a medical facility, juvenile detention facility or court appearance outside such county or municipality or to transport such prisoner to a location outside such county or municipality for any lawfully required or necessary purpose.

The Sheriff and the Police, with the authorization of Norcross, agree that the Police will transport arrestees from other jurisdictions to the Gwinnett County Jail when the arrestee is charged only with offenses prosecutable in the City Court of Norcross. Police will bear the responsibility and costs associated with the transportation. Further, the Police will transport such arrestees to a medical facility, juvenile detention facility or court appearance outside such county or municipality or to transport such prisoner to a location outside such county or municipality for any lawfully required or necessary purpose.

Effective Date and terms:

This contract is effective upon the signatures of all the parties and will automatically renew annually unless any party notifies all the parties in writing of its cancellation 30 days after delivery of the notice.

Cleo Atwater, Chief
Gwinnett Sheriff's Office

Date

Bill Grogan, Chief
Norcross Police Department

Date

Craig Newton, Mayor
City of Norcross

Date

2023 CODE OF GEORGIA**Title 17 - CRIMINAL PROCEDURE (§§ 17-1-1 — 17-21-4)****Chapter 4 - ARREST OF PERSONS (§§ 17-4-1 — 17-4-80)****Article 2 - ARREST BY LAW ENFORCEMENT OFFICERS GENERALLY (§§ 17-4-20 — 17-4-30)****Section 17-4-25.1 - Transport of arrested person to jurisdiction in which offense committed;
transport of prisoner outside county or municipality****Universal Citation:** GA Code § 17-4-25.1 (2023)

- **(a)** As provided in subsection (e) of this Code section, a sworn law enforcement officer from a county or municipality in which an offense is alleged to have been committed shall be authorized to transport an arrested person, with the warrant under which such person was arrested, from one jurisdiction to the county or municipality in which the offense is alleged to have been committed for examination before any judicial officer of that county or municipality.
- **(b)** Unless otherwise provided by contract, the agency requesting the transportation of the arrested person pursuant to subsection (a) of this Code section shall be responsible for all costs associated with the transport. Such officer may hold or imprison the arrested person in a jurisdiction other than where the offense is alleged to have been committed long enough to enable such officer to prepare to take the arrested person to the jurisdiction in which the offense is alleged to have been committed.
- **(c)** A sworn law enforcement officer from a county or municipality shall be authorized to transport a prisoner who is lawfully in the custody of such officer to a medical facility, juvenile detention facility as defined in Code Section 49-4A-1, or court appearance outside such county or municipality or to transport such prisoner to a location outside such county or municipality for any lawfully required or necessary purpose.
- **(d)** This Code section shall not be construed to provide any general state-wide police powers or authority for county or municipal law enforcement officers or expand the arrest powers of such officers outside their properly authorized jurisdiction.
- **(e)** Sheriffs and, with the approval of its governing authority, municipal or other law enforcement agency heads are authorized to enter into a contract for the purposes of transporting arrested individuals from the jurisdiction of the arrest to an appropriate detention facility where the alleged crime is to have occurred. In the absence of a written contract between the sheriff and municipal or other law enforcement agency head, the sheriff or his or her designee has the right of first refusal, as evidenced in writing, of transporting persons arrested on a warrant to an appropriate detention facility where the crime is alleged to have occurred. Any responsibility arising as a result of the transportation of an arrested individual as authorized in this Code section shall be that of the agency whose employee is transporting the arrested individual.

Amended by 2013 Ga. Laws 127, § 4-14, eff. 1/1/2014.

Disclaimer: These codes may not be the most recent version. [Georgia](#) may have more current or accurate information. We make no warranties or guarantees about the accuracy, completeness, or adequacy of the information contained on this site or the information linked to on the state site. Please check official sources.



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7175	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03		

Sponsors:

Code Sections:

Attachments:

1. [Agenda Report - Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03](#)
2. [Bid Tabulation ITB PW 25-03](#)
3. [City of Norcross Packet ITB PW 25-03](#)

Title

Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03

Drafter

Len Housley

Motion

A motion to Approve/Deny the rejection of proposals for contract award ITB PW 25-03, construction of a gravel parking lot on Britt Street, in order to continue funding street resurfacing as a transportation priority.


Department of Public Works

345 Lively Avenue, Norcross GA 30071

Office: 678-421-2069 Fax: 770-255-2335

www.norcrossga.net
Bid Tabulation
Britt Avenue Overflow Parking Lot
ITB PW 25-03
November 8, 2024
345 Lively Avenue, Norcross, GA 30071

Company Name	Bid Amount
Surfaces Group, LLC	\$434, 212.93
The Dickerson Group	\$740,474.00
Complete Site, LLC	\$450,000.00
R&B Developer Inc.	\$381,952.81
Woodwind Construction Company	\$336,500.00
Attaway Contracting Inc.	\$550,412.00
CGS LLC	\$385,329.21
International Waste Services	\$517,662.01

Award will be made to the **most responsive and responsible lowest bidder**. Awards will not be automatically awarded to the lowest bidder. The City will review all bids for responsiveness and responsibility. Bidders must comply with specification guidelines, show evidence of experience and qualifications, and provide proof that they are qualified to carry out the scope of work.

Attachment: Bid Tabulation ITB PW 25-03 (24-7175 : Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03)



**City of Norcross
Department of Public Works**

**INVITATION TO BID
BRITT AVENUE OVERFLOW PARKING LOT
ITB PW 25-03**

Attachment: City of Norcross Packet ITB PW 25-03 (24-7175 : Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03)

City of Norcross

Department of Public Works

INVITATION TO BID BRITT AVENUE OVERFLOW PARKING LOT ITB PW 25-03

OVERVIEW:

The City of Norcross is seeking sealed competitive bids from qualified contractors for the installation of approximately 42 gravel surface pervious parking spaces fronting Britt Avenue below the Community Center, located at 10 College St. Norcross, GA 30071. The vacant property has no street address, but is identified as Gwinnett County Tax Parcel 6243 001.

Anticipated award date will be March 2025. All work must be completed in 120 days from when Notice to Proceed is issued and in accordance with industry specifications and standards.

The BID package should be clearly marked “**ITB PW 25-03 – BRITT AVENUE OVERFLOW PARKING LOT**” on its face and submitted by **11:00 a.m. on November 8, 2024**, to the address below. Please submit two printed copies and one electronic copy (USB) of your package to:

Charlene Marsh
Capital Projects Manager
ITB PW 25-03 – BRITT AVENUE OVERFLOW PARKING LOT
City of Norcross – Public Works
345 Lively Avenue
Norcross, GA 30071

Both printed and electronic copies must contain the same information.

Please submit questions/requests via **e-mail only** to the Capital Projects Manager at procurement@norcrossga.net by **5:00 p.m. on October 25, 2024**. A Q&A addendum will be posted within a week.

An **optional, but highly recommended** pre-bid meeting with a site visit will take place on **October 25, 2024, at 10:00 a.m.** at the Public Works department located at 345 Lively Avenue Norcross GA 30071.

BIDS will be opened and publicly read at **11:05 a.m. on November 8, 2024**, at the address noted above.

No BID will be received or accepted after the above specified date and time. Submissions received after the designated date and time will be deemed invalid and returned unopened to the firm.

No BID may be withdrawn within thirty (30) days after the BID opening. Requests for withdrawals must be submitted in writing. All BIDS shall remain firm for 120 days after bid opening.

We appreciate your interest in the City of Norcross!

Attachment: City of Norcross Packet ITB PW 25-03 (24-7175 : Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03)

BID CHECKLIST

The 10 Most Critical Things to Keep in Mind When Responding to a BID for the City of Norcross

1. _____ **Read the entire document.** Note critical items such as: mandatory requirements; supplies/services required; submittal dates; number of copies required for submittal; funding amount and source; contract requirements (i.e., contract performance security, insurance requirements, performance and/or reporting requirements, etc.).
2. _____ **Note the City of Norcross' staff member's name, address, phone numbers and e-mail address.** This is the **only** person you are allowed to communicate with regarding the ITB and is an excellent source of information for any questions you may have.
3. _____ **Attend the Pre-bid meeting** if one is offered. These meetings provide an opportunity to ask clarifying questions, obtain a better understanding of the project, or to notify the City of any ambiguities, inconsistencies, or errors in the ITB.
4. _____ **Take advantage of the "question and answer" period.** Submit your questions to the Capital Projects Manager by the due date listed in the Schedule of Events and view the answers given in the formal "addenda" issued for the ITB. All addenda issued for this ITB will be posted on the City's website and will include all questions asked and answered concerning the ITB.
5. _____ **Follow the format required in the ITB** when preparing your response. Provide point- by-point responses to all sections in a clear and concise manner.
6. _____ **Provide complete answers/descriptions.** Read and answer all questions and requirements. Do not assume the City or Evaluation Committee will know what your capabilities are or what items/services you can provide, even if you have previously contracted with the City. Evaluations are based solely on the information and materials provided in your response.
7. _____ **Use the forms provided,** i.e., sample budget form, certification forms, etc.
8. _____ **Check the City website for ITB addenda.** Before submitting your response, check the City website at <https://www.norcrossga.net/bids.aspx> to see whether any addenda were issued for the ITB.
9. _____ **Review and read the ITB document again** to make sure that you have addressed all requirements.
10. _____ **Submit your response on time.** Note all the dates and times listed and be sure to submit all required items on time. Late and incomplete responses are never accepted.

This checklist is provided for assistance only and should not be submitted with Company's Response.

1.0 **INTRODUCTION**

The City of Norcross is seeking sealed competitive bids from qualified contractors for the installation of approximately 42 gravel surface pervious parking spaces fronting Britt Avenue below the Community Center, located at 10 College St. Norcross, GA 30071. The vacant property has no street address but is identified as Gwinnett County Tax Parcel 6243 001.

1.1 **PROJECT SCOPE**

Construct a temporary overflow parking lot for the City of Norcross. The parking lot will consist of a paved apron and entrance. The majority of the parking lot will be constructed of a proprietary, permeable gravel system. No new structures or buildings are proposed.

The proposed site work includes:

- clearing and grading
- temporary and permanent erosion control measures
- concrete and gravel paving
- minor storm conveyance

A stream exists on the project site. There are no proposed impacts to the stream Or buffers (city or state buffers). Approved variance (24-6935) to provide relief from parking lot landscape requirements and to permit gravel paving.

Location

Britt Avenue NW (Gwinnett County Tax Parcel 6243 001)
Norcross, Georgia 30071

1.2 **GENERAL INFORMATION**

1. It is extremely important that project schedules ARE met. Only those firms with the necessary resources and a commitment to complete all work on schedule should submit a bid.
2. The City of Norcross will expect to liaise with a single project manager representing the prime contractor (and the sub-contractors).
3. The City will select the most responsive, lowest bidder whose bid best represents the best interest of the City.
4. The City of Norcross reserves the right to cancel this solicitation at any time when it is determined to be in the best interest of the City.
5. The City of Norcross also reserves the right to increase, reduce, add or delete any item in this solicitation as deemed necessary.
6. The City of Norcross reserves the right to approve sub-contractors.

7. Any selection made because of this notice will be based strictly on qualifications and adherence to the submission guidelines, without regard to race, color, religion, sex, or national origin.
8. It is the responsibility of all firms interested in submitting a bid for this advertisement to routinely check the posting on the website for any revisions to this solicitation and addenda issued.
9. It is the responsibility of all firms to read this advertisement in detail and provide all requested information including forms and appendices.
10. Incomplete submittals will be considered non-responsive, thus disqualified. Late submittals will not be accepted.

1.3 BID SUBMISSION GUIDELINES

Bidding requirements will consist of the following:

1. Statement of Qualifications and Equipment
2. Bid Form
3. References
4. Acknowledgement of Addenda
5. Bid Bond (if bid amount is over \$30,000)
6. Certificate of Liability Insurance
7. E-Verify Contractor & SAVE Affidavits

1.4 SCHEDULE OF EVENTS

See **Appendix A** for the detailed Schedule of Events.

1.5 COMMUNICATIONS WITH STAFF

All questions about this ITB should include the company name and the referenced ITB section in the following format:

Company Name
1. Question
Citation of relevant section of the ITB

2.0 REQUIREMENT

Bid must include labor and all materials as specified; no substitutions for materials are allowed unless approved by City of Norcross.

BIDDERS ARE ADVISED TO THOROUGHLY UNDERSTAND THE GENERAL CONDITIONS AND SPECIAL PROVISIONS, PRIOR TO SUBMITTING THEIR BIDS.

2.1 GENERAL CONDITIONS

2.1.1 Qualifications

2.1.1.1 Bids will be considered only from experienced and well-equipped Contractor(s) engaged in work of this type and magnitude. Bidders must provide their own materials and tools for this contract.

2.1.1.2 Bidders may be required to submit evidence setting forth qualifications which entitle their company for consideration as a responsible Vendor. A list of work of similar character successfully completed within the last five years may be required, which lists the location, size, and scope for use on this work. Before accepting any bid, the City may require evidence of the Vendor's financial ability to successfully perform the work to be accomplished under the contract.

2.2 GUARANTEE TO ACCOMPANY BID

2.2.1 If the bid amount is greater than \$30,000.00, then bids must be accompanied by an acceptable bid bond in an amount not less than five percent (5%) of the bid amount per section. Failure to submit a bid bond will be a cause for rejection.

2.3 JOINT VENTURES

2.3.1 Joint Ventures between two contractors will not be allowed. The General Contractor shall be required to perform all aspects of this projects and will not be allowed to sub-contract these items.

2.4 AUTHORITY TO SIGN

2.4.1 Bidder must ensure that the legal proper name of their firm and/or corporation is printed OR typed as appropriate on all documents.

2.5 RIGHTS RESERVED

2.5.1 The City of Norcross reserves the right to reject any or all bids, to waive informalities or to re-advertise. It is understood that all bids are made subject to this agreement, and that the City of Norcross reserves the right to decide which bids it deems the most qualified and lowest cost. In arriving at this decision, full consideration will be given to the experience and qualifications of the Bidder, their financial responsibility, costs and bid amount, work of this type successfully completed and past performance with the City of Norcross.

2.5.2 Bidders are advised to examine all corresponding documents carefully and to make examinations of the site(s) of the proposed work, as necessary, to familiarize themselves with location conditions, which may affect the

proposed work. Bidders are also advised to inform themselves fully regarding conditions under which the work will be performed. The City will not be responsible for the Bidder's errors or misjudgment, nor for any information on location conditions or general laws and regulations.

- 2.5.3** Any unauthorized additions, conditions, limitations, or provisions attached to the Bid shall render it informal and may be cause for rejection.

2.6 AWARD OF CONTRACT

- 2.6.1** Contract will be made to the **most responsive and responsible lowest bidder**. Contracts will not be automatically awarded to the lowest bidder. The City will review all bids for responsiveness and responsibility. Bidders must comply with submission guidelines, show evidence of experience and qualifications, and provide proof that they are qualified to carry out the scope of work.

The contract will be awarded to the most qualified vendor whose bid will cost the least and prove to be the most advantageous to the City, experience, technical considerations, cost, and other factors considered. The City is to make the determination.

The City of Norcross reserves the right to reject any or all bids, to waive technicalities, and to make an award deemed in its best interest.

The City reserves the option to negotiate terms, conditions, and pricing with the most responsive, responsible and lowest bidder at its discretion.

2.6.1.1 The bid evaluation will be based on the following criteria:

- Bid price
- Compliance with submission guidelines and specifications (including any required forms and documents)
- Ability to perform scope of work and meet deadlines
- References

Please provide accurate information and inform your references that the City of Norcross will follow up to perform reference checks. It will affect your evaluation if we are not able to contact your references, or they do not respond in time. References will be contacted within a week of the submission deadline.

The City of Norcross will not serve as a reference, in the event that your Company worked with the City of Norcross previously.

Alternatively, Bidders are welcome to provide three (3) recent reference letters where they provided the same or similar services. Reference letters must be on official letterhead and signed by the point of contact of the agency where the service was performed.

- 2.6.2** Prior to award of the Contract, the successful Bidder will be required to submit a schedule to the City, demonstrating the Bidder's ability to commence and proceed in a timely manner. Due to time constraints on this contract, it is mandatory that the work be performed simultaneously and immediately. A bidder's failure to demonstrate the ability to proceed as required may result in contract cancellation, as deemed in the City's best interest.
- 2.6.3** Failure to demonstrate the ability for simultaneous contract execution and progression will result in, at the City's discretion, contract cancellation, re-advertising of any and/or all these contracts, or awarding any or all of the contract to the next **most responsive and responsible lowest bidder**.
- 2.6.4** If the contract amount is greater than \$30,000.00, a Contract Performance Bond and a Payment Bond, each equal to 100% of the Contract amount per section, must be provided by the successful bidder by a surety company qualified to do business in the State of Georgia with an AM Best rating of B+ or higher and satisfactory to the City of Norcross prior to execution of contract. Bonds given shall meet the requirements as listed in this ITB.

2.7 PRODUCTION REQUIREMENTS

- 2.7.1** The successful bidder will be required to commence work within ten (10) calendar days from the receipt of the Notice to Proceed and must carry on with utmost diligence to complete the work according to specifications in the ITB within 120 days from the Notice to Proceed.

2.8 PRICES AND INVOICING PROGRESS PAYMENTS AND RETAINAGE

- 2.8.1** Payment shall be provided based on the cost schedule provided in bidder's response. Bidder shall submit an invoice with NET 30-day payment terms for services performed for the City of Norcross under the terms of the executed contract. The invoice shall be directed to **Donald Maxwell, Stormwater & Roads Superintendent at 345 Lively Ave, Norcross, GA 30071**. The invoice shall contain a complete itemization of services. The total amount due, invoice number, invoice date, the designated project number, if applicable, and the City of Norcross' Purchase Order Number. After work has commenced, progress payments shall be made monthly, based on the value of work completed as provided in the contract documents.
- 2.8.2** The City shall retain a maximum of 10% of each progress payment; provided, however, when 50% of the contract value including change orders and other

additions to the contract value provided for by the contract documents is due and the manner of completion of the contract work and its progress are reasonably satisfactory to the City, the City shall withhold no more retainage.

2.9 LOCATION AND SITE(S)

- 2.9.1** The site(s) of the proposed work is within City limits of the City of Norcross, Georgia.
- 2.9.2** The Contractor shall accept the site(s) in its present condition and carry out all work in accordance with the requirements of the specifications as indicated in the appendices or as directed by the Department of Public Works, Utilities and Parks.
- 2.9.3** The Contractor, before submitting a bid is required to visit the site(s) and acquaint themselves with the actual conditions and the location of any and/or all obstructions that may exist on the site(s).
- 2.9.4** The Contractor is responsible for the location of, above and below ground utilities and structures, which may be affected by the work.

2.10 COMPLIANCE WITH OSHA STANDARDS AND REGULATIONS

- 2.10.1** The work connected with this Contract shall be performed in accordance with all applicable OSHA regulations and standards including any additions or revisions thereto, until the job is completed and accepted by the City of Norcross.

2.11 MATERIALS

- 2.11.1** Unless otherwise specified in the Contract, the bidder shall provide and assume full responsibility for all services, materials, equipment, labor, and all other facilities and incidentals necessary for the completion of this project.
- 2.11.2** All materials and equipment incorporated into the work shall be of good quality, except as otherwise provided in the Contract. All special warranties and guarantees required shall expressly run to the benefit of the City.

2.12 INSPECTION

The City of Norcross does not commit to having a full-time inspection or testing of work while in progress or at sources of materials furnished. Any lack of inspection and/or testing will in no way relieve the Contractor of his responsibility to provide quality workmanship in accordance with the specifications. Any test ordered under

the supervision of the City that fails to meet standards or any retesting that is required will be at the Contractor's expense.

2.13 NON-COLLUSION

2.13.1 Bidder(s), by submitting a bid, certify that the accompanying bid is not the result of, or affected, by any unlawful act of collusion with any other person or company engaged in the same line of business or commerce, or any other fraudulent act punishable under Georgia or United States law.

2.14 CONTRACT REQUIREMENTS

2.14.1 The successful bidder is required to do the following within ten (10) days of Notice:

2.14.1.1.1 Return to the Department of Public Works, Utilities & Parks contract documents executed by the authorized representative attested by the corporate secretary treasurer.

2.14.1.1.2 Provide Insurance Certificates as specified in the ITB Checklist.

2.14.1.1.3 Provide bonding as required by the ITB documents.

2.14.2 Failure to execute the contract, bonds, or furnish satisfactory proof of carriage of the insurance required within ten days after the date of Notice of Award of the Contract may be just cause for the annulment of the award and for the forfeiture of the bid guaranty of City of Norcross, not as a penalty, but as liquidation of damages sustained. At the discretion of the City, the award may then be made to the next most qualified bidder, or the work may be re-advertised. The Contract and Contract Bonds shall be executed in duplicate to the City of Norcross. «AddressBlock»

2.15 MISCELLANEOUS PROVISIONS

(May not be applicable to this ITB)

2.15.1 Permits

All permits and licenses necessary for the work shall be secured and paid for by the Contractor. If any permit, license or certificate expires or is revoked, terminated, or suspended as a result of any action on the part of the Contractor, the Contractor shall not be entitled to additional compensation or time.

2.15.2 Work Hours

8:00am to 10:00pm Monday through Friday and 10:00am to 8:00pm on Saturdays and city holidays. Construction activity may occur on Sundays and outside of mentioned hours specified on other days of the week when the contractor applies for, and is granted, a variance by the Director of Community Development and Planning.

2.15.3 Detour/Closures

All road closures and detours shall be approved by the Norcross Public Works Department.

2.15.4 Residential Refuse

The Contractor is required to contact the Public Works Department at 678-421-2069, to obtain sanitation schedules in an attempt to reduce inconveniences to the citizens of Norcross.

2.15.5 Project Briefing

All bidders are required to schedule an appointment with the Public Works Superintendent in order to inspect each work site. The Superintendent can be reached at donald.maxwell@norcrossga.net or 678-421-2069.

2.15.6 Disposal of Refuse

The Contractor shall be solely responsible for disposing of materials and shall consider, before bidding, the compliance with the above stated ordinances and regulations. Disposal of debris must be done in a lawful manner, in accordance with all applicable federal, state and/or local laws, statutes, rules, ordinances, and/or regulations. All trash and debris shall be collected and removed from the site(s) on a daily basis. The Contractor will not be permitted to burn any of the materials on site or within the boundary limits of Norcross, Georgia.

APPENDIX A
ITB PW 25-03
SCHEDULE OF EVENTS

Event:	Date:
Release of ITB	October 9, 2024, 10:00 a.m.
Pre-bid Meeting (<u>Optional but highly recommended</u>)	October 25, 2024, 10:00 a.m.
Deadline for Written Questions	October 25, 2024, 5:00 p.m.
Bids Due	November 8, 2024, 11:00 a.m.
Public Bid Opening and Reading	November 8, 2024, 11:05 a.m.
Bid Review/Evaluation	On/About November 2024
Contract Award	On/About December 2024

APPENDIX B
ITB PW 25-03
SITE PLANS

Attachment: City of Norcross Packet ITB PW 25-03 (24-7175 : Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03)

BARCLIFT CONSULTING
Civil Engineering | Site Planning

DOWNTOWN
DEVELOPMENT AUTHORITY
CITY OF NORCROSS

BRITT AVENUE OVERFLOW PARKING
BRITT AVENUE NORTHWEST | CITY OF NORCROSS, GEORGIA 30071
PIN 6243 001 & 6243 001A | GWINNETT COUNTY

PIN 6243 001 & 6243 001A | GWINNETT COUNTY

COVER SHEET

BRITT AVENUE OVERFLOW PARKING

PIN 6243 001 & 6243 001A | GWINNETT COUNTY

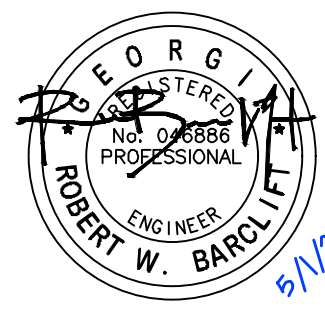
Sheet Title

Project

Prepared For

404.771.0920
robert@barcliftconsulting.com
barcliftconsulting.com

et Pg. 85

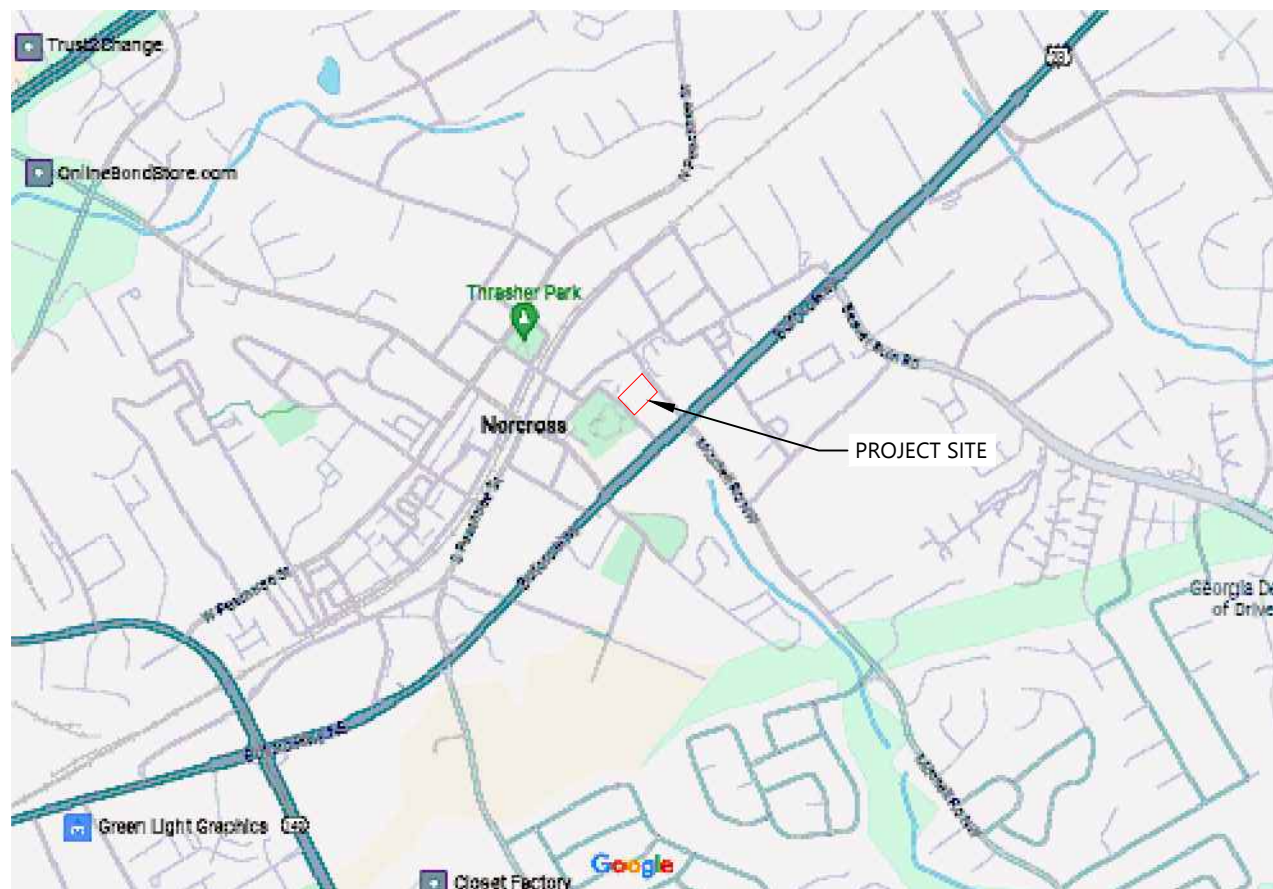


GSWCC LEVEL II #: 89269

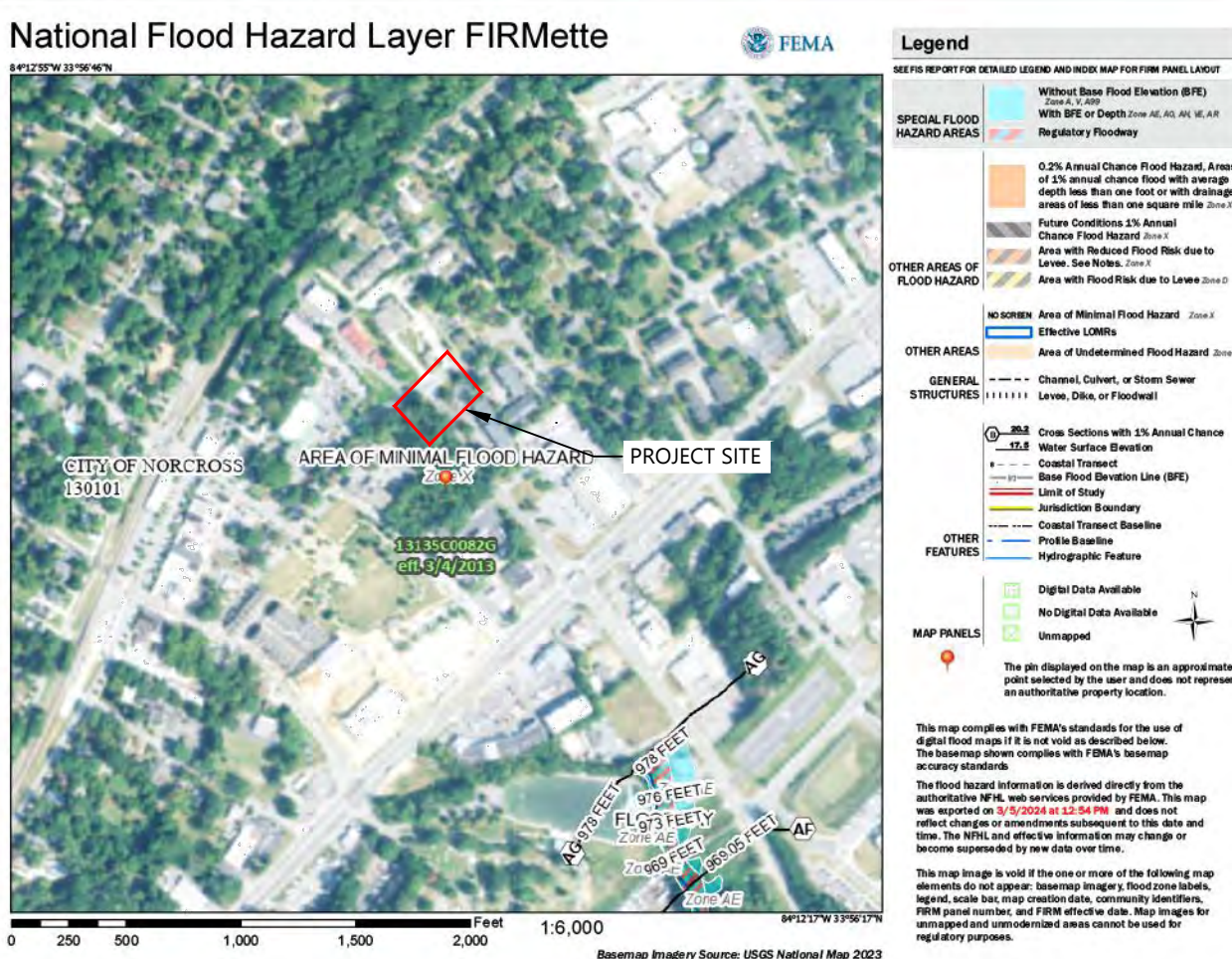
May 1, 2024

C0.0

Sheet Number



LOCATION MAP
NOT TO SCALE



FEMA FIRM PANEL
THE PROJECT SITE DOES NOT LIE WITHIN A FLOOD HAZARD
AREA PER FIRM PANEL 1315C00826 DATED 3/4/2013.



Robert W Barclift
Level II Certified Design Professional

CERTIFICATION NUMBER 0000089269
ISSUED: 10/09/2022 **EXPIRES:** 10/09/2025



SHEET INDEX

NUMBER	TITLE
C0.0	COVER SHEET
C0.1	VARIANCE APPROVAL LETTER
2 OF 2	SURVEY (BY OTHERS)
C1.0	DEMO PLAN
C2.0	SITE PLAN
C3.0	GRADING PLAN
C3.1	PIPE INFORMATION
C4.0A	EROSION CONTROL NOTES
C4.0B	EROSION CONTROL NOTES
C4.0C	EROSION CONTROL NOTES
C4.0D	EROSION CONTROL NOTES
C4.1	EROSION CONTROL PLAN - PH1
C4.2	EROSION CONTROL PLAN - PH2
C4.3	EROSION CONTROL PLAN - PH3
C4.4	EROSION CONTROL DETAILS
C4.5	EROSION CONTROL DETAILS
C5.0	CONSTRUCTION DETAILS
L1	TREE PLAN
L2	PLANTING DETAILS
T1	TREE SURVEY (BY OTHERS)

REVISION SUMMARY

REVISION A (5/1/24) - C0.0, C0.1 (NEW), C2.0 C4.0A - C4.0C, L1, L2 (NEW)
 ADDRESS CITY COMMENTS:
 PROVIDE 24 HOUR CONTACT INFO
 PROVIDE VARIANCE INFO
 PROVIDE STREETSCAPE PLANTINGS AND ASSOCIATED DETAILS

CONTRACTOR
TBD

SURVEY
GASKINS LECRAW (FKA LECRAW)
678.546.8100

PRIMARY PERMITTEE
CITY OF NORCROSS DDA
JIM EYRE
JAMESAEYRE@GMAIL.COM
770.856.3211

24 HOUR CONTACT
JIM EYRE
JAMESAEYRE@GMAIL.COM
770.856.3211

All requirements of the City of Norcross Development Regulations relative to the preparation and submission of a development permit application having been fulfilled, and said application and all supporting plans and data having been reviewed and approved by all affected City Departments as required under their respective and applicable regulations, approval is hereby granted of this Site Plan and all other development plans associated with this project subject to all further provisions of said Development and other City Regulations.

Director
Department of Community Development

THIS CERTIFICATE EXPIRES TWELVE MONTHS FROM THE DATE OF APPROVAL UNLESS A DEVELOPMENT PERMIT IS ISSUED.

Date _____

PROJECT SUMMARY

THESE PLANS HAVE BEEN PREPARED TO PERMIT AND CONSTRUCT A TEMPORARY OVERFLOW PARKING LOT FOR THE CITY OF NORCROSS. THE PARKING LOT IS CONSIDERED TEMPORARY AS THE DDA ANTICIPATES REDEVELOPMENT TO OCCUR WITHIN THE NEXT $\pm$ 5 YEARS. THE PARKING LOT WILL CONSIST OF A PAVED APRON AND ENTRANCE. THE MAJORITY OF THE PARKING LOT WILL BE CONSTRUCTED OF A PROPRIETARY, PERMEABLE GRAVEL SYSTEM. NO STRUCTURES/BUILDINGS ARE PROPOSED.

THE PROPOSED SITE WORK INCLUDES CLEARING AND GRADING, TEMPORARY AND PERMANENT EROSION CONTROL MEASURES, PAVING, AND MINOR STORM CONVEYANCE. A STREAM EXISTS ON THE PROJECT SITE. THERE ARE NO PROPOSED IMPACTS TO THE STREAM OR BUFFERS (CITY OR STATE BUFFERS). APPROVED VARIANCE (24-6935) TO PROVIDE RELIEF FROM PARKING LOT LANDSCAPE REQUIREMENTS AND TO PERMIT GRAVEL PAVING.

NOTES

1. THE SCALE OF THESE DRAWINGS MAY HAVE BEEN DISTORTED DURING THE REPRODUCTION PROCESS. THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BARCLIFT CONSULTING, LLC SHALL BE WITHOUT LIABILITY TO BARCLIFT CONSULTING, LLC.
2. IF ANY CONFLICTS, DISCREPANCIES, OR ANY OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY AND SHALL NOT COMMENCE FURTHER OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.
3. THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT INDICATE THAT ALL OTHER LEGAL AND PERMITTING REQUIREMENTS FOR THIS DEVELOPMENT HAVE BEEN MET.THE ONUS IS ON THE OWNER/DEVELOPER/BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

CITY OF NORCROSS GENERAL NOTES

1. A SEPARATE BUILDING PERMIT SHALL BE OBTAINED FOR ALL RETAINING WALLS GREATER THAN 4' IN HEIGHT AND ALL RETAINING WALLS USED AS A DAM PRIOR TO THE CONSTRUCTION OF THE WALLS.
 2. NO SIGNAGE IS PROPOSED AT THIS TIME. APPROPRIATE SIGN PERMITS ARE TO BE OBTAINED AT A LATER DATE.
 3. NO DRIVE-UP WINDOWS ARE TO BE INSTALLED
 4. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHTS IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC
 5. SIDEWALKS SHALL BE LOCATED 2 FEET FROM THE BACK OF CURB* AND SHALL BE CONSTRUCTED OF CONCRETE A MINIMUM WIDTH MATCHING EXISTING SIDEWALK AND 4"THICK. SIDEWALKS SHALL BE CONSTRUCTED WITH A CROSS SLOPE OF .25 IN./FT. CONCRETE SHALL BE CLASS "B" AND HAVE A STRENGTH OF 2200 PSI AT 28 DAYS." (D.R. 900-90.2.E, OR 900-90.3.A-F)
- * 2' FROM BACK OF CURB EXCEPTION: IN CONSERVATION SUBDIVISIONS AND DEVELOPMENTS IN WHICH STREET TREES ARE REQUIRED SIDEWALKS SHALL BE LOCATED AT LEAST 6' FROM BACK OF CURB (B.O.C)
6. PARKING LOTS SHALL BE MAINTAINED IN GOOD CONDITION, FREE OF POTHOLE, WEEDS, DUST, TRASH, AND DEBRIS." (PER Z.R. SEC. 115-151-3)

CITY OF NORCROSS ENGINEERING NOTES

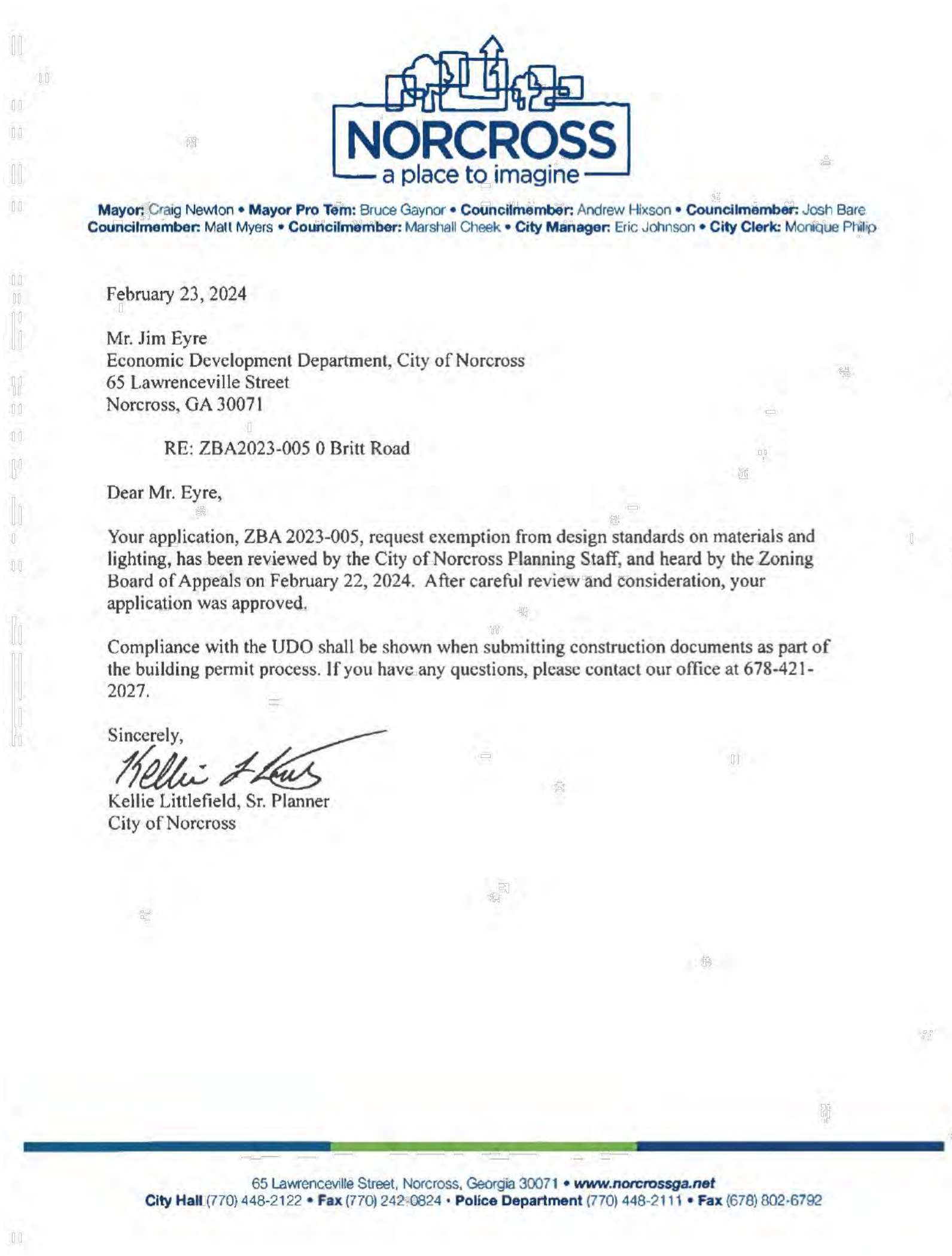
1. NOTIFY THE FOLLOWING AGENCIES 24 HOURS IN ADVANCE BEFORE BEGINNING EACH PHASE OF CONSTRUCTION:
 - A. CITY OF NORCROSS INSPECTOR - STORM WATER, EROSION CONTROL, ETC. (678-421-2032)
 - B. ~~GWINNETT COUNTY WATER POLLUTION CONTROL - SEWER LINES (678-518-6150)~~
 - C. ~~GWINNETT COUNTY WATER - WATER LINES (678-518-6150)~~
 - D. ~~GWINNETT COUNTY FIRE- FIRE CODES (678-518-6129)~~
 - E. ~~GWINNETT COUNTY ENVIRONMENTAL HEALTH - SEPTIC TANKS (770-963-5132)~~
 - F. ~~GEORGIA D.O.T. - STATE HIGHWAY IMPROVEMENTS (770-339-2310)~~
- *STRUCK THROUGH IF NOT APPLICABLE TO THIS PROJECT.
2. CITY OF NORCROSS ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STEET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED PLAN. THE CITY OF NORCROSS DOES NOT ASSUME THE RESPONSIBILITY FOR THE MAINTENANCE OF PIPES IN DRAINAGE EASEMENTS BEYOND THE CITY RIGHT-OF-WAY.
3. STRUCTURES ARE NOT ALLOWED IN DRAINAGE EASEMENTS.
4. MAXIMUM CUT OR FILL SLOPES IS 2H:1V
5. DETENTION POND, DETENTION OUTLET STRUCTURES AND TEMPORARY SEDIMENT POND FEATURES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.

From: notifications@eplansolution.com <notifications@eplansolution.com>
Sent: Monday, May 13, 2024 7:42 AM
Subject: [norcrossga:LDP2024-004] User Meza, Sabrina has posted a comment

Britt Ave Overflow Parking [LDP2024-004], User Meza, Sabrina has posted a comment:

Robert, plans have been approved the last thing we need for issuance of permit is GC paperwork or the Business License to the company who will be completing the work.

Project URL: <https://norcrossga.eps.tech/norcrossga/projects/view.html?projectId=LDP2024-004>



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Prepared By

VARIANCE APPROVAL LETTER

BRITT AVENUE OVERFLOW PARKING
BRITT AVENUE NORTHWEST | CITY OF NORCROSS, GEORGIA 30071
PIN 6243 001 & 6243 001A | GWINNETT COUNTY

Sheet Title

DOWNTOWN
DEVELOPMENT AUTHORITY
CITY OF NORCROSS

Prepared For

Project

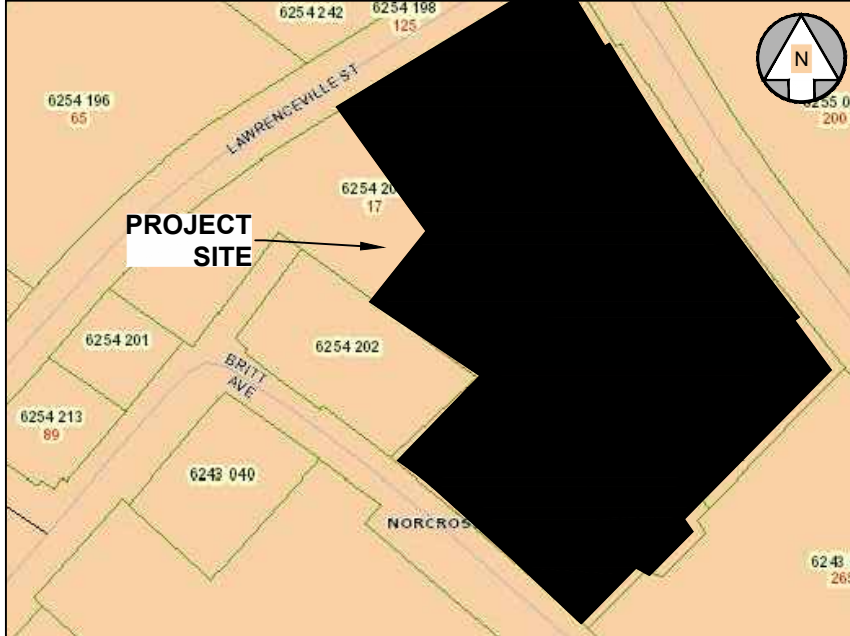
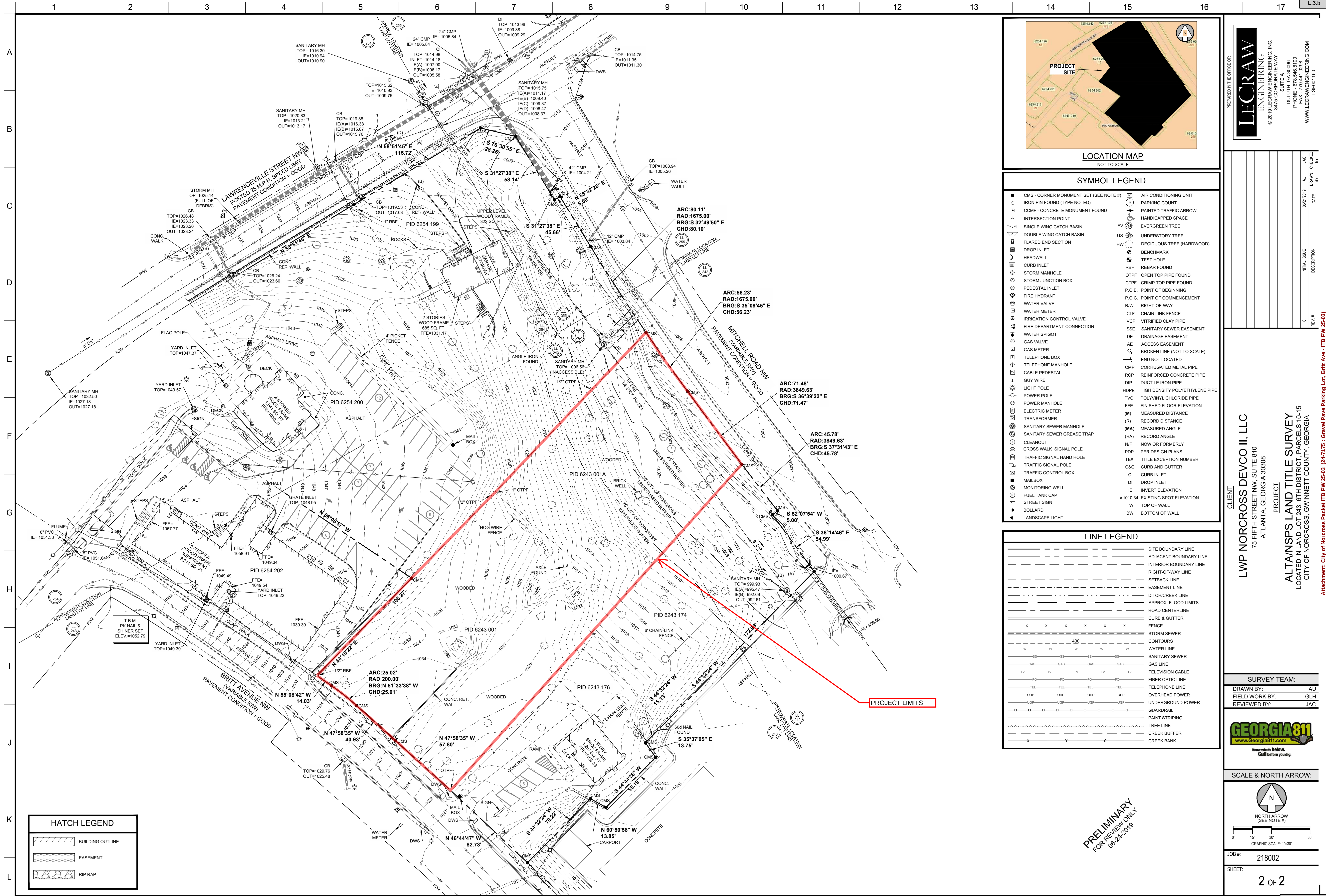
REVISION
A 5/1/24

GEORGIA
REGISTERED
PROFESSIONAL
ENGINEER
ROBERT W. BARCLIFT
5/1/24

GSWCC LEVEL II #: 89269
May 1, 2024

C0.1

Sheet Number



LOCATION MAP
NOT TO SCALE

SYMBOL LEGEND

● CMS - CORNER MONUMENT SET (SEE NOTE #)	⊗ AIR CONDITIONING UNIT
○ IRON PIN FOUND (TYPE NOTED)	⊗ PARKING COUNT
△ CCMF - CONCRETE MONUMENT FOUND	➔ PAINTED TRAFFIC ARROW
⊙ INTERSECTION POINT	⊙ HANDICAPPED SPACE
▽ SINGLE WING CATCH BASIN	EV ⊗ EVERGREEN TREE
▽ DOUBLE WING CATCH BASIN	US ⊗ UNDERSTORY TREE
▽ FLARED END SECTION	HW ⊗ DECIDUOUS TREE (HARDWOOD)
▽ DROP INLET	⊕ BENCHMARK
▽ HEADWALL	⊕ TEST HOLE
▽ CURB INLET	RBF REBAR FOUND
▽ STORM MANHOLE	OTPF OPEN TOP PIPE FOUND
▽ STORM JUNCTION BOX	CTPF CRIMP TOP PIPE FOUND
▽ PEDESTAL INLET	P.O.B. POINT OF BEGINNING
▽ FIRE HYDRANT	P.O.C. POINT OF COMMENCEMENT
▽ WATER VALVE	R/W RIGHT-OF-WAY
▽ WATER METER	CLF CHAIN LINK FENCE
▽ IRRIGATION CONTROL VALVE	VCP VITRIFIED CLAY PIPE
▽ FIRE DEPARTMENT CONNECTION	SSE SANITARY SEWER EASEMENT
▽ WATER SPIGOT	DE DRAINAGE EASEMENT
▽ GAS VALVE	AE ACCESS EASEMENT
▽ GAS METER	⊗ BROKEN LINE (NOT TO SCALE)
▽ TELEPHONE BOX	⊗ END NOT LOCATED
▽ TELEPHONE MANHOLE	CMP CORRUGATED METAL PIPE
▽ CABLE PEDESTAL	RCP REINFORCED CONCRETE PIPE
▽ GUY WIRE	DIP DUCTILE IRON PIPE
▽ LIGHT POLE	HDPE HIGH DENSITY POLYETHYLENE PIPE
▽ POWER POLE	PVC POLYVINYL CHLORIDE PIPE
▽ POWER MANHOLE	FFE FINISHED FLOOR ELEVATION
▽ ELECTRIC METER	(M) MEASURED DISTANCE
▽ TRANSFORMER	(R) RECORD DISTANCE
▽ SANITARY SEWER MANHOLE	(MA) MEASURED ANGLE
▽ SANITARY SEWER GREASE TRAP	(RA) RECORD ANGLE
▽ CLEANOUT	N/F NOW OR FORMERLY
▽ CROSS WALK	PDF PER DESIGN PLANS
▽ SIGNAL POLE	TER TITLE EXCEPTION NUMBER
▽ TRAFFIC SIGNAL HAND HOLE	C&G CURB AND GUTTER
▽ TRAFFIC SIGNAL POLE	CI CURB INLET
▽ TRAFFIC CONTROL BOX	DI DROP INLET
▽ MAILBOX	IE INVERT ELEVATION
▽ MONITORING WELL	×1010.34 EXISTING SPOT ELEVATION
▽ FUEL TANK CAP	TW TOP OF WALL
▽ STREET SIGN	BW BOTTOM OF WALL
▽ BOLLARD	
▽ LANDSCAPE LIGHT	

LINE LEGEND

---	SITE BOUNDARY LINE
---	ADJACENT BOUNDARY LINE
---	INTERIOR BOUNDARY LINE
---	RIGHT-OF-WAY LINE
---	SETBACK LINE
---	EASEMENT LINE
---	DITCH/CREEK LINE
---	APPROX. FLOOD LIMITS
---	ROAD CENTERLINE
---	CURB & GUTTER
---	FENCE
---	STORM SEWER
---	CONTOURS
---	WATER LINE
---	SANITARY SEWER
---	GAS LINE
---	TELEVISION CABLE
---	FIBER OPTIC LINE
---	TELEPHONE LINE
---	OVERHEAD POWER
---	UNDERGROUND POWER
---	GUARDRAIL
---	PAINT STRIPING
---	TREE LINE
---	CREEK BUFFER
---	CREEK BANK

LECRAW ENGINEERING
© 2019 LECRAW ENGINEERING, INC.
3475 CORPORATE WAY
SUITE A
DULUTH, GA 30096
PHONE - 678.548.8100
FAX - 770.441.0288
WWW.LECRAWENGINEERING.COM
LSF001160

PREPARED BY	DRAWN BY	CHECKED BY
JAC	0	JAC
DATE	REVISION	DESCRIPTION
05/20/2019	0	INITIAL ISSUE

CLIENT
LWP NORCROSS DEVCO II, LLC
75 FIFTH STREET NW, SUITE 810
ATLANTA, GEORGIA 30308

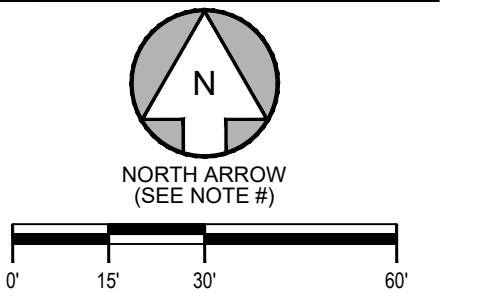
PROJECT
ALTANSPS LAND TITLE SURVEY
LOCATED IN LAND LOT 243, 6TH DISTRICT, PARCELS 10-15
CITY OF NORCROSS, GWINNETT COUNTY, GEORGIA

SURVEY TEAM:

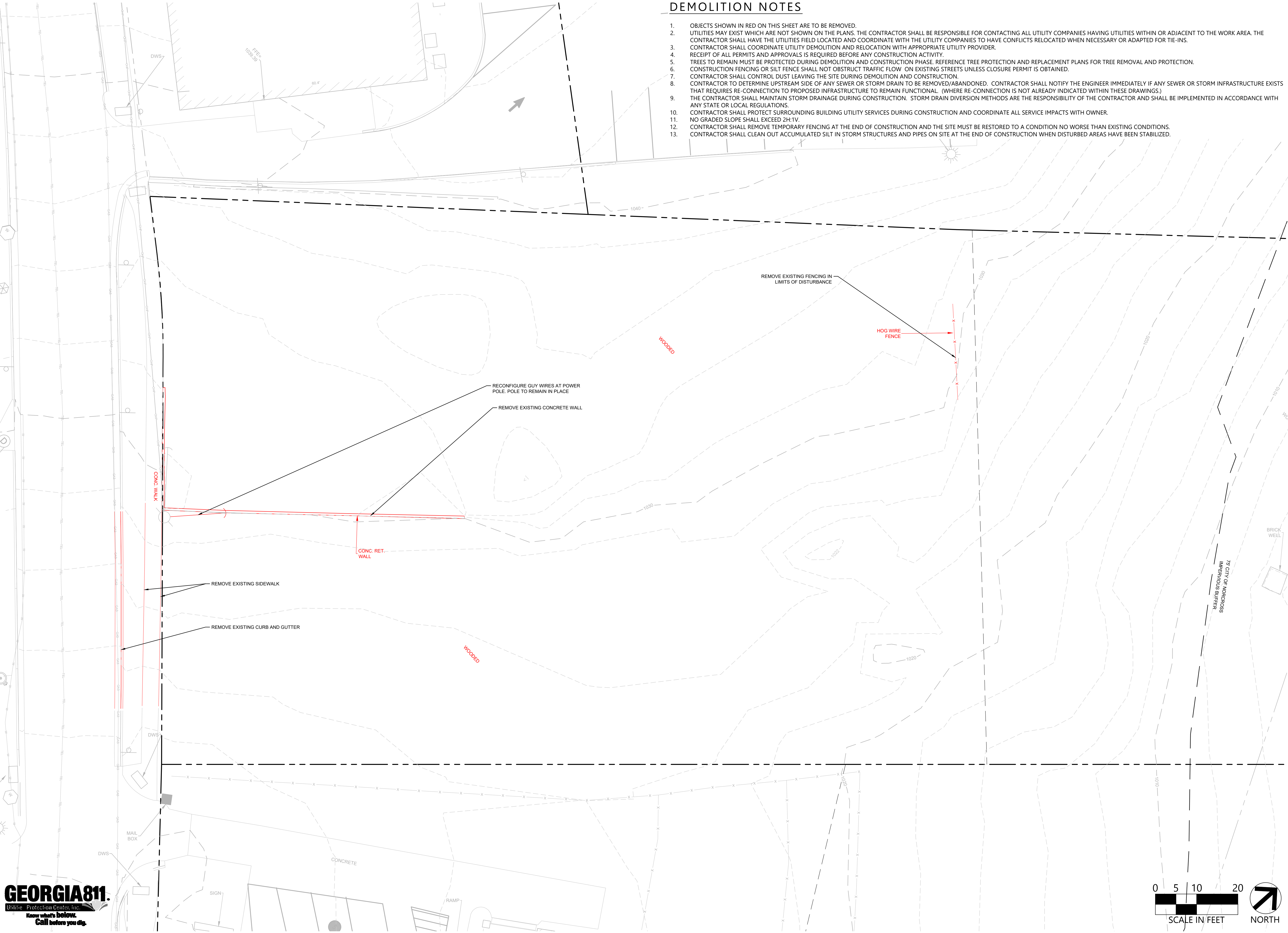
DRAWN BY:	AU
FIELD WORK BY:	GLH
REVIEWED BY:	JAC

GEORGIA811
www.Georgia811.com
Know what's below.
Call before you dig.

SCALE & NORTH ARROW:



JOB #:	218002
SHEET:	2 OF 2



DEMOLITION NOTES

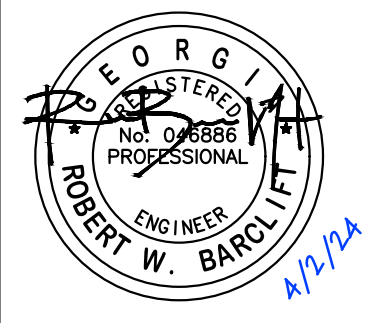
1. OBJECTS SHOWN IN RED ON THIS SHEET ARE TO BE REMOVED.
2. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
3. CONTRACTOR SHALL COORDINATE UTILITY DEMOLITION AND RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
4. RECEIPT OF ALL PERMITS AND APPROVALS IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITY.
5. TREES TO REMAIN MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION PHASE. REFERENCE TREE PROTECTION AND REPLACEMENT PLANS FOR TREE REMOVAL AND PROTECTION.
6. CONSTRUCTION FENCING OR SILT FENCE SHALL NOT OBSTRUCT TRAFFIC FLOW ON EXISTING STREETS UNLESS CLOSURE PERMIT IS OBTAINED.
7. CONTRACTOR SHALL CONTROL DUST LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.
8. CONTRACTOR TO DETERMINE UPSTREAM SIDE OF ANY SEWER OR STORM DRAIN TO BE REMOVED/ABANDONED. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY SEWER OR STORM INFRASTRUCTURE EXISTS THAT REQUIRES RE-CONNECTION TO PROPOSED INFRASTRUCTURE TO REMAIN FUNCTIONAL. (WHERE RE-CONNECTION IS NOT ALREADY INDICATED WITHIN THESE DRAWINGS.)
9. THE CONTRACTOR SHALL MAINTAIN STORM DRAINAGE DURING CONSTRUCTION. STORM DRAIN DIVERSION METHODS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IMPLEMENTED IN ACCORDANCE WITH ANY STATE OR LOCAL REGULATIONS.
10. CONTRACTOR SHALL PROTECT SURROUNDING BUILDING UTILITY SERVICES DURING CONSTRUCTION AND COORDINATE ALL SERVICE IMPACTS WITH OWNER.
11. NO GRADED SLOPE SHALL EXCEED 2H:1V.
12. CONTRACTOR SHALL REMOVE TEMPORARY FENCING AT THE END OF CONSTRUCTION AND THE SITE MUST BE RESTORED TO A CONDITION NO WORSE THAN EXISTING CONDITIONS.
13. CONTRACTOR SHALL CLEAN OUT ACCUMULATED SILT IN STORM STRUCTURES AND PIPES ON SITE AT THE END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.

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DOWNTOWN
DEVELOPMENT AUTHORITY
CITY OF NORCROSS

DEMO PLAN
BRITT AVENUE OVERFLOW PARKING
BRITT AVENUE NORTHWEST | CITY OF NORCROSS, GEORGIA 30071
PIN 6243 001 & 6243 001A | GWINNETT COUNTY

REVISION



GSWCC LEVEL II #: 89269
April 2, 2024
C1.0
Sheet Number



1. DIMENSIONS ARE PROVIDED FROM FACE OF CURB

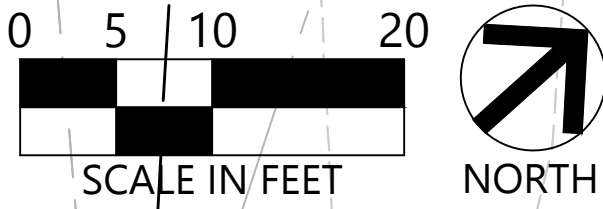
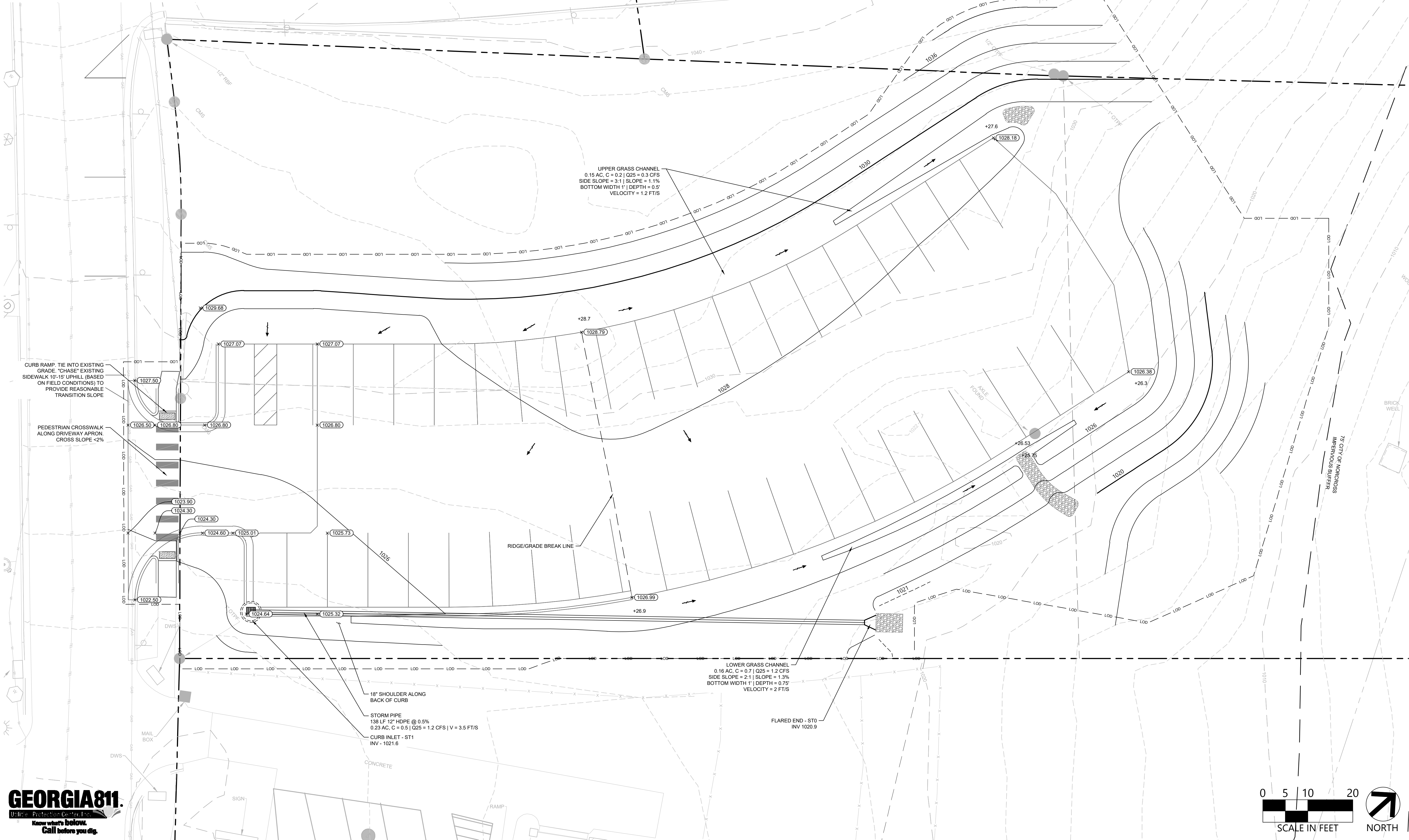
Packet Pg. 89

GRADING & DRAINAGE NOTES

1. SITE AREA 1.065 AC | DISTURBED AREA 0.7 AC
2. THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 1315C00826, DATED 3/4/2013.
3. TOPOGRAPHIC INFORMATION COMPILED FROM SURVEY PROVIDED BY LECRAW ENGINEERING DATED 6/24/2019.
4. UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
5. CONTRACTOR TO FIELD VERIFY EXISTING INVERT FOR STORM AND UTILITY CONNECTIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER OF DISCREPANCY PRIOR TO PROCEEDING.
6. NO GRADED SLOPE SHALL EXCEED 2H:1V
7. ALL WALLS GREATER THAN 30" IN HEIGHT SHALL BE DESIGNED AND PERMITTED BY AN ENGINEER LICENSED IN THE STATE OF GEORGIA. ALL WALLS GREATER THAN 30" IN HEIGHT SHALL HAVE FALL PROTECTION THROUGH FENCING OR HANDRAIL AT A MINIMUM OF 42" TALL.
8. WHERE EXISTING RUNOFF LEAVES THE SITE IN A SHEET FLOW CONDITION, RUNOFF SHALL LEAVE THE SITE IN A SHEET FLOW CONDITION AFTER DEVELOPMENT.
9. CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS AND CROSSWALKS WITH A 2.0% MAXIMUM CROSS SLOPE. GRADES WITHIN ADA HANDICAP PARKING AREAS NOT TO EXCEED A 2% MAXIMUM SLOPE IN ANY DIRECTION.

STORM LEGEND

DESCRIPTION	DETAIL
CURB INLET	GDOT 1019 TYPE "A"
FLARED END	ADS 1210NP OR EQUIV.



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Prepared By

DOWNTOWN
DEVELOPMENT AUTHORITY
CITY OF NORCROSS

Project

GRADING PLAN

BRITT AVENUE OVERFLOW PARKING
BRITT AVENUE NORTHWEST | CITY OF NORCROSS, GEORGIA 30071
PIN 6243 001 & 6243 001A | GWINNETT COUNTY

Sheet Title

REVISION

01/24

GEORGIA
REGISTERED
PROFESSIONAL
ENGINEER
ROBERT W. BARCLIFT
41/24

GSWCC LEVEL II #: 89269
April 1, 2024

C3.0

Sheet Number

Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Tuesday, Mar 26 2024

PIPE (ST0 - ST1)

(25-YR STORM CALCULATIONS)

Circular

Diameter (ft)

= 1.00

Highlighted

Depth (ft)

= 0.47

Q (cfs)

= 1.200

Area (sqft)

= 0.36

Velocity (ft/s)

= 3.29

Wetted Perim (ft)

= 1.51

Crit Depth, Yc (ft)

= 0.46

Top Width (ft)

= 1.00

EGL (ft)

= 0.64

Calculations

Compute by:

Known Q

Known Q (cfs)

= 1.20

Elev (ft)

102.00

Section

Depth (ft)

2.00

101.50

1.50

101.00

1.00

100.50

0.50

100.00

0.00

99.50

-0.50

0

1

2

3

Reach (ft)

Elev (ft)

101.00

Section

Depth (ft)

1.00

100.75

0.75

100.50

0.50

100.25

0.25

100.00

0.00

99.75

-0.25

0

.5

1

1.5

2

2.5

3

3.5

4

4.5

5

Reach (ft)

Elev (ft)

101.00

Section

Depth (ft)

1.00

100.75

0.75

100.50

0.50

100.25

0.25

100.00

0.00

99.75

-0.25

0

.5

1

1.5

2

2.5

3

3.5

4

4.5

5

Reach (ft)

Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Tuesday, Mar 26 2024

LOWER CHANNEL

(25-YR STORM CALCULATIONS)

Trapezoidal

Bottom Width (ft)

= 1.00

Highlighted

Depth (ft)

= 0.35

Q (cfs)

= 1.200

Area (sqft)

= 0.59

Velocity (ft/s)

= 2.02

Wetted Perim (ft)

= 2.57

Crit Depth, Yc (ft)

= 0.30

Top Width (ft)

= 2.40

EGL (ft)

= 0.41

Calculations

Compute by:

Known Q

Known Q (cfs)

= 1.20

Elev (ft)

101.00

Section

Depth (ft)

1.00

100.75

0.75

100.50

0.50

100.25

0.25

100.00

0.00

99.75

-0.25

0

.5

1

1.5

2

2.5

3

3.5

4

4.5

5

Reach (ft)

Elev (ft)

101.00

Section

Depth (ft)

1.00

100.75

0.75

100.50

0.50

100.25

0.25

100.00

0.00

99.75

-0.25

0

.5

1

1.5

2

2.5

3

3.5

4

4.5

5

Reach (ft)

Channel Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Tuesday, Mar 26 2024

UPPER CHANNEL

(25-YR STORM CALCULATIONS)

Trapezoidal

Bottom Width (ft)

= 1.00

Highlighted

Depth (ft)

= 0.17

Q (cfs)

= 0.300

Area (sqft)

= 0.26

Velocity (ft/s)

= 1.17

Wetted Perim (ft)

= 2.08

Crit Depth, Yc (ft)

= 0.13

Top Width (ft)

= 2.02

EGL (ft)

= 0.19

Calculations

Compute by:

Known Q

Known Q (cfs)

= 0.30

Elev (ft)

101.00

Section

Depth (ft)

1.00

100.75

0.75

100.50

0.50

100.25

0.25

100.00

0.00

99.75

-0.25

0

.5

1

1.5

2

2.5

3

3.5

4

4.5

5

Reach (ft)

PIPE MATERIAL NOTE

CITY REQUIREMENTS - HDPE PIPE SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-294 AND AASHTO MP7, TYPE S&D. CONNECTIONS SHALL USE A RUBBER GASKET, WHICH CONFORMS TO ASTM F-477. INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM RECOMMENDED PRACTICE D-2321, AASHTO SECTION 30, OR WITH SECTION 550 OF THE GEORGIA DOT STANDARD SPECIFICATIONS, CONSTRUCTION OF ROADS BRIDGES.

HIGH DENSITY POLYETHYLENE (HDPE) PIPE PER THE REQUIREMENTS OF AASHTO M252 TYPE 2 (SMOOTH INTERIOR, CORRUGATED EXTERIOR). ASTM F2648 PIPE IS NOT AN ACCEPTABLE SUBSTITUTION.

PIPE INFORMATION

BRITT AVENUE OVERFLOW PARKING

BRITT AVENUE NORTHWEST | CITY OF NORCROSS, GEORGIA 30071

PIN 6243 001 & 6243 001A | GWINNETT COUNTY

REVISION

GEORGIA

REGISTERED

PROFESSIONAL

ENGINEER

ROBERT W. BARCLIFT

4/1/24

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DEVELOPMENT AUTHORITY

CITY OF NORCROSS

Project

Attachment: City of Norcross Packet ITB PW 25-03 (24-7175 : Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03)

Packet Pg. 91

Part IV. EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN

12

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

May 1, 2024

DATE

DESIGN PROFESSIONAL'S SIGNATURE

13

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED; PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THAT DESIGN WATER OR THAT DESIGN WATERSHED DRAINAGE SYSTEM AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED; PROVIDES FOR THE DESIGN OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GA6 100001.

May 1, 2024

DATE

DESIGN PROFESSIONAL'S SIGNATURE

10/9/2025

EXPIRATION DATE

89268

LEVEL II CERTIFICATION NUMBER

THE PLAN SHALL INCLUDE, AS A MINIMUM, BEST MANAGEMENT PRACTICES, INCLUDING SOUND CONSERVATION AND ENGINEERING PRACTICES TO PREVENT AND MINIMIZE EROSION AND RESULTANT SEDIMENTATION, WHICH ARE CONSISTENT WITH, AND NO LESS STRINGENT THAN, THOSE PRACTICES CONTAINED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED AND O.C.G.A. 12-7-6, AS WELL AS THE FOLLOWING:

(i). EXCEPT AS PROVIDED IN PART IV. (iii). BELOW, NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 25 FOOT BUFFER ALONG THE BANKS OF ALL STATE WATERS, AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION, EXCEPT WHERE THE DIRECTOR HAS DETERMINED TO ALLOW A VARIANCE THAT IS AT LEAST AS PROTECTIVE OF NATURAL RESOURCES AND THE ENVIRONMENT IN ACCORDANCE WITH THE PROVISIONS OF O.C.G.A. 12-7-6, OR WHERE A DRAINAGE OR ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED, PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED IN THE PROJECT PLANS AND SPECIFICATIONS AND ARE IMPLEMENTED, OR ALONG ANY EPHEMERAL STREAM, OR WHERE BULKHEADS AND SEAWALLS MUST BE CONSTRUCTED TO PREVENT THE EROSION OF THE SHORELINE ON LAKE OCONEE OR LAKE SINCLAIR. THE BUFFER SHALL NOT APPLY TO THE FOLLOWING ACTIVITIES PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED INTO THE PROJECT PLANS AND SPECIFICATIONS ARE IMPLEMENTED:

- (1) PUBLIC DRINKING WATER SYSTEM RESERVOIRS,

(2) STREAM CROSSINGS FOR WATER LINES AND SEWER LINES, PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER

(3) STREAM CROSSINGS FOR ANY UTILITY LINES OF ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, (B) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (C) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT.

(4) BUFFER CROSSING FOR FENCES, PROVIDED THAT THE CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER

(5) STREAM CROSSINGS FOR AERIAL UTILITY LINES, PROVIDED THAT: (A) THE NEW UTILITY LINE RIGHT-OF-WAY WIDTH DOES NOT EXCEED 100 LINEAR FEET, (B) UTILITY LINES ARE ROUTED AND CONSTRUCTED SO AS TO MINIMIZE THE NUMBER OF STREAM CROSSINGS AND DISTURBANCES TO THE BUFFER, (C) ONLY TREES AND TREE DEBRIS ARE REMOVED FROM WITHIN THE BUFFER RESULTING IN ONLY MINOR SOIL EROSION (I.E., DISTURBANCE TO UNDERLYING VEGETATION IS MINIMIZED), AND (D) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER. THE PLAN SHALL INCLUDE A DESCRIPTION OF THE STREAM CROSSINGS WITH DETAILS OF THE BUFFER DISTURBANCE INCLUDING AREA AND LENGTH OF BUFFER DISTURBANCE, ESTIMATED LENGTH OF TIME OF BUFFER DISTURBANCE, AND JUSTIFICATION.

(6) RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN OR FINANCED IN WHOLE OR IN PART BY THE DEPARTMENT OF TRANSPORTATION, THE GEORGIA HIGHWAY AUTHORITY OR THE STATE ROAD AND TOLLWAY AUTHORITY OR UNDERTAKEN BY ANY COUNTY OR MUNICIPALITY, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT.

(7) RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN BY ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT; AND

(8) MAINTENANCE (EXCLUDING DREDGING), REPAIR AND/OR UPGRADE OF SOIL AND WATER CONSERVATION DISTRICT WATERSHED DAMS WHEN UNDER THE TECHNICAL SUPERVISION OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE.

(ii). NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A 50 FOOT BUFFER, AS MEASURED HORIZONTALLY FROM THE POINT WHERE VEGETATION HAS BEEN WRESTED BY NORMAL STREAM FLOW OR WAVE ACTION, ALONG THE BANKS OF ANY STATE WATERS CLASSIFIED AS 'TROUT STREAMS' EXCEPT WHEN APPROVAL IS GRANTED BY THE DIRECTOR FOR ALTERNATE BUFFER REQUIREMENTS IN ACCORDANCE WITH THE PROVISIONS OF O.C.G.A. 12-7-6, OR WHERE A ROADWAY DRAINAGE STRUCTURE MUST BE CONSTRUCTED; PROVIDED, HOWEVER, THAT SMALL SPRINGS AND STREAMS CLASSIFIED AS 'TROUT STREAMS' WHICH DISCHARGE AN AVERAGE ANNUAL FLOW OF 25 GALLONS PER MINUTE OR LESS SHALL HAVE A 25 FOOT BUFFER OR THEY MAY BE PIPED, AT THE DISCRETION OF THE PERMITTEE, PURSUANT TO THE TERMS OF A RULE PROVIDING FOR A GENERAL VARIANCE. PROMULGATED BY THE BOARD OF NATURAL RESOURCES INCLUDING NOTIFICATION OF SUCH TO EPD AND THE LOCAL ISSUING AUTHORITY OF THE LOCATION AND EXTENT OF THE PIPING AND PRESCRIBED METHODOLOGY FOR MINIMIZING THE IMPACT OF SUCH PIPING AND FOR MEASURING THE VOLUME OF

WATER DISCHARGED BY THE STREAM, ANY SUCH PIPE MUST STOP SHORT OF THE DOWNSTREAM PERMITTEE'S PROPERTY, AND THE PERMITTEE MUST COMPLY WITH THE BUFFER REQUIREMENT FOR ANY ADJACENT TROUT STREAMS. THE BUFFER SHALL NOT APPLY TO THE FOLLOWING ACTIVITIES PROVIDED THAT ADEQUATE EROSION CONTROL MEASURES ARE INCORPORATED INTO THE PROJECT PLANS AND SPECIFICATIONS ARE IMPLEMENTED:

- (1) PUBLIC DRINKING WATER SYSTEM RESERVOIRS,

(2) STREAM CROSSINGS FOR WATER LINES AND SEWER LINES, PROVIDED THAT THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER

(3) STREAM CROSSINGS FOR ANY UTILITY LINES OF ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE STREAM CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, (B) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (C) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT.

(4) BUFFER CROSSING FOR FENCES, PROVIDED THAT THE CROSSINGS OCCUR AT AN ANGLE, AS MEASURED FROM THE POINT OF CROSSING, WITHIN 25 DEGREES OF PERPENDICULAR TO THE STREAM AND CAUSE A WIDTH OF DISTURBANCE OF NOT MORE THAN 50 FEET WITHIN THE BUFFER, AND NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OF DISTURBED AREAS WITHIN THE BUFFER

(5) STREAM CROSSINGS FOR AERIAL UTILITY LINES, PROVIDED THAT: (A) THE NEW UTILITY LINE RIGHT-OF-WAY WIDTH DOES NOT EXCEED 100 LINEAR FEET, (B) UTILITY LINES ARE ROUTED AND CONSTRUCTED SO AS TO MINIMIZE THE NUMBER OF STREAM CROSSINGS AND DISTURBANCES TO THE BUFFER, (C) ONLY TREES AND TREE DEBRIS ARE REMOVED FROM WITHIN THE BUFFER RESULTING IN ONLY MINOR SOIL EROSION (I.E., DISTURBANCE TO UNDERLYING VEGETATION IS MINIMIZED), AND (D) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER. THE PLAN SHALL INCLUDE DESCRIPTION OF THE STREAM CROSSINGS WITH DETAILS OF THE BUFFER DISTURBANCE, ESTIMATED LENGTH OF TIME OF BUFFER DISTURBANCE, AND JUSTIFICATION.

(6) RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN OR FINANCED IN WHOLE OR IN PART BY THE DEPARTMENT OF TRANSPORTATION, THE GEORGIA HIGHWAY AUTHORITY OR THE STATE ROAD AND TOLLWAY AUTHORITY OR UNDERTAKEN BY ANY COUNTY OR MUNICIPALITY, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT.

(7) RIGHT-OF-WAY POSTS, GUY-WIRES, ANCHORS, SURVEY MARKERS AND THE REPLACEMENT OR MAINTENANCE OF EXISTING UTILITY STRUCTURES WITHIN THE CURRENT RIGHT-OF-WAY UNDERTAKEN BY ANY ELECTRIC MEMBERSHIP CORPORATION OR MUNICIPAL ELECTRICAL SYSTEM OR ANY PUBLIC UTILITY UNDER THE REGULATORY JURISDICTION OF THE PUBLIC SERVICE COMMISSION, ANY UTILITY UNDER THE REGULATORY JURISDICTION OF THE FEDERAL ENERGY REGULATORY COMMISSION, ANY CABLE TELEVISION SYSTEM AS DEFINED IN CODE SECTION 36-18-1, OR ANY AGENCY OR INSTRUMENTALITY OF THE UNITED STATES ENGAGED IN THE GENERATION, TRANSMISSION OR DISTRIBUTION OF POWER, PROVIDED THAT: (A) THE AREA OF LAND DISTURBANCE DOES NOT EXCEED 100 SQUARE FEET PER STRUCTURE, (B) THE AREA OF BUFFER VEGETATION TO BE CUT (NOT GRUBBED) DOES NOT EXCEED 1,000 SQUARE FEET PER STRUCTURE, (C) NATIVE RIPARIAN VEGETATION IS RE-ESTABLISHED IN ANY BARE OR DISTURBED AREAS WITHIN THE BUFFER AND (D) THE ENTITY IS NOT A SECONDARY PERMITTEE FOR A PROJECT LOCATED WITHIN A COMMON DEVELOPMENT OR SALE UNDER THIS PERMIT; AND

(8) MAINTENANCE (EXCLUDING DREDGING), REPAIR AND/OR UPGRADE OF SOIL AND WATER CONSERVATION DISTRICT WATERSHED DAMS WHEN UNDER THE TECHNICAL SUPERVISION OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE.
- (iii). EXCEPT AS PROVIDED ABOVE, FOR BUFFERS REQUIRED PURSUANT TO PART IV. (i). AND (ii)., NO CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED WITHIN A BUFFER AND A BUFFER SHALL REMAIN IN ITS NATURAL, UNDISTURBED, STATE OF VEGETATION UNTIL ALL LAND-DISTURBING ACTIVITIES ON THE CONSTRUCTION SITE ARE COMPLETED. DURING COVERAGE UNDER THIS PERMIT, A BUFFER CANNOT BE THINNED OR TRIMMED OF VEGETATION AND A PROTECTIVE VEGETATIVE COVER MUST REMAIN TO PROTECT WATER QUALITY AND AQUATIC HABITAT AND A NATURAL CANOPY MUST BE LEFT IN SUFFICIENT QUANTITY TO KEEP SHADE ON THE STREAM BED.

THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL IDENTIFY ALL POTENTIAL SOURCES OF POLLUTION WHICH MAY REASONABLY BE EXPECTED TO AFFECT THE QUALITY OF STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE. IN ADDITION, THE PLAN SHALL DESCRIBE AND THE APPLICABLE PERMITTEE SHALL ENSURE THE IMPLEMENTATION OF PRACTICES WHICH WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY AT THE SITE AND TO ASSURE COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. THE APPLICABLE PERMITTEE MUST IMPLEMENT AND MAINTAIN THE PROVISIONS OF THE PLAN REQUIRED UNDER THIS PART AS A CONDITION OF THIS PERMIT.

EXCEPT AS PROVIDED IN PART IV.A.2., A SINGLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN MUST BE PREPARED BY THE PRIMARY PERMITTEE FOR THE STAND ALONE CONSTRUCTION PROJECT.

A. DEADLINES FOR PLAN PREPARATION AND COMPLIANCE

1. EXCEPT AS PROVIDED IN PART IV.A.2., AND PART IV.A.6., THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL BE COMPLETED PRIOR TO SUBMITTING THE NOI AND PRIOR TO CONDUCTING ANY CONSTRUCTION ACTIVITY BY ANY PERMITTEE.

2. FOR CONSTRUCTION ACTIVITIES THAT BEGAN ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT AND WERE SUBJECT TO THE REGULATIONS UNDER THE PREVIOUS PERMIT, THE PERMITTEE(S) SHALL CONTINUE TO OPERATE UNDER THE EXISTING PLAN.

3. FOR CONSTRUCTION ACTIVITIES THAT BEGIN AFTER THE EFFECTIVE DATE OF THIS PERMIT, THE PRIMARY PERMITTEE SHALL BE REQUIRED TO PREPARE THE PLAN FOR THAT PHASE OF THE STAND ALONE DEVELOPMENT THAT CORRESPONDS WITH THE NOI BEING SUBMITTED AND THE PRIMARY PERMITTEE(S) SHALL IMPLEMENT THE PLAN ON OR BEFORE THE DAY CONSTRUCTION ACTIVITIES BEGIN.

4. ADDITIONAL PLAN SUBMITTALS.
- a. FOR ALL PROJECTS IDENTIFIED UNDER PART I.C.1.b., WHICH BEGIN AFTER THE EFFECTIVE DATE OF THIS PERMIT, IN A JURISDICTION WHERE THERE IS NO CERTIFIED LOCAL ISSUING AUTHORITY REGULATING THAT PROJECT, A SINGLE COPY OF THE PLAN MUST BE SUBMITTED TO THE EPD WATERSHED PROTECTION BRANCH AND A SECOND COPY OF THE PLAN MUST BE SUBMITTED TO THE EPD DISTRICT OFFICE PRIOR TO OR CONCURRENT WITH THE NOI SUBMITTAL. THE SECOND COPY OF THE PLAN MAY BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE AS A PORTABLE DOCUMENT FORMAT (PDF) FILE ON CD-ROM OR OTHER STORAGE DEVICE. THE EPD WATERSHED PROTECTION BRANCH WILL REVIEW PLANS FOR DEFICIENCIES USING THE APPLICABLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED.

b. FOR SITES THAT ARE EQUAL TO OR GREATER THAN 50 ACRES OF DISTURBED AREA, REGARDLESS OF THE EXISTENCE OF A CERTIFIED LOCAL ISSUING AUTHORITY IN THE JURISDICTION, ONE OF THE FOLLOWING SUBMISSIONS IS ALSO REQUIRED:
- (i). FOR ALL PROJECTS WHICH BEGIN AFTER THE EFFECTIVE DATE OF THIS PERMIT A SINGLE COPY OF THE NOI AND A SINGLE COPY OF THE PLAN SHALL BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE. THIS COPY OF THE PLAN MAY BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE AS A PORTABLE DOCUMENT FORMAT (PDF) FILE ON CD-ROM OR OTHER STORAGE DEVICE.
- (ii). FOR ALL PROJECTS WHICH BEGAN ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT A SINGLE COPY OF THE NOI AND A SINGLE COPY OF THE PLAN, IF AMENDED, SHALL BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE. THIS COPY OF
- THE PLAN MAY BE SUBMITTED TO THE APPROPRIATE EPD DISTRICT OFFICE AS A PORTABLE DOCUMENT FORMAT (PDF) FILE ON CD-ROM OR OTHER STORAGE DEVICE.
- c. FOR ALL PROJECTS WHERE THE CONSTRUCTION ACTIVITY AS INDICATED ON THE EXISTING NOI HAS CHANGED, THE AMENDED PLANS MUST BE SUBMITTED IN ACCORDANCE WITH PART IV.A.4.a. IN ADDITION, THE PERMITTEE MUST FILE A CHANGE OF INFORMATION NOI IN ACCORDANCE WITH PART II.
5. FOR STAND ALONE PROJECTS THAT BEGIN CONSTRUCTION ACTIVITY AFTER THE EFFECTIVE DATE OF THIS PERMIT, THE PRIMARY PERMITTEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, OR AN ALTERNATIVE DESIGN PROFESSIONAL APPROVED BY EPD IN WRITING, TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION. THE DESIGN PROFESSIONAL SHALL DETERMINE IF THESE BMPs HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED. THE DESIGN PROFESSIONAL SHALL REPORT THE RESULTS OF THE INSPECTION TO THE PRIMARY PERMITTEE WITHIN SEVEN (7) DAYS AND THE PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS OF RECEIPT OF THE INSPECTION REPORT FROM THE DESIGN PROFESSIONAL UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED.
6. FOR STORM- OR EMERGENCY-RELATED REPAIR WORK, THE PERMITTEE SHALL IMPLEMENT APPROPRIATE BMPs AND CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER. IF THE STORM- OR EMERGENCY-RELATED REPAIR WORK WILL NOT BE COMPLETED WITHIN SIXTY (60) DAYS OF COMMENCEMENT OF CONSTRUCTION ACTIVITY, A SINGLE COPY OF THE PLAN SHALL BE SUBMITTED TO EPD AND THE PERMITTEE SHALL COMPLY WITH ALL REQUIREMENTS OF THIS PERMIT ON THE SIXTY-FIRST (61st) DAY.
- B. SIGNATURE AND PLAN REVIEW
1. THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL BE SIGNED IN ACCORDANCE WITH PART IV., AND BE RETAINED ON THE SITE (OR, IF NOT POSSIBLE, AT A READILY ACCESSIBLE LOCATION) WHICH GENERATES THE STORM WATER DISCHARGE IN ACCORDANCE WITH PART IV.F. OF THIS PERMIT.
2. THE PRIMARY PERMITTEE SHALL MAKE PLANS AVAILABLE UPON REQUEST TO THE EPD; TO DESIGNATED OFFICIALS OF THE LOCAL GOVERNMENT REVIEWING SOIL EROSION AND SEDIMENT CONTROL PLANS, GRADING PLANS, OR STORM WATER MANAGEMENT PLANS; OR IN THE CASE OF A STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY WHICH DISCHARGES THROUGH A MUNICIPAL SEPARATE STORM SEWER SYSTEM WITH AN NPDES PERMIT, TO THE LOCAL GOVERNMENT OPERATING THE MUNICIPAL SEPARATE STORM SEWER SYSTEM.
3. EPD MAY NOTIFY THE PRIMARY PERMITTEE AT ANY TIME THAT THE PLAN DOES NOT MEET ONE OR MORE OF THE MINIMUM REQUIREMENTS OF THIS PART. WITHIN SEVEN (7) DAYS OF SUCH NOTIFICATION (OR AS OTHERWISE PROVIDED BY EPD) THE PRIMARY PERMITTEE SHALL MAKE THE REQUIRED CHANGES TO THE PLAN AND SHALL SUBMIT TO EPD EITHER THE AMENDED PLAN OR A WRITTEN CERTIFICATION THAT THE REQUESTED CHANGES HAVE BEEN MADE.
- C. KEEPING PLANS CURRENT.
- THE PRIMARY PERMITTEE(S) SHALL AMEND THEIR PLAN WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT (I.E., THOSE BMPs WHERE THE DESIGN IS BASED UPON RAINFALL INTENSITY, DURATION AND RETURN FREQUENCY OF STORMS) OR IF THE PLAN PROVES TO BE INEFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING POLLUTANTS FROM SOURCES IDENTIFIED UNDER PART IV.D.3. AMENDMENTS TO THE PLAN MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AS PROVIDED IN THIS PERMIT.

D. CONTENTS OF PLAN.

THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN SHALL INCLUDE, AS A MINIMUM, BEST MANAGEMENT PRACTICES, INCLUDING SOUND CONSERVATION AND ENGINEERING PRACTICES TO PREVENT AND MINIMIZE EROSION AND RESULTANT SEDIMENTATION, WHICH ARE CONSISTENT WITH, AND NO LESS STRINGENT THAN, THOSE PRACTICES CONTAINED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, AS WELL AS THE FOLLOWING:
1. CHECKLIST.

EACH PLAN SHALL INCLUDE A COMPLETED EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED AND AMENDMENTS TO THE APPLICABLE CHECKLIST AS APPROVED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION UP UNTIL THE DATE OF THE NOI SUBMITTAL. THE APPLICABLE CHECKLISTS ARE AVAILABLE ON THE EPD WEBSITE, WWW.GAEPD.ORG.
2. SITE DESCRIPTION.

EACH SITE-SPECIFIC PLAN SHALL PROVIDE A DESCRIPTION OF POLLUTANT SOURCES AND OTHER INFORMATION AS INDICATED:
- a. A DESCRIPTION OF THE NATURE OF THE CONSTRUCTION ACTIVITY;

b. A DETAILED DESCRIPTION AND CHART OR TIMELINE OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOILS FOR MAJOR PORTIONS OF THE SITE (I.E., INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs, CLEARING AND GRUBBING ACTIVITIES, EXCAVATION ACTIVITIES, GRADING ACTIVITIES, INFRASTRUCTURE ACTIVITIES, IMMEDIATE AND FINAL STABILIZATION ACTIVITIES);

c. ESTIMATES OF THE TOTAL AREA OF THE SITE AND THE TOTAL AREA OF THE SITE THAT IS EXPECTED TO BE DISTURBED BY EXCAVATION, GRADING, OR OTHER ACTIVITIES;

d. AN ESTIMATE OF THE RUNOFF COEFFICIENT OR PEAK DISCHARGE FLOW OF THE SITE PRIOR TO THE CONSTRUCTION ACTIVITIES AND AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED AND EXISTING DATA DESCRIBING THE SOIL OR THE QUALITY OF ANY DISCHARGE FROM THE SITE;

e. A SITE-SPECIFIC MAP INDICATING DRAINAGE PATTERNS AND APPROXIMATE SLOPES ANTICIPATED AFTER MAJOR GRADING ACTIVITIES, AREAS OF SOIL DISTURBANCE, AN OUTLINE OF AREAS WHICH ARE NOT TO BE DISTURBED, THE LOCATION OF MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS IDENTIFIED IN THE PLAN, THE LOCATION OF AREAS WHERE STABILIZATION PRACTICES ARE EXPECTED TO OCCUR, SURFACE WATERS (INCLUDING WETLANDS), AND LOCATIONS WHERE STORM WATER IS DISCHARGED TO A SURFACE WATER; AND

f. IDENTIFY THE RECEIVING WATER(S) AND AREAL EXTENT OF WETLAND ACREAGE AT THE SITE;
3. CONTROLS.

EACH PLAN SHALL INCLUDE A DESCRIPTION OF APPROPRIATE CONTROLS AND MEASURES THAT WILL BE IMPLEMENTED AT THE CONSTRUCTION SITE INCLUDING: (1) INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs, (2) INTERMEDIATE GRADING AND DRAINAGE BMPs, AND (3) FINAL BMPs. FOR CONSTRUCTION SITES WHERE THERE WILL BE NO MASS GRADING AND THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND THE PERIMETER CONTROL BMPs, INTERMEDIATE GRADING AND DRAINAGE BMPs, AND FINAL BMPs ARE THE SAME, THE PLAN MAY COMBINE ALL OF THE BMPs INTO A SINGLE PHASE PLAN. THE PLAN WILL INCLUDE APPROPRIATE STAGING AND ACCESS REQUIREMENTS FOR CONSTRUCTION EQUIPMENT. PLANS SUBMITTED AFTER THE EFFECTIVE DATE OF THIS PERMIT SHALL LIMIT THE AMOUNT OF DISTURBED AREA TO NO GREATER THAN 50 ACRES AT ANY ONE TIME WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE APPROPRIATE EPD DISTRICT OFFICE ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. EPD WILL APPROVE OR DISAPPROVE SUCH REQUESTS WITHIN 35 DAYS OF RECEIPT. FAILURE OF EPD TO ACT WITHIN 35 DAYS SHALL BE CONSIDERED AN APPROVAL OF SUCH REQUESTS. IF THE EPD DISTRICT OFFICE APPROVES A REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME, THE PLAN MUST INCLUDE AT LEAST FOUR (4) OF THE BEST MANAGEMENT PRACTICES LISTED IN PART III.C.2. OF THIS PERMIT.
- THE PLAN WILL CLEARLY DESCRIBE FOR EACH MAJOR ACTIVITY IDENTIFIED IN PART IV.D.2.b. APPROPRIATE CONTROL MEASURES AND THE TIMING DURING THE CONSTRUCTION PROCESS THAT THE MEASURES WILL BE IMPLEMENTED. THE PRIMARY PERMITTEE IS ENCOURAGED TO UTILIZE THE DOCUMENT, DEVELOPING YOUR STORMWATER POLLUTION PREVENTION PLAN: A GUIDE FOR CONSTRUCTION SITES, EPA 833-R-060-04, MAY 2007 (WWW.EPA.GOV/NPDES/PUBS/SW_SWPPP_GUIDE.PDF), WHEN PREPARING THE PLAN. THE DESCRIPTION AND IMPLEMENTATION OF CONTROLS SHALL ADDRESS THE FOLLOWING MINIMUM COMPONENTS:
- a. EROSION AND SEDIMENT CONTROLS.
- (1). STABILIZATION MEASURES, A DESCRIPTION OF INTERIM AND PERMANENT STABILIZATION MEASURES, INCLUDING SITE-SPECIFIC SCHEDULING OF THE IMPLEMENTATION OF THE MEASURES. SITE PLANS SHOULD ENSURE THAT EXISTING VEGETATION IS PRESERVED AND THAT DISTURBED PORTIONS OF THE SITE ARE STABILIZED. STABILIZATION MEASURES MAY INCLUDE: TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF MATURE VEGETATION, AND OTHER APPROPRIATE MEASURES. A RECORD OF THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED SHALL BE INCLUDED IN THE PLAN. EXCEPT AS PROVIDED IN PARAGRAPHS IV.D.3.(a) (1) (a), AND (b), BELOW, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- (a). WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASE IS PRECLUDED BY SNOW COVER OR OTHER ADVERSE WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
- (b). WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED, (E.G., THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.
- (2). STRUCTURAL PRACTICES. A DESCRIPTION OF STRUCTURAL PRACTICES TO DIVERT FLOWS FROM EXPOSED SOILS, STORE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE TO THE DEGREE ATTAINABLE. SUCH PRACTICES MAY INCLUDE SILT FENCES, EARTH DIKES, DRAINAGE SWALES, SEDIMENT TRAPS, CHECK DAMS, SUBSURFACE DRAINS, PIPE SLOPE DRAINS, LEVEL SPREADERS, STORM DRAIN INLET PROTECTION, ROCK OUTLET PROTECTION, REINFORCED SOIL RETAINING SYSTEMS, GABIONS, AND TEMPORARY OR PERMANENT SEDIMENT BASINS. STRUCTURAL PRACTICES SHOULD BE PLACED ON UPLAND SOILS TO THE DEGREE ATTAINABLE. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CWA.
- (3). SEDIMENT BASINS. FOR COMMON DRAINAGE LOCATIONS AT A TEMPORARY (OR PERMANENT) SEDIMENT BASIN PROVIDING AT LEAST 1800 CUBIC FEET (67 CUBIC YARDS) OF STORAGE PER ACRE DRAINED, OR EQUIVALENT AERIAL CONTROL MEASURES, SHALL BE PROVIDED UNTIL FINAL STABILIZATION OF THE SITE. THE 1800 CUBIC FEET (67 CUBIC YARDS) OF STORAGE AREA PER ACRE DRAINED DOES NOT APPLY TO FLOWS FROM OFF-SITE AREAS AND FLOWS FROM ON-SITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE UNDERGONE FINAL STABILIZATION WHERE SUCH FLOWS ARE DIVERTED AROUND BOTH THE DISTURBED AREA AND THE SEDIMENT BASIN. FOR DRAINAGE LOCATIONS WHERE A TEMPORARY SEDIMENT BASIN PROVIDING AT LEAST 1800 CUBIC FEET (67 CUBIC YARDS) OF STORAGE PER ACRE ARE DRAINED, OR EQUIVALENT CONTROLS IS NOT ATTAINABLE, SEDIMENT TRAPS, SILT FENCES, WOOD MULCH BERMS OR EQUIVALENT SEDIMENT CONTROLS ARE REQUIRED FOR ALL SIDE SLOPE AND DOWN SLOPE BOUNDARIES OF THE CONSTRUCTION AREA. WHEN THE SEDIMENT FILLS TO A VOLUME AT MOST 67 CUBIC YARDS PER ACRE FOR EACH ACRE OF DRAINAGE AREA, THE SEDIMENT SHALL BE REMOVED TO RESTORE THE ORIGINAL DESIGN VOLUME. THIS SEDIMENT MUST BE PROPERLY DISPOSED. SEDIMENT BASINS MAY NOT BE FEASIBLE AT SOME CONSTRUCTION PROJECTS. CAREFUL CONSIDERATION MUST BE USED TO DETERMINE WHEN A SEDIMENT BASIN CANNOT BE USED AND/OR WHEN 67 CUBIC YARDS OF STORAGE PER ACRE DRAINED IS NOT ATTAINABLE AND A WRITTEN JUSTIFICATION EXPLAINING THE DECISION(S) MUST BE INCLUDED IN THE PLAN. PERENNIAL AND INTERMITTENT WATERS OF THE STATE SHALL NOT BE USED FOR TEMPORARY OR PERMANENT SEDIMENT DETENTION.
- WHEN DISCHARGING FROM SEDIMENT BASINS AND IMPOUNDMENTS, PERMITTEES ARE REQUIRED TO UTILIZE PRACTICES THAT WITHDRAW WATER FROM THE SURFACE, UNLESS INFEASIBLE. IF OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE ARE NOT FEASIBLE, A WRITTEN JUSTIFICATION EXPLAINING THIS DECISION MUST BE INCLUDED IN THE PLAN. OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE ARE TEMPORARY BMPs AND MUST BE REMOVED PRIOR TO SUBMITTING A NOTICE OF TERMINATION. FOR CONSTRUCTION ACTIVITIES WHERE THE NOI WAS SUBMITTED PRIOR TO JANUARY 1, 2014, THIS REQUIREMENT OF THE PERMIT IS NOT APPLICABLE.
- (4). ALTERNATIVE BMPs. THE USE OF ALTERNATIVE BMPs WHOSE PERFORMANCE HAS BEEN DOCUMENTED TO BE EQUIVALENT OR SUPERIOR TO CONVENTIONAL BMPs AS CERTIFIED BY A DESIGN PROFESSIONAL, MAY BE ALLOWED (UNLESS DISAPPROVED BY EPD OR THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION).
- (5). HIGH PERFORMANCE BMPs. THE USE OF INFILTRATION TRENCHES, SEEP BERMS, SAND FILTERS, DRY WELLS, POLYACRYLAMIDE, ETC. FOR MINIMIZING POINT SOURCE DISCHARGES EXCEPT FOR LARGE RAINFALL EVENTS IS ENCOURAGED.
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b. STORM WATER MANAGEMENT. A DESCRIPTION OF MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. STRUCTURAL MEASURES SHOULD BE PLACED ON UPLAND SOILS TO THE DEGREE ATTAINABLE. THE INSTALLATION OF THESE DEVICES MAY BE SUBJECT TO SECTION 404 OF THE CWA. THIS PERMIT ONLY ADDRESSES THE INSTALLATION OF STORM WATER MANAGEMENT MEASURES, AND NOT THE ULTIMATE OPERATION AND MAINTENANCE OF SUCH STRUCTURES AFTER THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED AND THE SITE HAS UNDERGONE FINAL STABILIZATION. OPERATORS ARE ONLY RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF STORM WATER MANAGEMENT MEASURES PRIOR TO FINAL STABILIZATION OF THE SITE, AND ARE NOT RESPONSIBLE FOR MAINTENANCE AFTER STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY HAVE BEEN ELIMINATED FROM THE SITE.
- (1). SUCH PRACTICES MAY INCLUDE: STORM WATER DETENTION STRUCTURES (INCLUDING WET PONDS); STORM WATER RETENTION STRUCTURES; FLOW ATTENUATION BY USE OF OPEN VEGETATED SWALES AND NATURAL DEPRESSIONS; INFILTRATION OF RUNOFF ON-SITE; AND SEQUENTIAL SYSTEMS (WHICH COMBINE SEVERAL PRACTICES). THE PLAN SHALL INCLUDE AN EXPLANATION OF THE TECHNICAL BASIS USED TO SELECT THE PRACTICES TO CONTROL POLLUTION WHERE FLOWS EXCEED PRE-DEVELOPMENT LEVELS.
- (2). VELOCITY DISSIPATION DEVICES SHALL BE PLACED AT DISCHARGE LOCATIONS AND ALONG THE LENGTH OF ANY OUTFALL CHANNEL. FOR THE PURPOSE OF PROVIDING A NON-EROSIVE VELOCITY FLOW FROM THE STRUCTURE TO A WATER COURSE SO THAT THE NATURAL PHYSICAL AND BIOLOGICAL CHARACTERISTICS AND FUNCTIONS ARE MAINTAINED AND PROTECTED (E.G., NO SIGNIFICANT CHANGES IN THE HYDROLOGICAL REGIME OF THE RECEIVING WATER(S)).
- (3). INSTALLATION AND USE OF GREEN INFRASTRUCTURE APPROACHES AND PRACTICES THAT MIMIC NATURAL PROCESSES AND DIRECT STORM WATER WHERE IT CAN BE INFILTRATED, EVAPOTRANSPIRATED OR RE-USED WITH SIGNIFICANT UTILIZATION OF SOILS AND VEGETATION RATHER THAN TRADITIONAL HARDCAPE COLLECTION, CONVEYANCE AND STORAGE. TREES ARE ENCOURAGED. THE MAXIMUM EXTENT PRACTICABLE FOR GREEN INFRASTRUCTURE PRACTICES OR APPROACHES INCLUDE PERMEABLE OR POROUS PAVING, VEGETATED SWALES INSTEAD OF CURBS AND GUTTERS, GREEN ROOFS, TREE BOXES, RAIN GARDENS, CONSTRUCTED WETLANDS, INFILTRATION PLANTERS, VEGETATED MEDIAN STRIPS, PROTECTION AND ENHANCEMENT OF RIPARIAN BUFFERS AND FLOODPLAINS, AND THE OVERALL REDUCTION IN SITE DISTURBANCE AND IMPERVIOUS AREA. DESIGN INFORMATION ON GREEN INFRASTRUCTURE PRACTICES AND OTHER WAYS TO MANAGE STORM WATER CAN BE FOUND IN THE GEORGIA STORMWATER MANAGEMENT MANUAL (WWW.GEORGIASTORMWATER.COM) AND THE GEORGIA GREEN GROWTH GUIDELINES (WWW.COASTALGADNR.ORG/CM/GREEN/GUIDE). ADDITIONAL INFORMATION ON GREEN INFRASTRUCTURE CAN BE FOUND AT WATER.EPA.GOV/INFRASTRUCTURE AND GREENINFRASTRUCTURE/INDEX/CFM.
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Prepared By

Prepared For

Sheet Title

Project

EROSION CONTROL NOTES

BRITT AVENUE OVERFLOW PARKING
BRITT AVENUE NORTHWEST | CITY OF NORCROSS, GEORGIA 30071
PIN 6243 001 & 6243 001A | GWINNETT COUNTY

Attachment: City of Norcross Packet ITB PW 25-03 (24-7175 : Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03)

Sheet No.

Revision

5/1/24

A

GEORGIA
REGISTERED
PROFESSIONAL
ENGINEER
ROBERT W. BARCLIFT
No. 89268

5/1/24

GSWCC LEVEL II #: 89269
May 1, 2024

C4.0A

Sheet Number

Packet Pg. 92

1. CONTRACTOR IS TO ADHERE TO THE CITY OF NORCROS EROSION AND SEDIMENT CONTROL REGULATIONS, AND THE MANUAL FOR EROSION AND SEDIMENT CONTROL FOR CONSTRUCTION PROJECTS.
2. EROSION AND SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
3. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES, IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AS DETERMINED BY THE CONTRACTOR TO CONTROL OR TREAT THE SEDIMENT SOURCE.
4. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR PERMANENT SEEDING.
5. EROSION CONTROL MEASURES SHALL BE GRASSSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
6. THE CONTRACTOR SHALL INSTALL AND MAINTAIN SILT BARRIERS AROUND ALL DRAINAGE AREAS AND DRAINAGE DITCHES AND DRAINAGE CANALS HAS BEEN COMPLETED.
7. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING THE PROPERTY LIMITS.
8. SILT FENCES SHALL BE MAINTAINED AND REPAIRS TO SECTION 17-TEMPORARY SILT FENCE, OF THE GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, CURRENT EDITION AND BE WIRE REINFORCED.
9. THERE ARE NO CURRENT APPARENT EROSION CONTROL PROBLEMS ON SITE. CONSTRUCTION INSPECTION NOTES AND REPAIRS ARE NECESSARY TO PREVENT EROSION AND SEDIMENT TRANSPORT DURING CONSTRUCTION.
10. MAXIMUM EMBANKMENT SLOPES ARE TO BE AS FOLLOWS: CUT AREAS - 2:1, FILL AREAS - 3:1.
11. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED PER THE SPECIFICATIONS.
12. ALL CUT AND FILL AREAS SHALL BE REVEGETATED AND SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
13. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT COMPLETION AND THE APPROVED PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN ALL SEDIMENT TRAPS AS REQUIRED BY THE OWNERS REPRESENTATIVE OR LOCAL & STATE REQUIREMENTS.
14. FAILURE TO INSTALL, OPERATE AND MAINTAIN EROSION CONTROL MEASURES, AS REQUIRED IN THE APPROVED PLANS, SHALL BE DIRECTED BY THE OWNER/PROJECT REPRESENTATIVE AND/OR LOCAL MUNICIPALITY AND STATE MAY RESULT IN ALL WORK ON THE CONSTRUCTION SITE BEING STOPPED UNTIL PROJECT CORRECTIVE MEASURES HAVE BEEN MET, AS REQUIRED AND/OR DIRECTED.
15. THE CONTRACTOR SHALL KEEP AND MAINTAIN ONE (1) LOG NOTING THE DATE OF ALL RAINFALL EVENTS, THE AMOUNT OF RAINFALL RECEIVED, DURATION OF PROJECT, INSPECTION NOTES, AND ANY REPAIRS OR CLEANING OF EROSION CONTROL DEVICES.
16. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY TWO WEEKS AND REPAIRS SHALL BE REQUIRED TO MAINTAIN THEM.
17. ALL SLOPES 2:1 AND SEDIMENT BASINS SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS NORTH AMERICAN GREEN SC150 OR EQUIVALENT, IN ADDITION TO GRASS SEEDING AND MULCHING.
18. SEE DETAILS FOR D52 AND D83 SEEDING AND MULCHING REQUIREMENTS.
19. STORM DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE DURING THE CONSTRUCTION PROCESS, AND ALL RUNOFF SHALL BE DIRECTED TO THE STORM DRAINAGE SYSTEM.
20. PRIOR TO STORM DRAINAGE SYSTEM INSTALLATION ALL RUNOFF LEAVING THE SITE SHALL BE FILTERED THROUGH SILT FENCES AND FILTERS PRIOR TO ANY OVERLAND MATERIAL TRANSPORT OFF SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THIS REQUIREMENT NOT DURING ALL PHASES OF CONSTRUCTION.
21. THIS PROJECT DOES NOT LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS SHOWN ON THE 1:12,500 SCALE FLOOD HAZARD BOUNDARY MAP. COMMUNITY PANEL NUMBER 11510C06X06, DATED 3/24/2013.
22. WETLANDS DO NOT EXIST ON SITE.
23. THE SITE DOES NOT WITHIN 200 FEET OF A JURISDICTIONAL STRAP.
24. EROSION CONTROL MEASURES SHALL BE DISCHARGED TO OVER THE STATE SEWERAGE AS AUTHORIZED BY A SECTION 404 PERMIT.
25. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BIODIVERSITY OR HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
26. THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INSTALLATION OF EROSION AND SEDIMENT STORAGE REQUIREMENTS AND PERMITTER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.
27. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
28. THE RECEIVING WATER BODY IS AN UNNAMED TRIBUTARY OF BEAVER RUN CREEK, THE PROJECT IS NOT WITHIN ONE LINEAR MILE FROM A BIOTA IMPAIRED STREAM SEGMENT AND DOES NOT DISCHARGE DIRECTLY INTO AN ADJACENT WATER BODY.
29. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STRIP BUFFER AS MEASURED FROM THE POINT OF WRESTED JURISDICTION WITHIN WITHIN THE DISTURBED AREA.
30. EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY.
31. INSPECTIONS BY QUALIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH CAR 10008.
32. NO ALTERNATE BMPs WERE USED IN THIS PROJECT.

VEGETATIVE MEASURES:

STRUCTURAL MEASURES:

WARM WATER (SUPPORTING WARM WATER FISHERIES)									
		SURFACE WATER DRAINAGE AREA, SQUARE MILES							
		8-9.99	5-9.99	10-24.99	25-49.99	50-99.99	100-249.99	250-499.99	500+
SITE SIZE, ACRES	1.00-10	75	150	200	400	750	750	750	750
	10.01-25	50	100	100	200	300	500	750	750
	25.01-50	50	50	100	100	200	300	750	750
	50.01-100	50	50	50	100	100	150	300	600
	100.01+	50	50	50	50	50	100	200	100

APPENDIX B
NEPHELOMETRIC TURBIDITY UNIT (NTU) TABLE

STRUCTURAL MEASURES (continued)

EROSION CONTROL LINETYPES / SYMBOLS

 TREE PROTECTION FENCE
 SOIL TYPE DELINEATION
 FLOW ARROW
 LIMITS OF DISTURBANCE

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EROSION, SEDIMENTATION, AND POLLUTION CONTROL NOTES (continued)

25 4. PRODUCT SPECIFIC PRACTICES

- A. PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS, AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER NARROW DRAINAGE AND STORMWATER DRAINAGE LINES. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS, AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHOD WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.
- B. PAINTS, FINISHES, AND SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORMWATER COLLECTION SYSTEM. EXCESS PRODUCTS, MATERIALS USED WITH THESE PRODUCTS, AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND STANDARDS.
- C. CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON SITE.
- D. FERTILIZER/HERBICIDES - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

5. WASTE MATERIALS

- A. NO WASTE WILL BE DISPOSED OF INTO STORMWATER INLETS OR WATERS OF THE STATE.
- B. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED DUMPSTER. THE DUMPSTER SHALL BE LOCATED IN A SOLID WASTE MANAGEMENT REGION. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE PER WEEK OR MORE OFTEN IF NECESSARY AND TRASH WILL BE HAULED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED ONSITE.
- C. ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURES FOR WASTE DISPOSAL. A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOBSITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

6. HAZARDOUS WASTES

- A. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED, WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL DATA SHEETS (MSDS) FOR ALL MATERIALS AND ALL HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE EPCOP FILE AT THE JOBSITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.
- B. THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THIS EPCOP AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORMWATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORMWATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL THE PROPER MEASURES FOR COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORMWATER. IT SHALL BE THE RESPONSIBILITY OF THE JOBSITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.

7. SANITARY WASTES

- A. A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS. A MINIMUM OF ONE (1) TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS.
- B. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTING TO STORMWATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMPs MUST BE IMPLEMENTED, SUCH AS GRAVEL BAGS OR SPECIFICALLY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASE, TO PREVENT WASTES FROM CONTRIBUTING TO STORMWATER DISCHARGES. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED ON THE EROSION CONTROL PLAN GRADING PHASE, SHEET C4.0, BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED.
- C. SANITARY SEWER WILL BE PROVIDED BY N/A AT THE COMPLETION OF THIS PROJECT.

8. BUILDING MATERIALS

- A. FOR BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS PRESENT ON THE SITE, PROVIDE COVER (e.g. PLASTIC SHEETING, GEOTEXTILES, RYDOL) TO PREVENT EXPOSURE OF A SPECIFIC MATERIAL TO PRECIPITATION AND TO STORMWATER, OR SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THESE AREAS. MINIMIZATION OF EXPOSURE IS NOT REQUIRED IN CASES WHERE EXPOSURE TO PRECIPITATION AND TO STORMWATER WILL NOT RESULT IN A DISCHARGE OF POLLUTANTS. EXPOSURE OF A SPECIFIC MATERIAL TO PRECIPITATION AND TO STORMWATER DOES NOT POSITIVELY CORRELATE WITH THE RISK OF STORMWATER CONTAMINATION (SUCH AS FINAL PRODUCTS AND MATERIALS INTENDED FOR OUTDOOR USE).

9. OFFSITE VEHICLE TRACKING

A STABILIZED CONSTRUCTION EXIT HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENT. SEE SHEETS C4.1 AND C4.2 FOR CONSTRUCTION EXIT LOCATIONS AND DETAILS. THE PAVED STREET ADJACENT TO THE SITE EXIT WILL BE INSPECTED DAILY FOR TRACKING OF MUD, DIRT OR ROCK. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPAULIN.

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START DATE	5/2024	THIS SCHEDULE IS TO BE USED FOR PERMITTING PURPOSES ONLY. REFER TO APPROVED PROJECT SCHEDULE FOR EXACT CONSTRUCTION SEQUENCING.
END DATE	8/2024	

DESCRIPTION	WEEK											
	1	2	3	4	5	6	7	8	9	10	11	12
INITIAL EROSION CONTROL BMP INSTALL.												
7-DAY LETTER												
MASS GRADE												
INSTALL DRAINAGE												
PAVE SITE												
PERMANENT GRASSING												
REMOVAL OF EROS. CONTROL MEASURES												

ACTIVITY SCHEDULE

EROSION CONTROL NOTES

BRITT AVENUE OVERFLOW PARKING
BRITT AVENUE NORTHWEST | CITY OF NORCROSS, GEORGIA 30071
PIN 6243 00 & 6243 001A | GWINNETT COUNTY

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DOWNTOWN
DEVELOPMENT AUTHORITY
CITY OF NORCROSS

10

Project

GSWCC LEVEL II #: 89269

May 1, 2024

C4.0C

Sheet Number

EROSION CONTROL NOTES

BRITT AVENUE OVERFLOW PARKING
BRITT AVENUE NORTHWEST | CITY OF NORCROSS, GEORGIA 30071
PIN 6243 001 & 6243 001A | GWINNETT COUNTY

DOWNTOWN
DEVELOPMENT AUTHORITY
CITY OF NORCROSS

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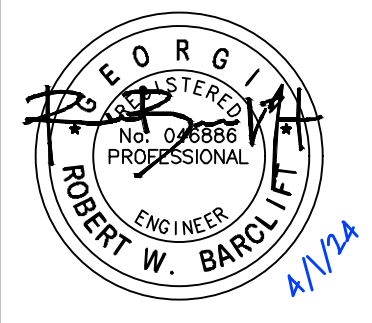
Prepared By

Prepared For

Sheet Title

Project

REVISION



GSWCC LEVEL II #: 89269

April 1, 2024

C4.0D

Sheet Number

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST
STAND ALONE CONSTRUCTION PROJECTS

SWCD: _____ Gwinnett County SWCD

Project Name: Britt Ave Overflow Parking Address: Britt Avenue NW, Norcross GA 30071
Local Issuing Authority: City of Norcross Date on Plans: _____

Name & Email of person filling out checklist: Robert Barclift, PE (robert@barcliftconsulting.com)

Plan Included
Page # Y/N

TO BE SHOWN ON ES&PC PLAN

- | | | |
|-------|-----|--|
| C40.C | Y | 1 The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted.
(The completed Checklist must be submitted with the ES&PC Plan or the Plan will not be reviewed) |
| All | Y | 2 Level II certification number issued by the Commission, signature and seal of the certified design professional.
(Signature, seal and Level II number must be on each sheet pertaining to ES&PC plan or the Plan will not be reviewed) |
| -- | N/A | 3 Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the GAEPD District Office. If GAEPD approves the request to disturb 50 acres or more at any one time, the Plan must include at least 4 of the BMPs listed in Appendix 1 of this checklist and the GAEPD approval letter. *
(A copy of the written approval by GAEPD must be attached to the plan for the Plan to be reviewed.) |
| C4.0C | Y | 4 The name and phone number of the 24-hour contact responsible for erosion, sedimentation and pollution controls. |
| C0.0 | Y | 5 Provide the name, address, email address, and phone number of primary permittee. |
| C4.1 | Y | 6 Note total and disturbed acreages of the project or phase under construction. |
| C4.0 | Y | 7 Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees. |
| C0.0 | Y | 8 Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions. |
| C0.0 | Y | 9 Description of the nature of construction activity and existing site conditions. |
| C0.0 | Y | 10 Provide vicinity map showing site's relation to surrounding areas. Include designation of specific phase, if necessary. |
| C4.2 | Y | 11 Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc. which may be affected. |
| C4.0A | Y | 12 Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on Part IV page 19 of the permit. |
| -- | N/A | 13 Design professional's certification statement and signature that the permittee's ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on Part IV page 19 of the permit. * |
| -- | N/A | 14 Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation."
in accordance with Part IV.A.5 page 25 of the permit. * |
| C4.0B | Y | 15 Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wrested vegetation or within 25-feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits." |
| C4.0C | N/A | 16 Provide a description of any buffer encroachments and indicate whether a buffer variance is required. |
| -- | N/A | 17 Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional." * |

- | | | |
|----------|-----|--|
| -- | N/A | 18 Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a Section 404 permit." * |
| C 4.0 B | Y | 19 Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities." |
| C 4.0 B | Y | 20 Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source." |
| C 4.0 B | Y | 21 Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding." |
| -- | N/A | 22 Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of a Biota Impaired Stream Segment must comply with Part III. C. of the permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment. * |
| -- | N/A | 23 If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in Item 22 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan. * |
| -- | N/A | 24 BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited. * |
| C. 4.0 C | Y | 25 Provide BMPs for the remediation of all petroleum spills and leaks. |
| -- | N/A | 26 Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed. * |
| C. 4.0 C | N/A | 27 Description of practices to provide cover for building materials and building products on site. * |
| -- | N/A | 28 Description of the practices that will be used to reduce the pollutants in storm water discharges. * |
| C. 4.0 C | Y | 29 Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization). |
| -- | N/A | 30 Provide complete requirements of Inspections and record keeping by the primary permittee. * |
| -- | N/A | 31 Provide complete requirements of Sampling Frequency and Reporting of sampling results. * |
| -- | N/A | 32 Provide complete details for Retention of Records as per Part IV.F. of the permit. * |
| -- | N/A | 33 Description of analytical methods to be used to collect and analyze the samples from each location. * |
| -- | N/A | 34 Appendix B rationale for NTU values at all outfall sampling points where applicable. * |
| -- | N/A | 35 Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged. * |
| -- | N/A | 36 A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the Plan may combine all of the BMPs into a single phase. * |

- | | | | | | | | | |
|--------------------------------|---|---|-----------|--------------|------------------------|--------------------------------|---|---------------------------------|
| C4.1 | Y | 37 Graphic scale and North arrow. | | | | | | |
| C4.1 | Y | 38 Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following: <table border="1"><tr><td>Map Scale</td><td>Ground Slope</td><td>Contour Intervals, ft.</td></tr><tr><td>1 inch = 100ft or larger scale</td><td>Flat 0 - 2%
Rolling 2 - 8%
Sleep 8% +</td><td>0.5 or 1
1 or 2
2.5 or 10</td></tr></table> | Map Scale | Ground Slope | Contour Intervals, ft. | 1 inch = 100ft or larger scale | Flat 0 - 2%
Rolling 2 - 8%
Sleep 8% + | 0.5 or 1
1 or 2
2.5 or 10 |
| Map Scale | Ground Slope | Contour Intervals, ft. | | | | | | |
| 1 inch = 100ft or larger scale | Flat 0 - 2%
Rolling 2 - 8%
Sleep 8% + | 0.5 or 1
1 or 2
2.5 or 10 | | | | | | |
| -- | N/A | 39 Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional (unless disapproved by GAEPD or the Georgia Soil and Water Conservation Commission). Please refer to the Alternative BMP Guidance Document found at www.gaswcc.georgia.gov . | | | | | | |
| -- | N/A | 40 Use of alternative BMP for application to the Equivalent BMP List. Please refer to Appendix A-2 of the Manual for Erosion & Sediment Control in Georgia 2016 Edition. * | | | | | | |
| C4.1 | Y | 41 Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to state waters and any additional buffers required by the Local Issuing Authority. Clearly note and delineate all areas of impact. | | | | | | |
| C4.1 | Y | 42 Delineation of on-site wetlands and all state waters located on and within 200 feet of the project site. | | | | | | |
| C4.1 | Y | 43 Delineation and acreage of contributing drainage basins on the project site. | | | | | | |
| -- | N/A | 44 Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions. * | | | | | | |
| C 4.0 B | Y | 45 An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed. | | | | | | |
| -- | N/A | 46 Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion. Identify/Delineate all storm water discharge points. | | | | | | |
| C4.1 | Y | 47 Soil series for the project site and their delineation. | | | | | | |
| C4.1 | Y | 48 The limits of disturbance for each phase of construction. | | | | | | |
| -- | N/A | 49 Provide a minimum of 67 cubic yards of sediment storage per acre drained using a temporary sediment basin, retrofitted detention pond, and/or excavated inlet sediment traps for each common drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the Plan for each common drainage location in which a sediment basin is not provided. A written justification as to why 67 cubic yards of storage is not attainable must also be given. Worksheets from the Manual included for structural BMPs and all calculations used by the storage design professional to obtain the required sediment when using equivalent controls. When discharging from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining this decision must be included in the Plan. | | | | | | |
| C4.1 | Y | 50 Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with legend. | | | | | | |
| -- | N/A | 51 Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia. | | | | | | |
| C4.1 | Y | 52 Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of the year that seeding will take place and for the appropriate geographic region of Georgia. | | | | | | |

* If using this checklist for a project that is less than 1 acre and not part of a common development but within 200 ft of a perennial stream, the * checklist items would be N/A.

Effective January 1, 2024

LIMITS OF DISTURBANCE = 0.7 AC

Map unit symbol	Map unit name	Rating
Cfs	Chewelah silt loam, 0- to 2 percent slopes, frequently flooded	B/D
MCF	Musella cobbly loam, 15 to 45 percent slopes	D
Ub	Urban land-Urthorhents complex	
WHD	Wilkes-Iredell cobbly complex, 6 to 15 percent slopes	D
Totals for Area of Interest		



EROSION CONTROL LEGEND

SEE LEGEND SHEET C4.0C

EROSION CONTROL NOTES

SEE NOTES SHEET C4.0C

THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE REQUIRES THAT A 25 FOOT BUFFER ADJACENT TO ALL STATE WATERS BE MAINTAINED (ESCO 109-471(15)). AN EXCEPTION IS GRANTED TO HOMEOWNERS WHO PERFORM MINOR LAND DISTURBING ACTIVITIES SUCH AS HOME LANDSCAPING, HOME GARDENS, REPAIRS AND MAINTENANCE WORK (ESCO 109-452(3)).

SAMPLING INSTRUCTIONS

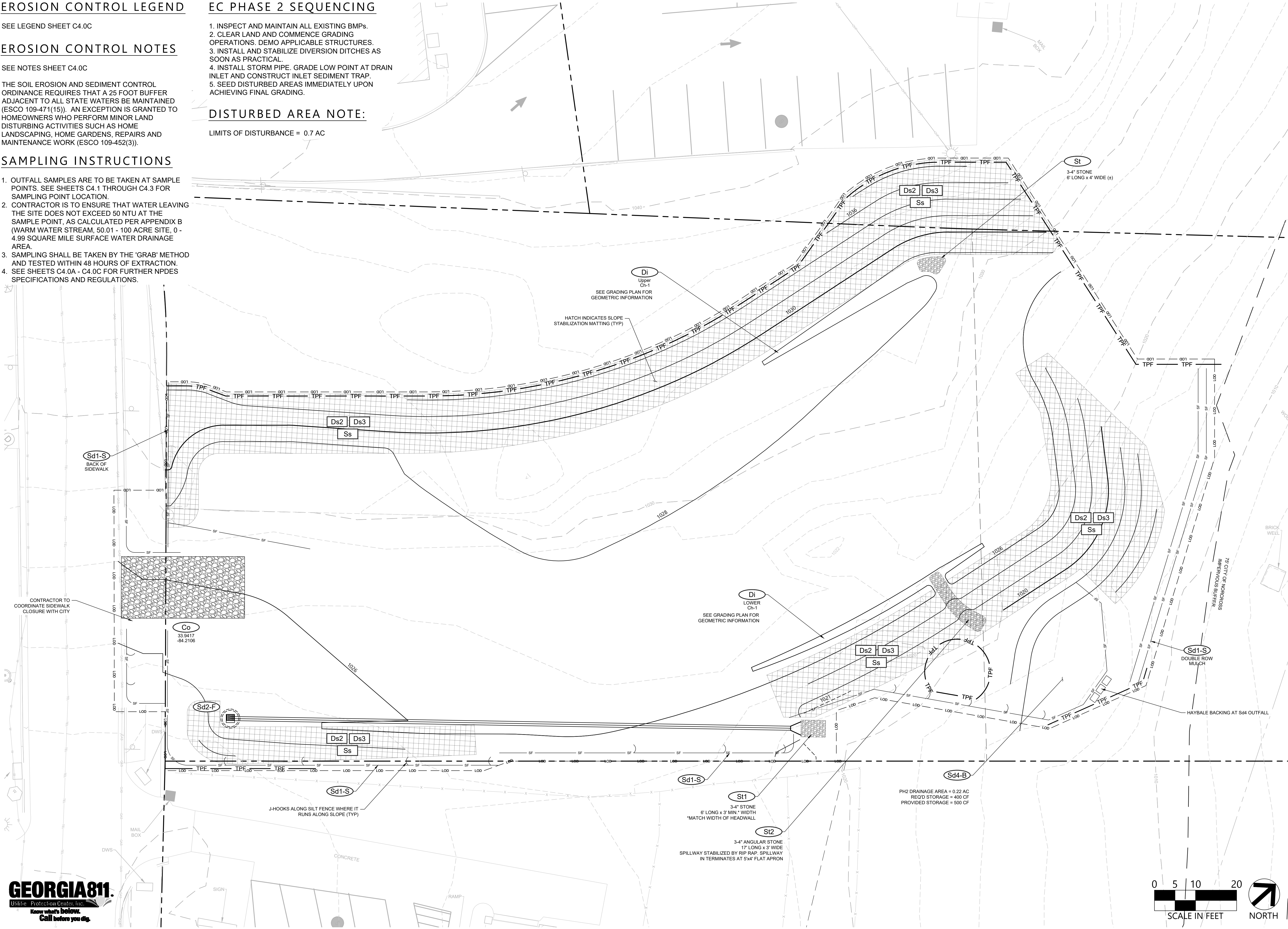
1. OUTFALL SAMPLES ARE TO BE TAKEN AT SAMPLE POINTS. SEE SHEETS C4.1 THROUGH C4.3 FOR SAMPLING POINT LOCATION.
2. CONTRACTOR IS TO ENSURE THAT WATER LEAVING THE SITE DOES NOT EXCEED 50 NTU AT THE SAMPLE POINT, AS CALCULATED PER APPENDIX B (WARM WATER STREAM, 50.01 - 100 ACRE SITE, 0 - 4.99 SQUARE MILE SURFACE WATER DRAINAGE AREA.
3. SAMPLING SHALL BE TAKEN BY THE 'GRAB' METHOD AND TESTED WITHIN 48 HOURS OF EXTRACTION.
4. SEE SHEETS C4.0A - C4.0C FOR FURTHER NPDES SPECIFICATIONS AND REGULATIONS.

EC PHASE 2 SEQUENCING

1. INSPECT AND MAINTAIN ALL EXISTING BMPs.
2. CLEAR LAND AND COMMENCE GRADING OPERATIONS. DEMO APPLICABLE STRUCTURES.
3. INSTALL AND STABILIZE DIVERSION DITCHES AS SOON AS PRACTICAL.
4. INSTALL STORM PIPE. GRADE LOW POINT AT DRAIN INLET AND CONSTRUCT INLET SEDIMENT TRAP.
5. SEED DISTURBED AREAS IMMEDIATELY UPON ACHIEVING FINAL GRADING.

DISTURBED AREA NOTE:

LIMITS OF DISTURBANCE = 0.7 AC



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Prepared By

Project

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DEVELOPMENT AUTHORITY
CITY OF NORCROSS

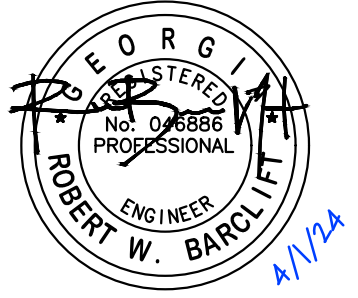
EROSION CONTROL PLAN - PH2

BRITT AVENUE OVERFLOW PARKING
BRITT AVENUE NORTHWEST | CITY OF NORCROSS, GEORGIA 30071
PIN 6243 001 & 6243 001A | GWINNETT COUNTY

Sheet Title

Project

REVISION



GSWCC LEVEL II #: 89269
April 1, 2024

C4.2

Sheet Number

EROSION CONTROL LEGEND

SEE LEGEND SHEET C4.0C

EROSION CONTROL NOTES

SEE NOTES SHEET C4.0C

THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE REQUIRES THAT A 25 FOOT BUFFER ADJACENT TO ALL STATE WATERS BE MAINTAINED (ESCO 109-471(15)). AN EXCEPTION IS GRANTED TO HOMEOWNERS WHO PERFORM MINOR LAND DISTURBING ACTIVITIES SUCH AS HOME LANDSCAPING, HOME GARDENS, REPAIRS AND MAINTENANCE WORK (ESCO 109-452(3)).

SAMPLING INSTRUCTIONS

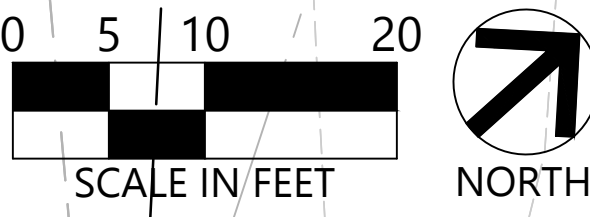
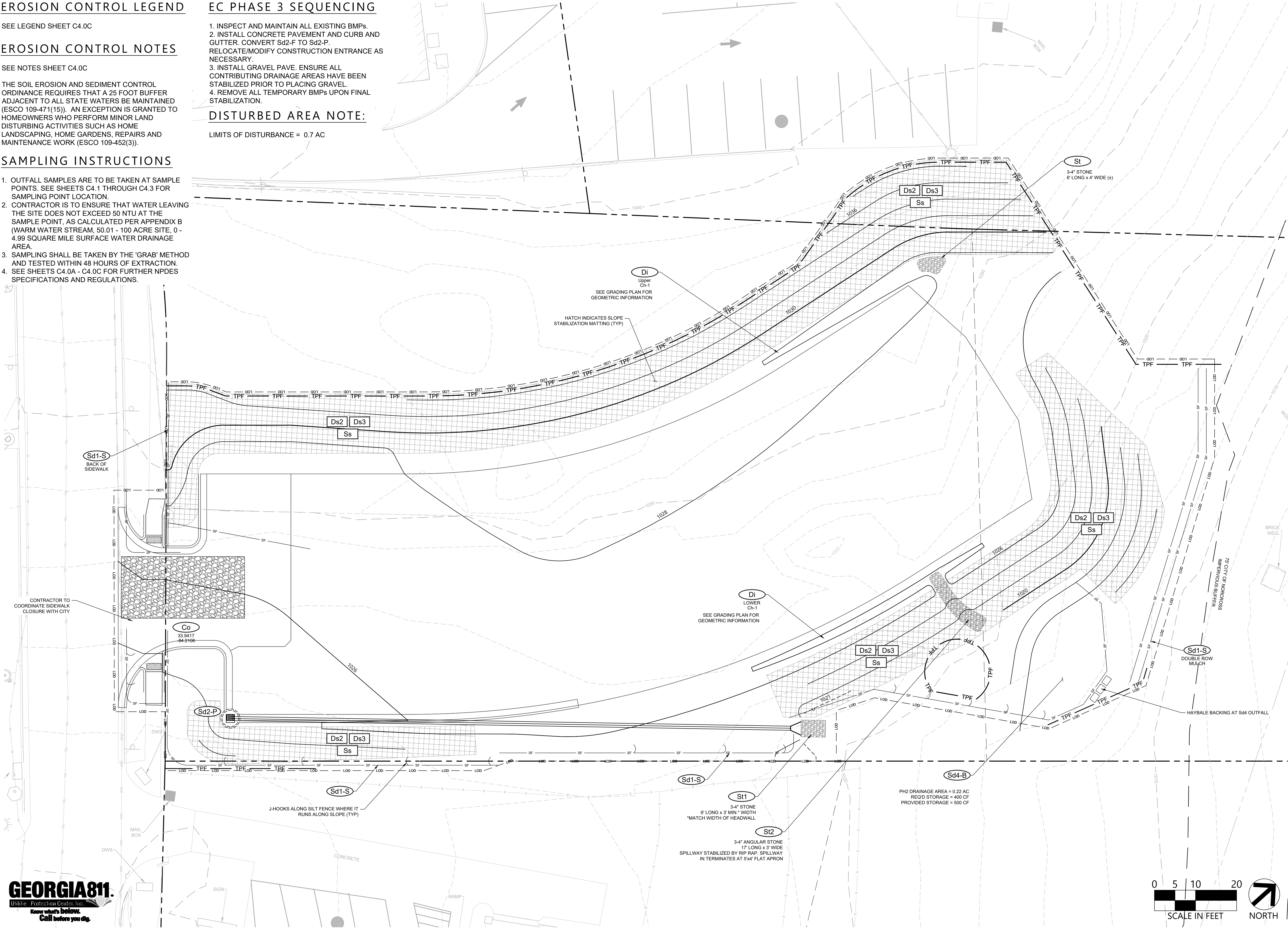
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3. SAMPLING SHALL BE TAKEN BY THE 'GRAB' METHOD AND TESTED WITHIN 48 HOURS OF EXTRACTION.
4. SEE SHEETS C4.0A - C4.0C FOR FURTHER NPDES SPECIFICATIONS AND REGULATIONS.

EC PHASE 3 SEQUENCING

1. INSPECT AND MAINTAIN ALL EXISTING BMPs.
2. INSTALL CONCRETE PAVEMENT AND CURB AND GUTTER. CONVERT Sd2-F TO Sd2-P.
3. RELOCATE/MODIFY CONSTRUCTION ENTRANCE AS NECESSARY.
4. INSTALL GRAVEL PAVE. ENSURE ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED PRIOR TO PLACING GRAVEL.
5. REMOVE ALL TEMPORARY BMPs UPON FINAL STABILIZATION.

DISTURBED AREA NOTE:

LIMITS OF DISTURBANCE = 0.7 AC

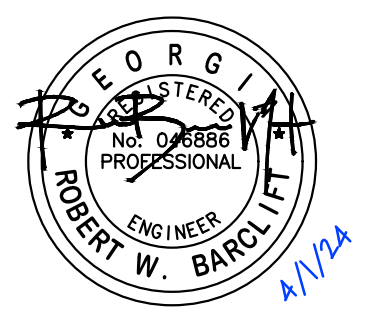


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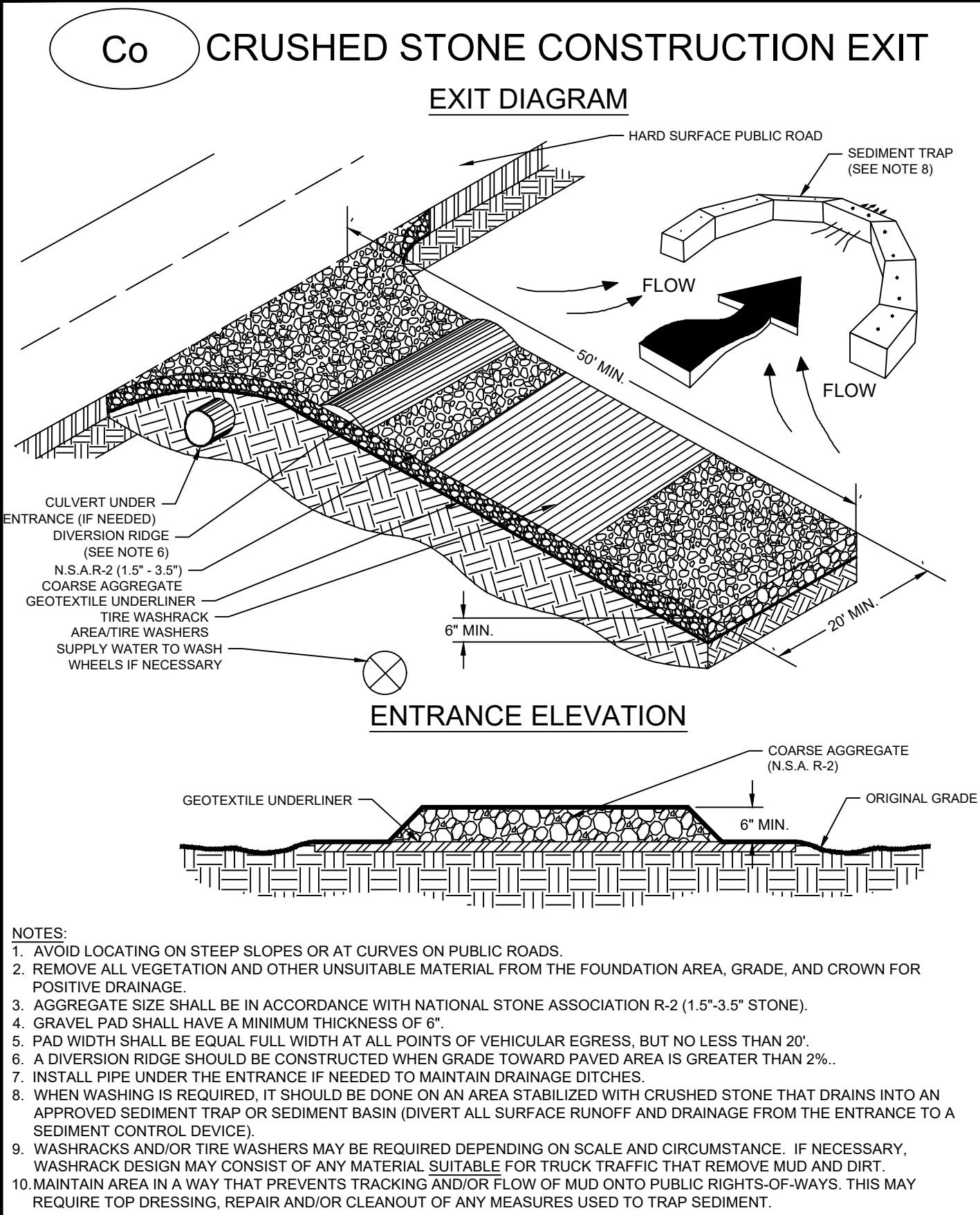
EROSION CONTROL PLAN - PH3
BRITT AVENUE OVERFLOW PARKING
BRITT AVENUE NORTHWEST | CITY OF NORCROSS, GEORGIA 30071
PIN 6243 001 & 6243 001A | GWINNETT COUNTY

REVISION

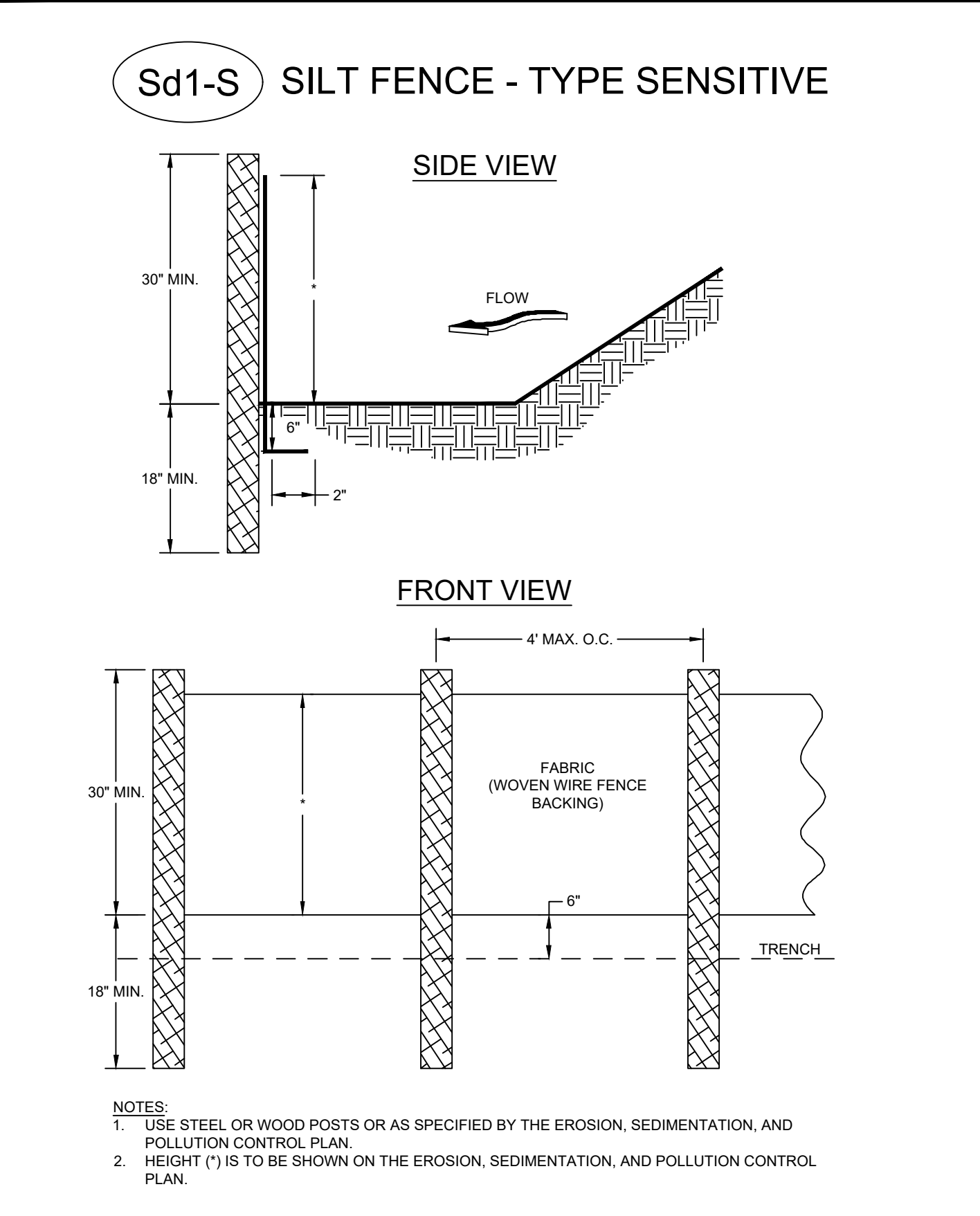


GSWCC LEVEL II #: 89269
April 1, 2024

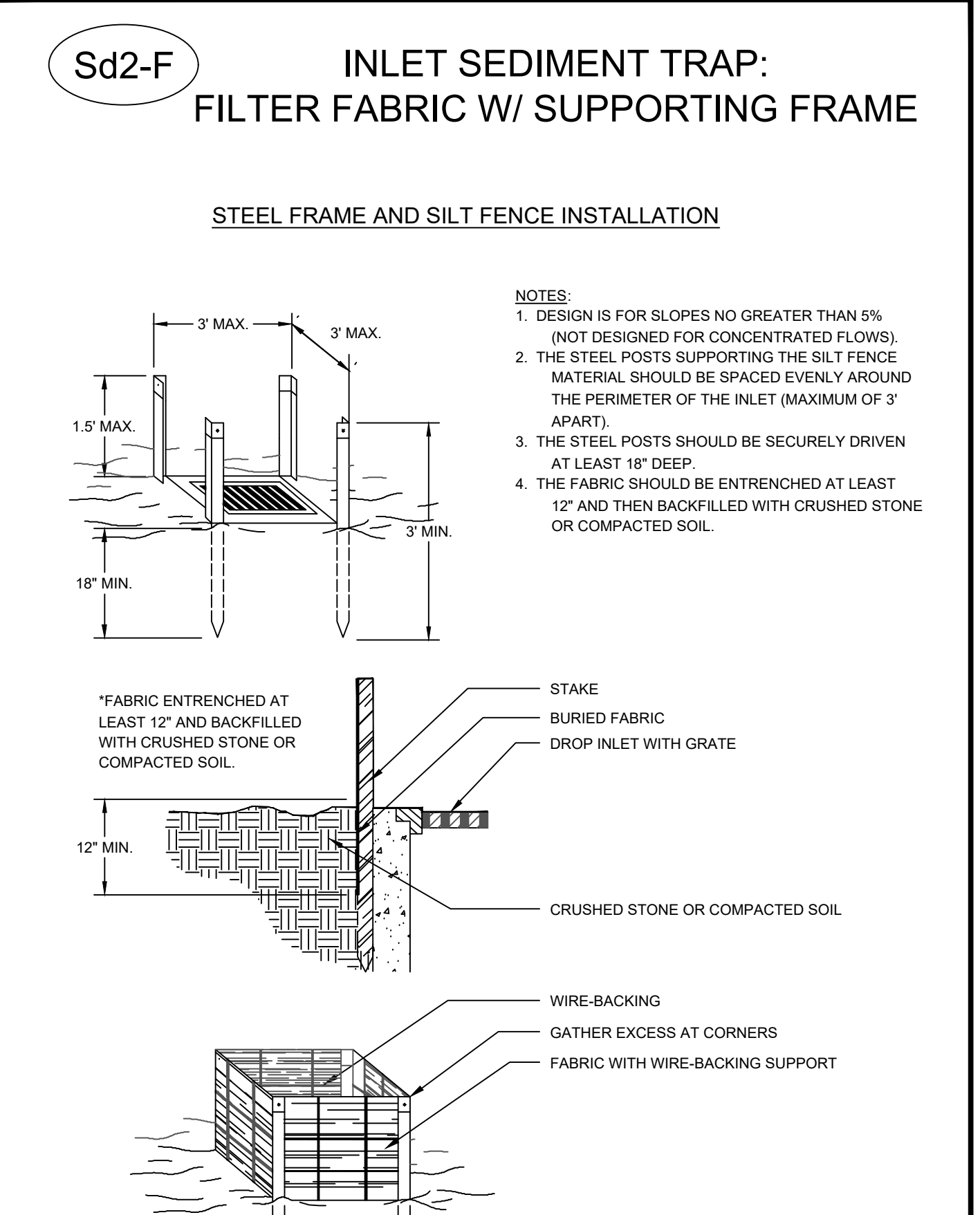
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Sheet Number



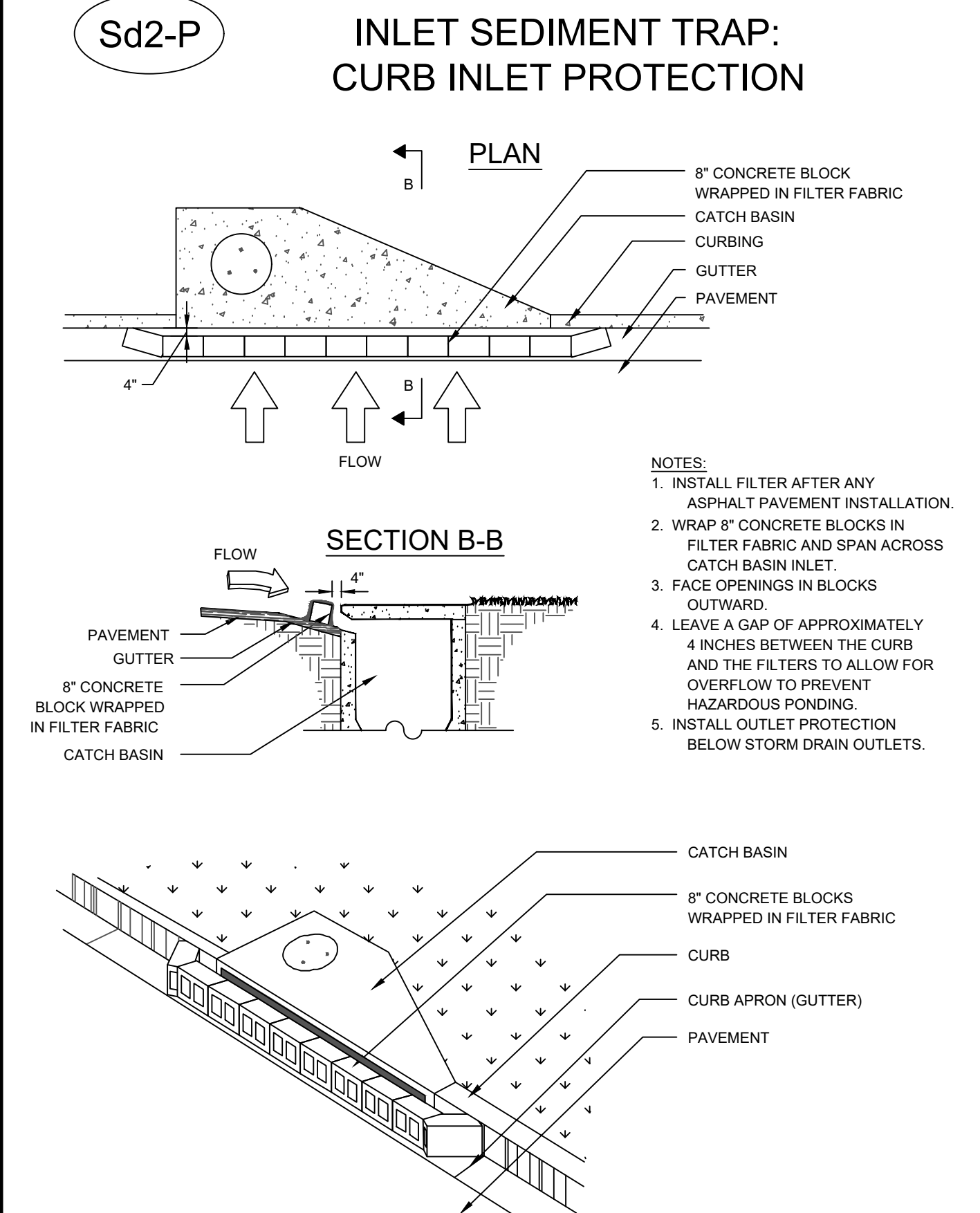
CONSTRUCTION EXIT (Co)



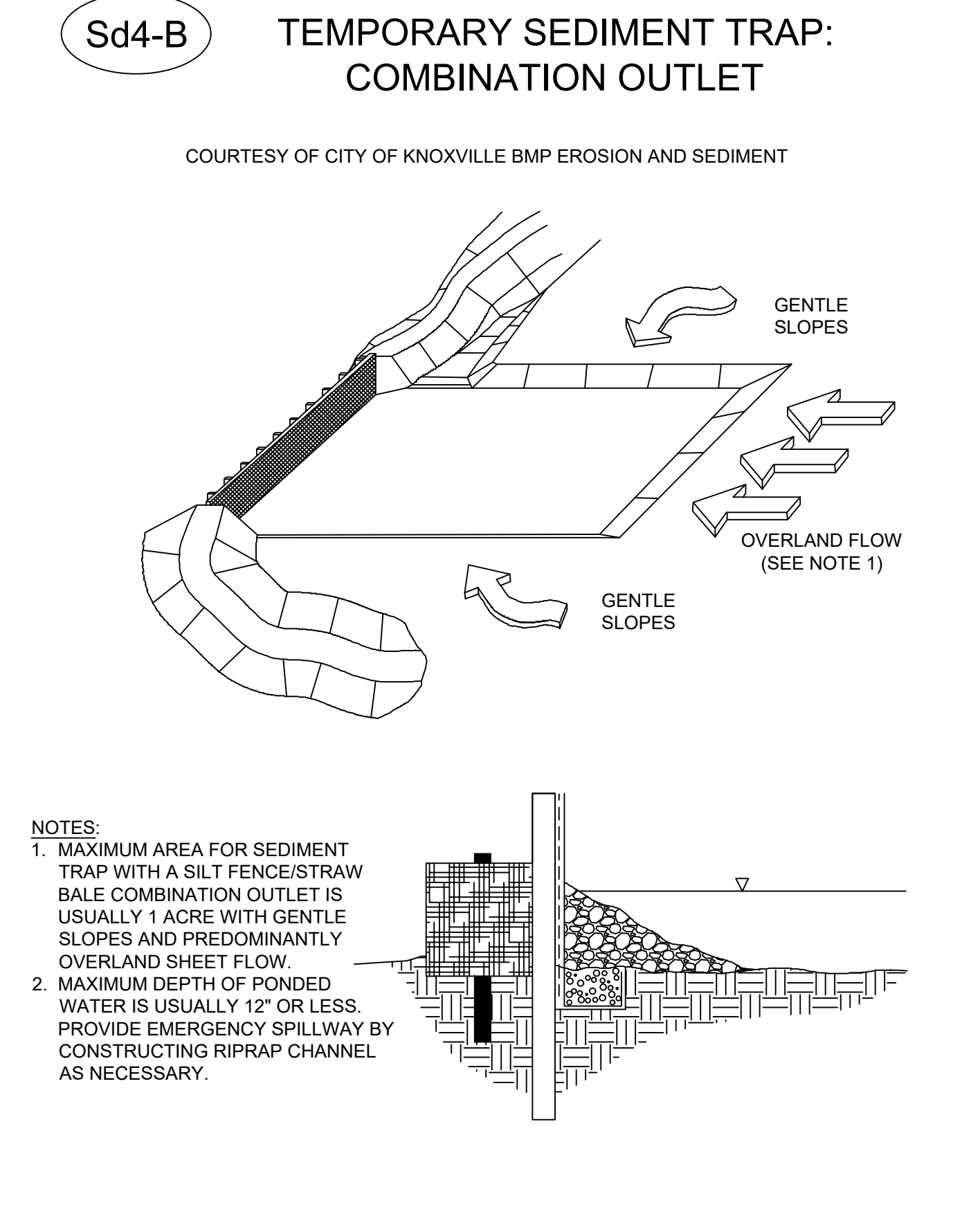
SILT FENCE - TYPE SENSITIVE (Sd1-S)



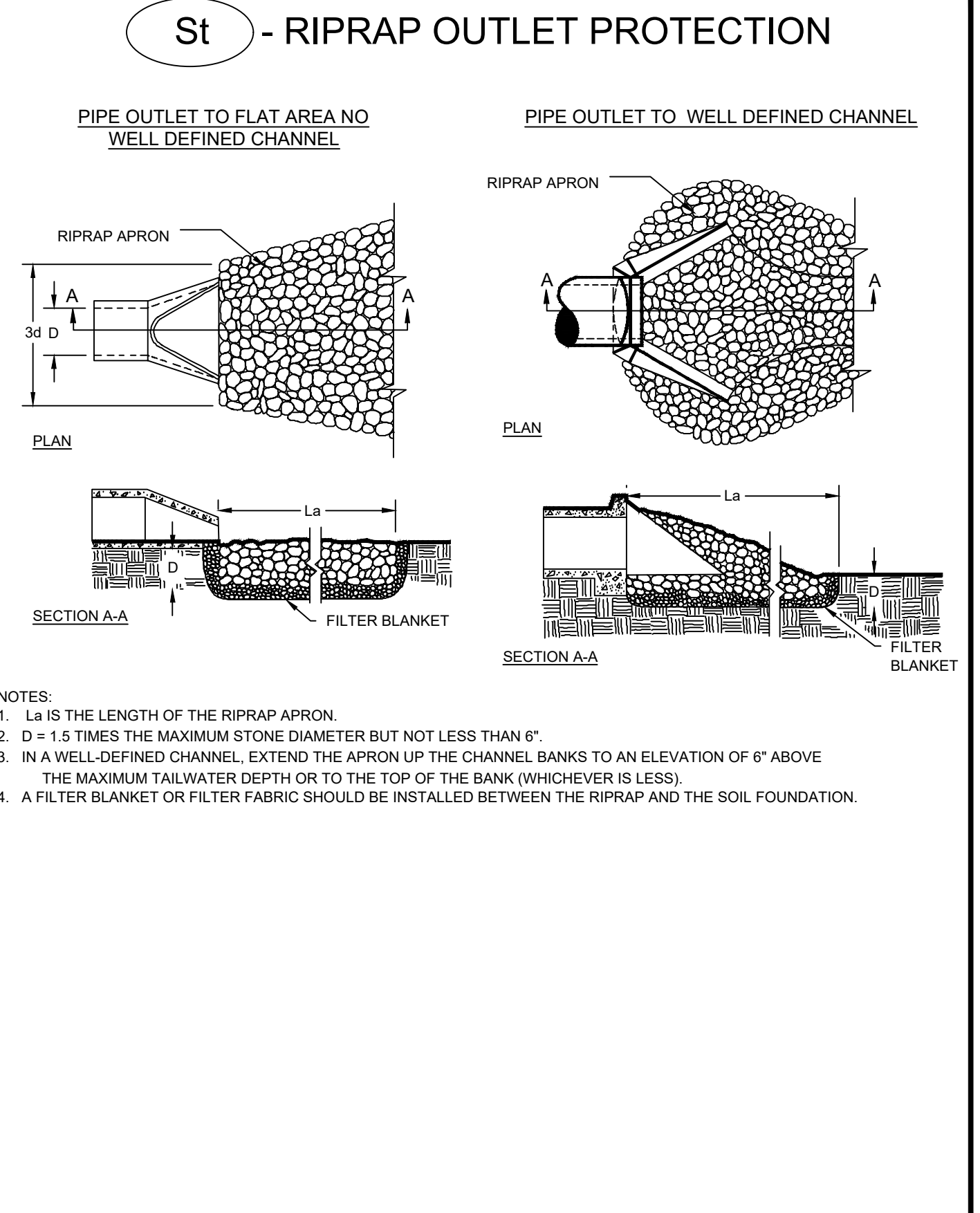
INLET SEDIMENT TRAP - FILTER FABRIC (Sd2-F)



INLET SEDIMENT TRAP - CURB INLET PROTECTION (Sd2-P)



TEMPORARY SEDIMENT TRAP - COMBINATION (Sd4-B)



RIPRAP OUTLET PROTECTION (St)

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Prepared By

DOWNTOWN
DEVELOPMENT AUTHORITY
CITY OF NORCROSS

Sheet Title

Project

EROSION CONTROL DETAILS

BRITT AVENUE OVERFLOW PARKING
BRITT AVENUE NORTHWEST | CITY OF NORCROSS, GEORGIA 30071
PIN 6243 001 & 6243 001A | GWINNETT COUNTY

Revision Table

REVISION

ROBERT W. BARCLIFT
ENGINEER
4/1/24

GSWCC LEVEL II #: 89269
April 1, 2024

C4.4
Sheet Number

Ds1 MULCHING

Ds3	PERMANENT SEEDING
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Ds2	TEMPORARY SEEDING
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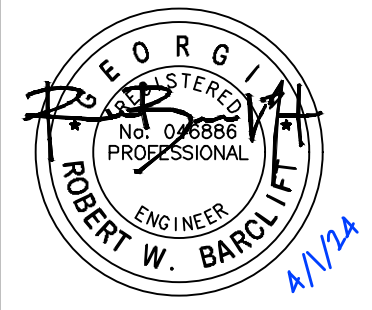
Ds2	TEMPORARY SEEDING
-----	-------------------

PERMANENT GRASSING

Ds3	PERMANENT GRASSING
-----	--------------------

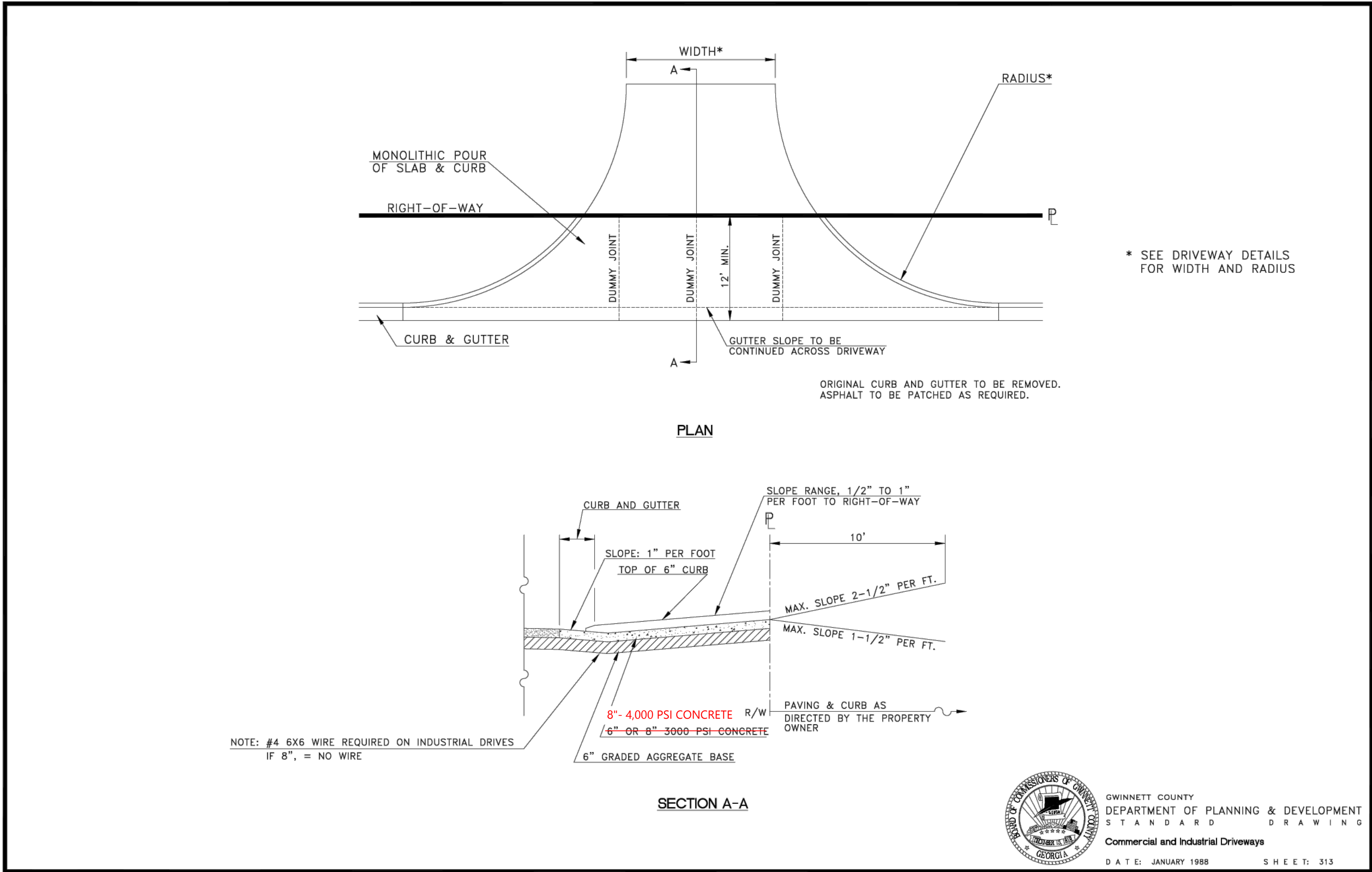


NO.	REVISION



GSWCC LEVEL II #: 89269
April 1, 2024

C5.0
Sheet Number



TYPICAL GRAVELPAVE2 DETAIL

CHOOSE THIS PRODUCT FOR REINFORCING GRAVEL WEARING SURFACES



BASE COURSE MATERIAL RECOMMENDATION

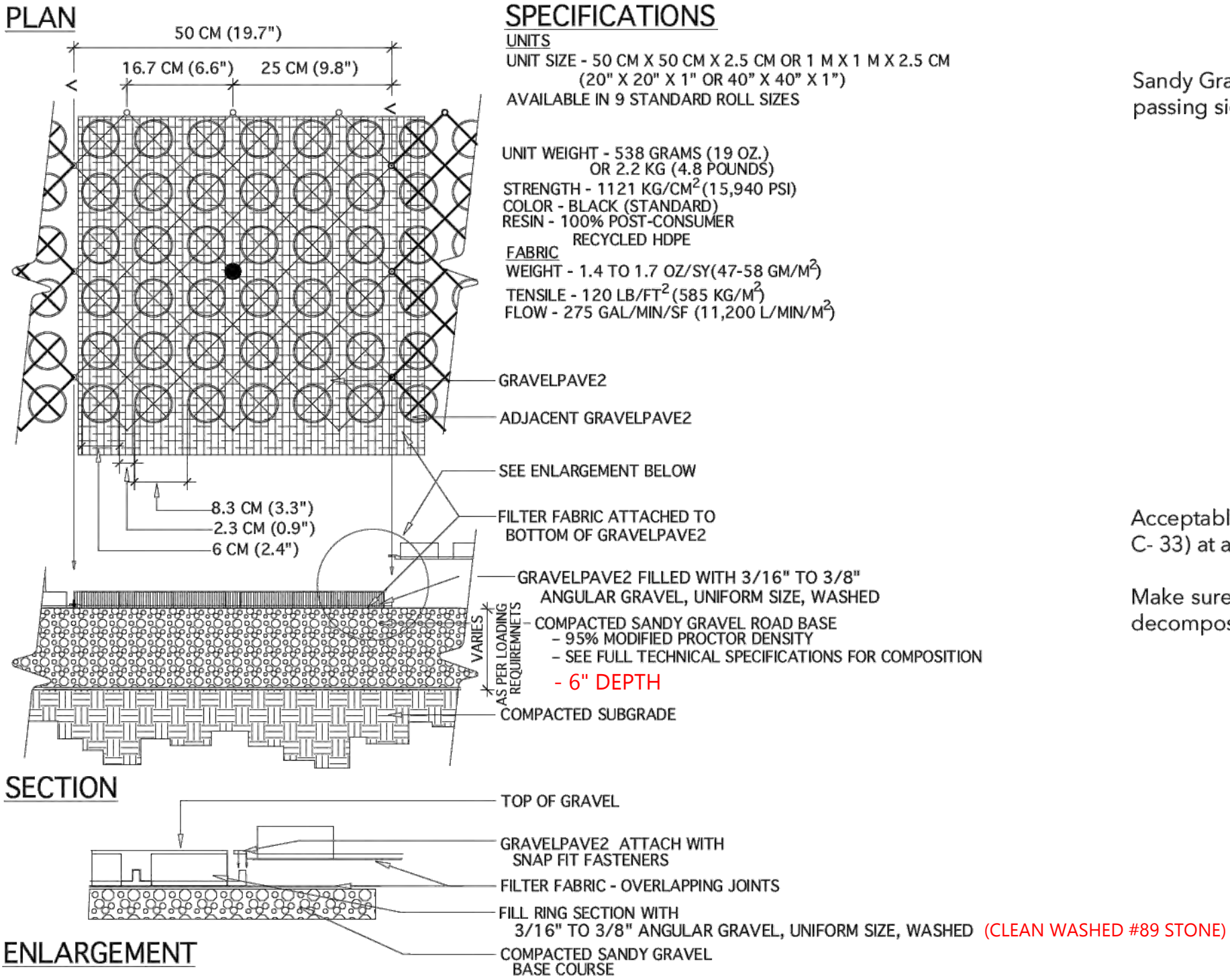
Sandy Gravel material from local sources commonly used for road base construction, passing sieve analysis:

Sieve % Passing

Sieve	% Passing
1"	100
3/4"	80 - 100
3/8"	60 - 80
#4	40 - 60
#10	25 - 40
#40	5 - 25
#200	0 - 5

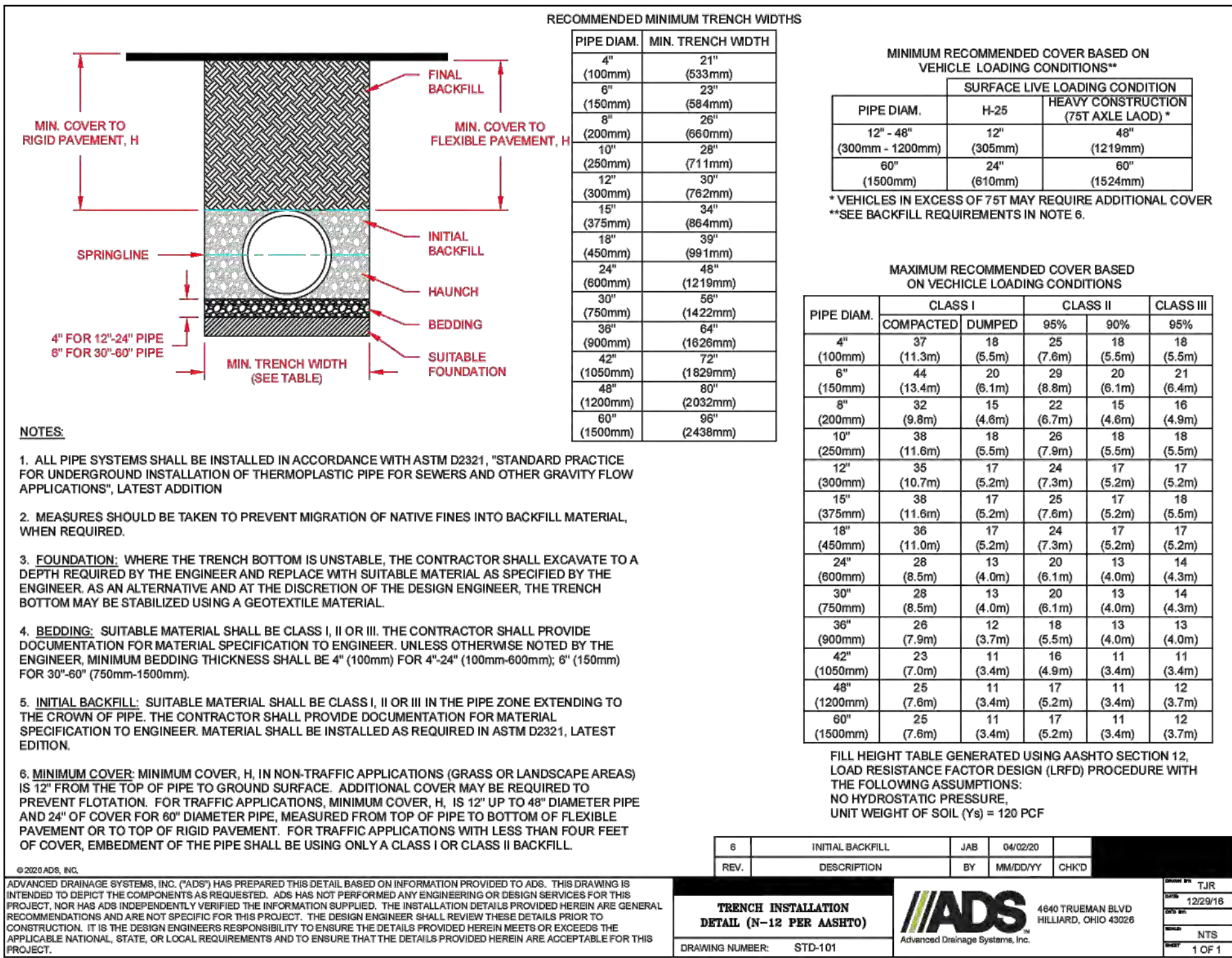
Acceptable alternate base: AASHTO #57 stone mixed with clean, sharp sand (ASTM C- 33) at a rate of 70% stone to 30% sand for full depth of base.

Make sure to avoid using materials such as recycled asphalt, limestone and decomposed granite, as they will cause problems with the porosity and/or pH levels.



NOT TO SCALE

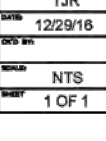
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1 OF 1



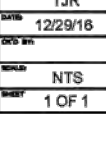
REV.	DESCRIPTION	DATE	BY	CHK'D
1	INITIAL BACKFILL	04/03/20	JMB	CHC
2	TRENCH INSTALLATION	04/03/20	JMB	CHC
3	DETAIL (OF-12 FIB AASHTO)	04/03/20	JMB	CHC
4	GRAPHIC NUMBER	STD-101		



4640 TRULAN BLVD
HAWAII, OHIO 43088
Advanced Drainage Systems, Inc.



303-233-8383
www.invisiblestructures.com
INVT18-090



303-233-8383
www.invisiblestructures.com
INVT18-090

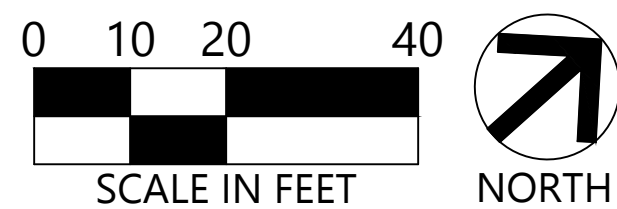


40% TREE CANOPY IS MET WITH EXISTING TREES

1. SPACE STAKES AT INTERVALS SUFFICIENT TO MAINTAIN ALL FENCING OUT OF DRIP LINE OR AS SHOWN BY ENGINEER (SET STAKES NO GREATER THAN 6 FEET ON CENTER-REBAR IS NOT TO BE USED FOR STAKES).
2. MAINTAIN FENCE BY REPAIRING AND/OR REPLACING DAMAGED FENCE. DO NOT REMOVE FENCING PRIOR TO LANDSCAPING OPERATIONS.
3. DO NOT STORE OR STACK MATERIALS, EQUIPMENT, OR VEHICLES WITHIN FENCED AREA.
4. FENCE SHALL BE ORANGE VINYL "SNOW FENCE" 4' HIGH MINIMUM.

TREE PROTECTION FENCE

1. TREE PROTECTION MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL TREE PROTECTION MEASURES WILL BE MAINTAINED AT ALL TIMES. ADDITIONAL TREE PROTECTION MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.
2. THE OWNER OR HOMEOWNERS ASSOCIATION WILL MAINTAIN TREES THROUGHOUT THEIR LIFE USING BEST MANAGEMENT PRACTICE. MAINTENANCE WITHIN THE FIRST THREE (3) YEARS AFTER PLANTING WILL INCLUDE WATERING, MULCHING, AND PRUNING. THE OWNER OR HOMEOWNERS ASSOCIATION SHALL REPLACE ANY PLANTED TREE WHICH DIES DURING THE FIRST THREE YEARS.
3. DECIDUOUS TREES SHALL BE AT LEAST 2-1/2 INCHES IN DIAMETER AND EVERGREEN TREES SHALL BE AT LEAST 6 FEET IN HEIGHT AT TIME OF PLANTING.
4. AN APPROVED RESIDENTIAL DRAINAGE PLAN (RDP) IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT ON THOSE LOTS LABELED "RDP-". AN APPROVED HOLD AND RELEASE AFFIDAVIT IS REQUIRED ON THOSE LOTS LABELED "RDP-" OR RESIDENTIAL DRAINAGE STUDY (RDS). AN ELEVATION CERTIFICATE IS REQUIRED ON LOTS LABELED "RDP-E" AND "RDS-E".
5. TOPPING TREES IS NOT ALLOWED. TREES REMOVED OR HAVING THEIR TOPS CUT AFTER COMPLIANCE WITH THIS ORDINANCE SHALL BE REPLACED WITH THE EQUIVALENT INCHES OF REMOVED TREES.
6. A COMMERCIAL APPLICATOR LICENSE AND A PESTICIDE CONTRACTOR LICENSE ARE REQUIRED BY THE CONTRACTOR IF THE USE OF HERBICIDES ARE NECESSARY FOR NOXIOUS PLANT MATERIAL REMOVAL.
7. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE APPROVAL BY THE CITY OF NORCROSS OF ANY LAND DISTURBING ACTIVITIES WITHIN WETLAND AREAS. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO CONTACT THE APPROPRIATE REGULATORY AGENCY FOR APPROVAL OF ANY WETLAND DISTURBANCE.
8. PER ARTICLE 8, SECTION 8.2.6.B OF THE DEVELOPMENT REGULATIONS, IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN ANY DETENTION FACILITY CONSTRUCTED ON THEIR PROPERTY AND TO ENSURE THE FACILITY IS FREE OF OBSTRUCTION, SILT, OR DEBRIS.
9. A ONE YEAR WARRANTY LETTER OR MAINTENANCE BOND TO COVER REQUIRED LANDSCAPING MUST ALSO BE SUBMITTED WITH THE CERTIFICATE OF DEVELOPMENT CONFORMANCE PACKAGE.
10. ALL BUFFERS AND TREE SAVE AREAS ARE TO BE CLEARLY IDENTIFIED WITH PROTECTIVE FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
11. THINNING IS ALLOWED AND MAY INCLUDE MANUAL REMOVAL OF NON-SPECIMEN TREES WITHIN THE CRITICAL ROOT ZONE OR DRIP-LINE OF THE SPECIMEN TREE IN THE LANDSCAPE INSTALLATION PHASE OF DEVELOPMENT ONLY. THINNING INCLUDES MANUAL REMOVAL (NO MOTORIZED/ WHEELED OR TRACK VEHICLES ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE SPECIMEN TREE).
12. NON-VEGETATIVE MATERIAL TO BE REMOVED MANUALLY.



MOORE
URBAN FORESTRY

151 WOODS ROAD
CLAYTON, GEORGIA 30525
(770) 530-4114
mmoore@mooreurbanforestry.com

PREPARED FOR:

Barclift Consulting

(404) 771-0920

robert@barcliftconsulting.com

PROJECT NAME:

Britt Avenue Overflow
Parking

TASK:

Tree Survey



PROJECT INFORMATION:

Britt Avenue Overflow Parking

Project Name

Project Number

Britt Avenue Northwest

Project Address

Land Lot No.(s)

District

City of Norcross, Gwinnett County, GA
Municipality

DATE								
REVISION								
No.	1	2	3	4	5	6	7	8
TVM DESIGN	AS SHOWN SCALE							
FS DRAWN	T1							
TVM CHECKED								
1/25/2024 DATE	PROJECT No.							

Specimen Tree Survey Data

Specimen Tree ID Number	Size (Inches) DBH	Type (Common Name)	Description (Identification Criteria)	Condition Summary (Excellent, Good, Fair, Poor, Dead)	Not a Specimen (X)
1	31	Red Maple	Rot, Included Bark	Poor	X
2	31	Water Oak	Rot, Included Bark	Poor	X
3	28	Pecan	Included Bark	Poor	X

Description Legend

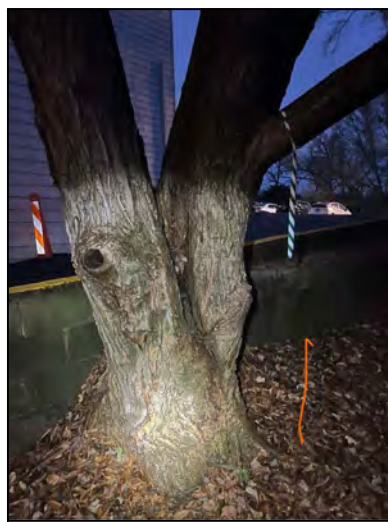
incl	Included Bark
fl	Slime Flux
ff	Fusiform Rust
mdl	Minor Dead Limbs (fair)
MDL	Major Dead Limbs (poor)
mech dam	Mechanical Damage
rot	Rot
wire	Embedded Wire

Tree Legend

		Scientific/Latin
bc	Black Cherry	<i>Prunus serotina</i>
be	Boxelder	<i>Acer negundo</i>
bwlo	Black Willow	<i>Salix nigra</i>
bw	Black Walnut	<i>Juglans nigra</i>
elm	American Elm	<i>Ulmus americana</i>
llp	Loblolly Pine	<i>Pinus taeda</i>
mag	Southern Magnolia	<i>Magnolia grandiflora</i>
mm	Mimosa	<i>Mimosa tenuiflora</i>
rm	Red Maple	<i>Acer rubrum</i>
pec	Pecan	<i>Carya illinoensis</i>
sy/syc	Sycamore	<i>Platanus occidentalis</i>
wo	White Oak	<i>Quercus alba</i>
wto	Water Oak	<i>Quercus nigra</i>

There are 3 specimen sized trees on site. 0 were found to be specimen quality. Trees are flagged with green and white tape approximately 4.5 feet above the ground. The tape indicates their number, DBH, species and condition. I am not aware of any wells located on the site.

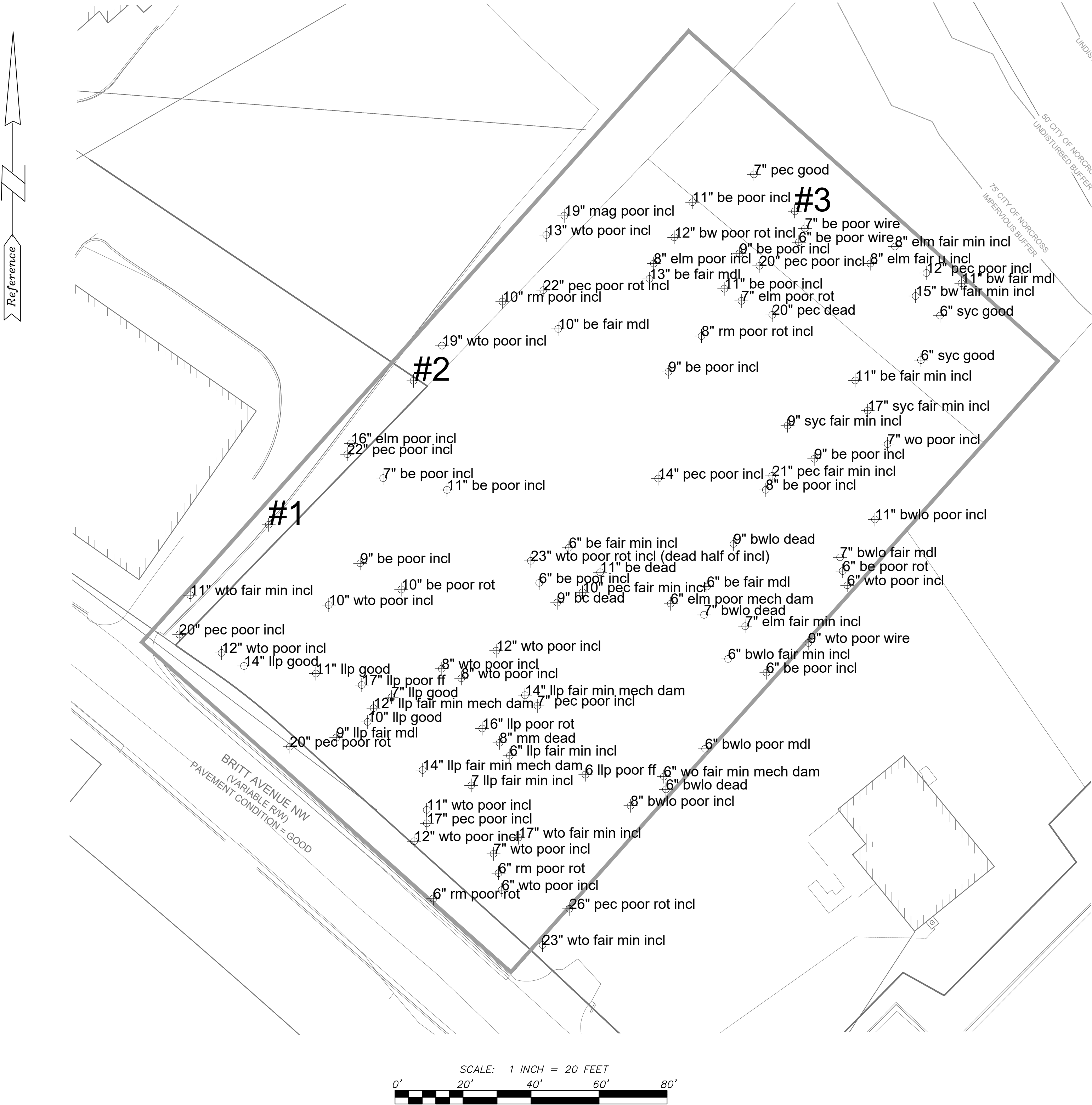
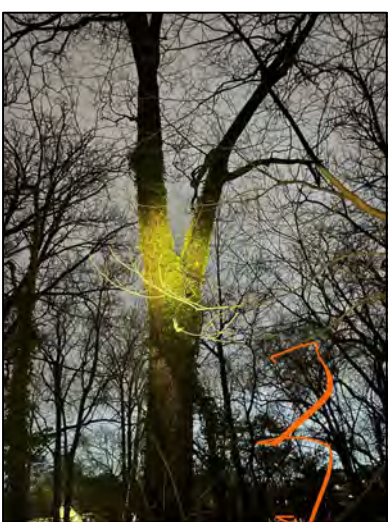
#1



#2



#3



APPENDIX C
ITB PW 25-03
BID FORM

This form is mandatory, and must be included in the bid packet:

Project Name: _____

Total Bid: \$ _____

BIDDER, in compliance with the Invitation to Bid for the construction of this project, having examined the Specifications with related documents and the site of the proposed work, and being familiar with all of the conditions surrounding the construction of the proposed project, including the availability of materials and labor, hereby proposes to furnish all labor, materials and supplies, and to construct the project in accordance with the production and contract requirements, within the time set forth therein, and at the price(s) stated above. This price is to cover all expenses including overhead and profit incurred in performing the work required under the contract documents, of which this proposal is a part.

BIDDER verifies that all information provided in response to this bid package is truthful and accurate to the best of the Bidder's knowledge and belief.

This bid is submitted to the City of Norcross by:

Firm Name: _____

Authorized Representative: _____

Firm Address: _____

Phone Number: _____

APPENDIX D

ITB PW 25-03

STATEMENT OF QUALIFICATIONS AND EQUIPMENT

All questions must be answered. Information given must be clear and comprehensive. If necessary, questions may be answered on separate attached sheets.

About the Firm:

- a. Name of Bidder:
- b. Permanent main office address, email address, & pertinent contact numbers:
- c. How long (years) has your firm been in business under your present name; also, state names and dates of previous firm names, if any; where organized?
- d. Attach a list of your employees with job titles, responsibilities, and years of experience as they relate the requirements of this bid document.
- e. With what bank do you do business?
NOTE: Latest Financial Statements, certified audit, if available, prepared by an independent certified public accountant, or other financial documents or reporting *may* be requested by City. If requested, such statements must be provided within five (5) business days, or the bid proposal will be rejected.

Experience:

- f. Attach a list of 3-5 similar projects completed in the last 5 five years.
- g. Contracts on hand (schedule – showing gross amount of each contract and the approximate anticipated dates of completion).
- h. General character of work performed by your company.
- i. Have you ever failed to complete any work awarded to you, if so, where, and why?
- j. Have you ever defaulted on a Contract, if so, where, and why?
- k. Have you ever failed to complete a project in the time allotment according to the Contract documents, if so, where, and why?
- l. List the most important contracts recently executed by your company, stating approximate cost for each, and the month and year completed.
- m. How long do you warrant a project?

- n. Does your professional liability insurance coverage extend past the completion date and warrant of any project? If yes, for how long?

Approach:

- o. Implementation plan and timeline for the project
- p. List your major equipment available for this contract.
- q. List any subcontractors whom you would expect to use for the contract.

APPENDIX E
ITB PW 25-03
REFERENCE FORM

Please provide accurate information and inform your references that the City of Norcross will follow up to perform reference checks. It will affect your scores if we are not able to contact your references, or they do not respond in time.

The City of Norcross will not serve as a reference, in the event that your Company worked with the City of Norcross previously.

Alternatively, Bidders are welcome to provide four (4) reference letters where they provided the same or similar services. Reference letters must be on official letterhead and signed by the point of contact of the agency where the service was performed.

References for _____

Please provide a list of contact numbers, addresses and a contact person for at least four (4) projects completed (or in progress) having a similar specification and scope of work.

City of Norcross requests a minimum of four (4) references where work of a similar size and scope has been completed (or in progress).

Company Name: _____

Description of Project: _____

Completion Date: _____

Contact Person: _____

Telephone: _____ Fax: _____

Email address: _____

Company Name: _____

Description of Project: _____

Completion Date: _____

Contact Person: _____

Telephone: _____ Fax: _____

Email address: _____

Company Name: _____

Description of Project: _____

Completion Date: _____

Contact Person: _____

Telephone: _____ Fax: _____

Email address: _____

Company Name: _____

Description of Project: _____

Completion Date: _____

Contact Person: _____

Telephone: _____ Fax: _____

Email address: _____

Company Name: _____

Description of Project: _____

Completion Date: _____

Contact Person: _____

Telephone: _____ Fax: _____

Email address: _____

Company Name: _____

Description of Project: _____

Completion Date: _____

Contact Person: _____

Telephone: _____ Fax: _____

Email address: _____

APPENDIX F
ITB PW 25-03
ACKNOWLEDGEMENT OF ADDENDA

The undersigned hereby acknowledges receipt of the following Addenda:

<u>Addendum Number</u>	<u>Dated</u>	<u>Acknowledge Receipt</u> (initial)

☐ No addenda were received:

Acknowledged for:

(Name of Firm)

Signature of Authorized Representative

Name (Print or Type)

Title

Date

Attachment: City of Norcross Packet ITB PW 25-03 (24-7175 : Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03)

APPENDIX G

ITB PW 25-03 PACKET

CHECKLIST

FIRM NAME: _____

PROJECT: _____

DATE: _____

Please use this checklist to ensure you have properly completed all forms and requirements. ***You must complete and attach this checklist to your bid packet. Failure to do so may you render ineligible for consideration.***

_____ Packet Checklist (attached to bid package)

_____ Two Hard Copies & One Electronic Copy of Bid Package (*including completed appendices and all required forms*)

Bid Package Components:

_____ Statement of Qualifications and Equipment (Appendix D)

_____ Bid Form (Appendix C)

_____ References (Form provided in Appendix E or in letter form)

_____ Acknowledgement of Addenda Form (Appendix F)

_____ Bid Bond if bid amount is over \$30,000

_____ Certificate of Liability Insurance

_____ [E-Verify Contractor & SAVE Affidavits](#)

Mail or deliver to:
 Charlene Marsh
 City of Norcross Public Works Department
 345 Lively Avenue
 Norcross, GA 30071
 ITB PW 25-03 – BRITT AVENUE OVERFLOW PARKING LOT

Attachment: City of Norcross Packet ITB PW 25-03 (24-7175 : Gravel Pave Parking Lot, Britt Ave - ITB PW 25-03)



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

Agenda Report

To: Mayor and Council
From: Len Housley, Director of Public Works
Meeting Date: December 2, 2024 – Mayor and Council
Item No.: 24-7175
Title: Gravel Pave Parking Lot, Britt Avenue - ITB PW 25-03
CC: Eric Johnson, City Manager

Recommendation

Reject proposals for contract award ITB PW 25-03, construction of a gravel parking lot on Britt Street, in order to continue funding street resurfacing as a transportation priority.

Background

The Downtown Development Authority (DDA) paid to design a gravel parking lot on DDA property along Britt Avenue. No funding has been identified for construction. Eligible sources are the same as for street resurfacing. On September 3, 2024, Mayor and Council approved release of an invitation to bid (ITB) for the construction of approximately 42 gravel surface pervious parking spaces on the Phase 2 property fronting Britt Ave below the Community Center.

There was a total of 8 bids. Highest \$740,474 - Lowest \$336,500. Lowest bid equates to \$8,011 per parking spot. Currently, there is no funding approved/appropriated for this project. Funding for the project would need to come from a source otherwise eligible to fund street resurfacing.

Intent of project: The parking project was suggested by the DDA to provide added parking for the Community Center, Lionheart Theater, the Norcross Library, Lillian Webb Park events, and a proposed future Truck & Tap at Lillian Webb on the corner of College Street and Britt Avenue.

The DDA has offered to manage the parking if there is a need for paid parking during certain hours.

The estimated total cost of the project prior to ITB was \$325,000 (\$7,500/space).

At this time, there has been no request to the City for supplemental parking from the Norcross Library, the City has not fully used the available parking at City Hall, there is no timeline for construction of the Truck & Tap, and the City recently removed its gravel downtown parking lot due to a preference for a better surface. Britt Avenue was converted to a one-way street, which makes access from the Norcross Library difficult, in order to provide on-street impervious parking directly adjacent to the Park. The justification for gravel parking is presumably an



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
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expectation that the DDA's Phase 2 property will be developed, and the parking lot removed, prior to adequate return on investment in a paved or paver-surfaced lot.

Should some of these factors change, the investment in the design would remain valuable and the City could solicit new proposals.

Financial Impact:

If the City funds the project, funding of \$336,500 plus a 5-10% contingency would be appropriated from the 2023 SPLOST Transportation allocation – which has been the major source of funding for deferred street resurfacing.

Consistent with Comprehensive Plan?

4. Maintains a Vibrant Economy and Continue to Facilitate Job Growth

Attachments

- Bid Tabulation ITB PW 25-03
- City of Norcross Packet ITB PW 25-03

Next Steps

Reassess project and funding in FY26 CIP submission.

Update



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7176	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Storm Water Pipe Repair and Relining on Hammond Drive		

Sponsors:

Code Sections:

Attachments:

1. [Agenda Report - Storm Water Pipe Repair and Relining on Hammond Drive](#)
2. [Dickerson Quote](#)
3. [Civil Constuction and Utilities LLC - Quote](#)
4. [Photos 5946 Hammond Drive](#)

Title
Storm Water Pipe Repair and Relining on Hammond Drive

Drafter
Donald Maxwell

Motion

A motion to Approve/Deny underground stormwater repairs on Hammond Drive at a cost of \$86,975.78, to be funded by the Stormwater Infrastructure fund.



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

Agenda Report

To: Mayor and Council
From: Donald Maxwell, Roads & Stormwater Superintendent
Meeting Date: December 2, 2024 – Mayor and Council
Item No.: 24-7176
Title: Storm Water Pipe Repair and Relining on Hammond Drive
CC: Eric Johnson, City Manager

Recommendation

Approve underground stormwater repairs on Hammond Drive.

Background

The Stormwater Department is making a recommendation of replacing a failing 36 Inch Pipe that is 60 Years old that has caused sinkholes at 5946 Hammond Drive. Adding a Junction Box where a 18 Inch pipe is just cut into the 36 Inch Line. Adding a Drop Inlet to tie back into 36 Inch Line. Then CIPP reline rest of 36 Inch Pipe thru property of 5956 Hammond Drive up to Lanier Blvd. and relining 18 Inch pipe to New Junction Box. Public Works has received two quotes which are attached, and Dickerson is the Lowest.

During the past few years, Public Works has tried to repair this aging line. However the property owner would not Sign Agreement for Right of Entry do to the wording of the legal form. ICW City Attorney's office, a revised Right of Entry Agreement has been prepared. This issue is now a must repair situation due to sinkholes developing on Property.

Financial Impact:

\$86,975.78 taken from Stormwater Infrastructure 500-54320.541400

Consistent with Comprehensive Plan?

1. Continues to define Norcross' sense of place
2. Continues to Strengthen Norcross as a Livable, Inclusive, and Safe Environment
6. Furthers the City's Tradition of Strong Leadership and High Level of Quality Services

Attachments

- Dickerson Quote
- Civil Constuction and Utilities LLC - Quote
- Photos 5946 Hammond Drive

Next Steps: Approve Vendor for repairs

Update

		CITY OF NORCROSS 5990 HAMMOND DR. PIPE REPLACEMENT ESTIMATE				
	DATE: 9/12/24					
BID ITEM	SPECIFICATION SECTION	DESCRIPTION	UNIT		UNIT PRICE	QTY
		SECTION A (COMMON CIVIL WORK)				
		Exploration and Removal Items				
5	02 42 11	Debris removal	CY	15	\$ 40.00	\$600.00
		Clearing and Earthwork				
17	31 23 00	Borrow excavation	CY	30	\$ 40.00	\$1,200.00
18	31 23 00	Spoil removal	CY	30	\$ 40.00	\$1,200.00
20	31 23 00	Classified stone (#57, #5, #4, crusher run, gab, etc.)	TON	126	\$ 78.03	\$9,831.78
		Erosion and Sediment Control				
24	31 25 00	Silt fence type c, complete	LF	50	\$ 4.00	\$200.00
		Site Restoration and Landscaping				
39	32 92 00	Permanent seeding complete	SY	1467	\$ 2.00	\$2,934.00
		Storm Line Television Inspection (For Pipe Investigation Only)				
51		Storm Line TV Inspection	LF	155	\$ 5.00	\$775.00
		Storm Line Cleaning				
54	33 41 13	18" pipe - light	LF	40	\$ 6.00	\$240.00
58	33 41 13	36" pipe - light	LF	115	\$ 6.00	\$690.00
		Point Repairs				
105		Internal pipe point repairs Includes cutting, trimming, jacking, etc.	LF	10	\$ 178.50	\$1,785.00
118	33 41 13	18" aluminum coated	LF	5	\$ 60.00	\$300.00
126	33 41 13	36" aluminum coated	LF	5	\$ 80.00	\$400.00
206	33 41 13	36" smooth lined corrugated high denisty polyethylene (HDPE) pipe	LF	100	\$ 85.00	\$8,500.00
226	33 49 13	Complete manhole, Juntion Box	VF	8	\$ 1,000.00	\$8,000.00
229	33 49 13	Complete drop inlet, Pedstal Top	VF	8	\$ 1,000.00	\$8,000.00
		Roadway Restoration				
275	34 71 10	Driveway restoration, 6" concrete	SY	45	\$ 95.00	\$4,275.00

		Styrene Free Cured In Place pipe Liner, Finished Thickness (12' or Less Depth) Steam Cured				
382		18" pipe - 9.0mm	LF	40	\$ 143.00	\$5,720.00
386		36" pipe - 16.5mm	LF	115	\$ 255.00	#####
		Inversion setup				
396		Inversion setup charge 12" -36" CIPP	EA	2	\$ 1,500.00	\$3,000.00
						\$86,975.78

Civil Construction & Utilities LLC PO BOX 902 Jefferson, Georgia 30549					Customer : Job Name : Contact : Email : Phone :		City of Norcross 5946 Hammond Drive Donald Maxwell donaldt.maxwell@nccrossga.net 770-710-6483		Estimate :# Date : 11/1/24 Purchase Order #	
Phone - 770-560-9026										
Item	Description	Qty	Unit		Total		Qty Completed	Total Billed		
	36" HDPE Pipe Install	70	Linear Feet	\$170.00	\$11,900.00					
	Pedestal Top New	1	Each	\$10,500.00	\$10,500.00					
	Junction Box Installation New	1	Each	\$10,500.00	\$10,500.00					
	Driveway Replacement - 4" Thick	60	Syds	\$110.00	\$6,600.00					
	Sidewalk Removal and Replacement	6.5	Syds	\$85.00	\$552.50					
	Sod Replacement	290	SYD	\$20.00	\$5,800.00					
	Tree Removal	1	Lump Sum	\$1,000.00	\$1,000.00					
	Mobilization	1	Lump Sum	\$4,000.00	\$4,000.00					
	Shoring	1	Lump Sum	\$2,500.00	\$2,500.00					
	Grading Complete - Incl. Removal of debris	1	Lump Sum	\$9,550.00	\$9,550.00					
	Catchbasin Modification on Lanier Blvd for access	1	Lump Sum	\$3,750.00	\$3,750.00					
					\$66,652.50					
	CIPP - SPINCAST									
	CIPP 18" CMP	30	Linear Feet	\$358.00	\$10,740.00					
	CIPP 36" CMP	124	Linear Feet	\$378.00	\$46,872.00					
	CCTV & Light Cleaning 36" Dia	30	Linear Feet	\$21.50	\$645.00					
	CCTV & Light Cleaning 18"-24" Dia	124	Linear Feet	\$23.00	\$2,852.00					
*	Includes 1 Mobilization				\$61,109.00					
	36" Geo, 1.00" Thick, In Lieu of 36" CIPP	124	Linear Feet	\$354.00	\$43,896.00					
*	Includes 1 Mobilization									
*	Engineer Stamped Geopolymer Design Add \$2000.00									
Jason Freeland - President Jason@CC-U.Net Cell - 770-560-9026			This agreement is entered and agreed upon details of the estimate provided. All estimates are valid 30 day upon receipt			Accepted: Customer : _____ Date : _____ Payment Terms Net 30				

5946 Hammond Drive



Attachment: Photos 5946 Hammond Drive (24-7176 : Storm Water Pipe Repair and



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
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City of Norcross

Legislation Details (With Details)

File #:	24-7177	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Disposition of City Sewer Easement in Connection with Development at 5420 Buford Highway		

Sponsors:

Code Sections:

Attachments:

1. [Agenda Report - Disposition of City Sewer Easement in Connection with Development at 5420 Buford Highway](#)
2. [Draft Quit Claim Deed \(subject to approval by Developer and City Attorney's office\);](#)
3. [Survey showing easement within property](#)

Title

Disposition of City Sewer Easement in Connection with Development at 5420 Buford Highway

Drafter

William J. Diehl, Thompson, O'Brien, Kappler & Nasuti, PC Alexis

Motion

A motion to Authorize the Mayor, upon payment of purchase price, to execute a Quit Claim Deed of Sewer Easements held by the City on 5420 Buford Highway in a form approved by the City Attorney.



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

Agenda Report

To: Mayor and Council
From: William J. Diehl, Thompson, O'Brien, Kappler & Nasuti, PC
Meeting Date: December 2, 2024 – Mayor and Council
Item No.: 24-7177
Title: Disposition of City Sewer Easement in Connection with Development at 5420 Buford Highway
CC: Eric Johnson, City Manager

Recommendation

Authorize the Mayor, upon payment of purchase price, to execute a Quit Claim Deed of Sewer Easements held by the City on 5420 Buford Highway in a form approved by the City Attorney.

Background

In May of 2013, the City of Norcross agreed, pursuant to a consent order with Gwinnett County for Service Delivery, to sell its existing Water and Wastewater Systems to Gwinnett County. Since the sale, the City has executed various transfers of sewer easements to perfect the transfer of existing sewer easements held by the City. The property located at 5420 Buford Highway was subject to an older sewer easement agreement. During the course of redevelopment, new sewer lines were constructed and the older, City of Norcross sewer lines were removed. The new sewer lines will be dedicated to Gwinnett County. The City's disposition of the older easements is required before Gwinnett County can accept the dedication.

This agenda item requests that Council authorize the Mayor to execute a quit claim deed transferring the sewer easement to the Developer or its assignees. The sewer easement is no longer viable and has no meaningful value or benefit to the City, as the city has no sewer utility. O.C.G.A. § 36-37-6 authorizes the City to sell remnant parcels and easements that are no longer viable for their permitted uses without engaging in an auction or abandonment process. It is our opinion that this defunct sewer easement is a remnant easement and is exempt from the auction and bidding requirements otherwise required by law when the City disposes of property. Because there is no "upstream" connectivity, there is no requirement that the easement be offered to adjoining property owners.

The developer has agreed to pay to the City \$500, which is reflective of the nominal market value and benefit of the easement plus administrative and legal costs associated with this request.



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

Financial Impact:

None. The developer has offered to pay \$500 to pay a nominal acquisition price and to offset legal and associated costs.

Consistent with Comprehensive Plan?

1. Maintains a Vibrant Economy and Continue to Facilitate Job Growth
2. Ensures that Norcross Residents have a Variety of Attainable, Quality Housing Options
3. Furthers the City's Tradition of Strong Leadership and High Level of Quality Services

Attachments

1. Draft Quit Claim Deed (subject to approval by Developer and City Attorney's office);
2. Survey showing easement within property.

Next Steps

Authorize the Mayor, upon payment of purchase price, to execute a Quit Claim Deed of Sewer Easements held by the City on 5420 Buford Highway in a form approved by the City Attorney.

Update

Since the policy session, Gwinnett located another easement located on the property that must be included. It is similarly situated as the other easements and can be conveyed. The quit claim deed has been updated to provide the book and page of that easement.

AFTER RECORDING, RETURN TO:
 Thompson, O'Brien, Kappler & Nasuti, P.C.
 2 Sun Court, Suite 400
 Peachtree Corners, Georgia 30092
 Attn: William J. Diehl, Esq.

Parcel ID: R6242 012

DEED PREPARATION ONLY
NO TITLE EXAM PERFORMED

QUITCLAIM DEED

STATE OF GEORGIA
 COUNTY OF GWINNETT

THIS INDENTURE, made this ____ day of _____, 202__, between **THE CITY OF NORCROSS, GEORGIA a Georgia municipal corporation**, as party or parties of the first part ("GRANTOR"), and **CRP/AR PROSE 5420 OWNER, LLC, a Delaware Limited Liability Company** as party or parties of the second part (hereinafter, collectively "GRANTEE").

W I T N E S S E T H

WITNESSETH that: GRANTOR, for and in consideration of the sum of ONE DOLLAR (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, by these presents does hereby remise, convey and forever QUITCLAIM unto the said GRANTEE all of the following property, to-wit:

Any and all construction, sewer, or water easements inuring to the benefit of the parcel commonly known as 5420 Buford Highway, Norcross, Georgia (PIN:R6242 012) (the "Property"), including but not limited to those easements located within the Property described in the Easements filed in Deed Book 1531, Page 23, Deed Book 1875, Page 292, Deed Book 1530, Page 261, Deed Book 1875, Page 294. Such easements are illustrated in the attached Exhibit A. For the avoidance of doubt this quit claim shall dispose of any other sewer or water easement inuring to the Property held at the time of execution by the Grantor

TO HAVE AND TO HOLD the said described premises to GRANTEE, so that neither GRANTOR nor any person or person claiming under GRANTOR shall at any time, by any means or ways, have, claim or demand any right or title to said premises or appurtenances, or any rights thereof.

IN WITNESS WHEREOF, the said GRANTOR has hereunto set her hand and affixed her seal the day and year first above written.

Signed, sealed and delivered on the date
above first written in the presence of:

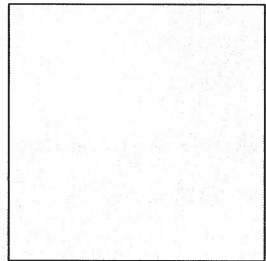
Witness

Hon. Craig Newton, Mayor
City of Norcross, Georgia

Notary Public
My Commission Expires:

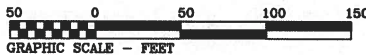
[Notary Seal]

Exhibit A
Survey of Easements



RESERVED FOR CLERK OF SUPERIOR COURT RECORDING INFORMATION

- LEGEND**
- IPF IRON PIN FOUND
 - IPS IRON PIN SET
 - REBAR REBAR
 - OTP OPEN TOP PIPE
 - R/W RIGHT OF WAY
 - MH MANHOLE
 - CB CATCH BASIN
 - DI DROP INLET
 - JB JUNCTION BOX
 - RTDI RAISED TOP DROP INLET
 - HW HEADWALL
 - CMP CORRUGATED METAL PIPE
 - RCP REINFORCED CONCRETE PIPE
 - DIP DUCTILE IRON PIPE
 - TH FIRE HYDRANT
 - WM WATER METER
 - WV WATER VALVE
 - GV GAS VALVE
 - 24" C&G 24" CURB & GUTTER
 - GUY GUY WIRE
 - PP POWER POLE
 - LP LIGHT POLE
 - FL FENCE LINE
 - TEL TELEPHONE LINE
 - WL WATER LINE
 - 11 REGULAR PARKING SPACES
 - 1 HANDICAP PARKING SPACE
 - TRANSFORMER
 - CONCRETE PAVING



LEGAL DESCRIPTION

All that tract or parcel of land lying and being in Land Lots 241 and 242 of the 6th District, City of Norcross, Gwinnett County, Georgia and being more particularly described as follows:

Beginning at an iron pin set at the intersection of the southeasterly Right of Way of Buford Highway U.S. Highway 23 and State Route 13 (Variable R/W) and the Land Line line common to Land Lots 241 and 242; thence leaving said Land Lot line and running along said right of Way North 46° 25' 43" East a distance of 173.17 feet to an iron pin set; thence leaving said Right of Way South 34° 51' 35" East a distance of 146.61 feet to an iron pin set; thence North 55° 04' 53" East a distance of 74.86 feet to a 1" open top pipe found; thence South 35° 04' 26" East a distance of 149.83 feet to an iron pin set; thence North 54° 58' 25" East a distance of 100.00 feet to an iron pin set; thence South 35° 03' 34" East a distance of 325.89 feet to an iron pin set; thence South 55° 33' 54" West a distance of 99.37 feet to a 1 1/2" rebar found; thence South 55° 54' 03" West a distance of 299.58 feet to a 1 1/2" open top pipe found on the aforementioned Land Lot line common to Land Lots 241 and 242; thence leaving said Land Lot line South 62° 14' 07" West a distance of 135.03 feet to a point; thence South 63° 11' 15" West a distance of 118.96 feet to a 1" rod found; thence South 53° 40' 32" West a distance of 53.69 feet to an iron pin set; thence North 31° 57' 05" West a distance of 199.80 feet to an iron pin set; thence North 32° 00' 37" West a distance of 314.79 feet to an iron pin set on the aforementioned Right of Way of Buford Highway; thence running along said Right of Way the following courses: North 47° 17' 31" East a distance of 55.00 feet to a 1 1/2" open top pipe found; thence North 47° 10' 45" East a distance of 132.40 feet to a point; thence North 49° 48' 56" East a distance of 50.09 feet to an iron pin set; thence North 46° 22' 55" East a distance of 17.00 feet to an iron pin set; thence South 43° 37' 05" East a distance of 47.00 feet to an iron pin set; thence North 46° 22' 55" East a distance of 20.00 feet to an iron pin set; thence North 43° 37' 05" West a distance of 47.00 feet to an iron pin set; thence North 46° 25' 43" East a distance of 59.50 feet to the TRUE POINT OF BEGINNING. Said tract contains 8.285 Acres (360,874 Square Feet).

CONFORMITY STATEMENT

This survey was prepared in conformity with The Technical Standards for Property Surveys in Georgia as set forth in Chapter 180-7 of the Rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in the Georgia Plat Act O.C.G.A. 15-6-67.

REFERENCES

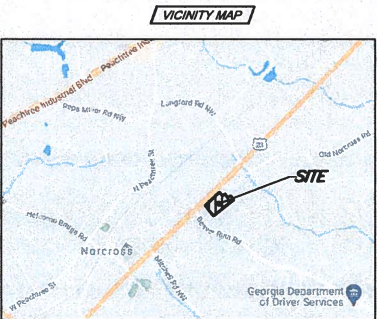
- ALTA/NSPS LAND TITLE SURVEY FOR ALLIANCE REALTY PARTNERS, LLC PREPARED BY TECHNICAL SURVEY SERVICES, INC., DATED SEPTEMBER 2, 2021.
- ALTA/NSPS LAND TITLE SURVEY FOR NORCROSS REALTY DEVELOPMENT, LLC PREPARED BY MCFARLAND-DRYER & ASSOCIATES DATED JULY 10, 2020.

FLOOD NOTE

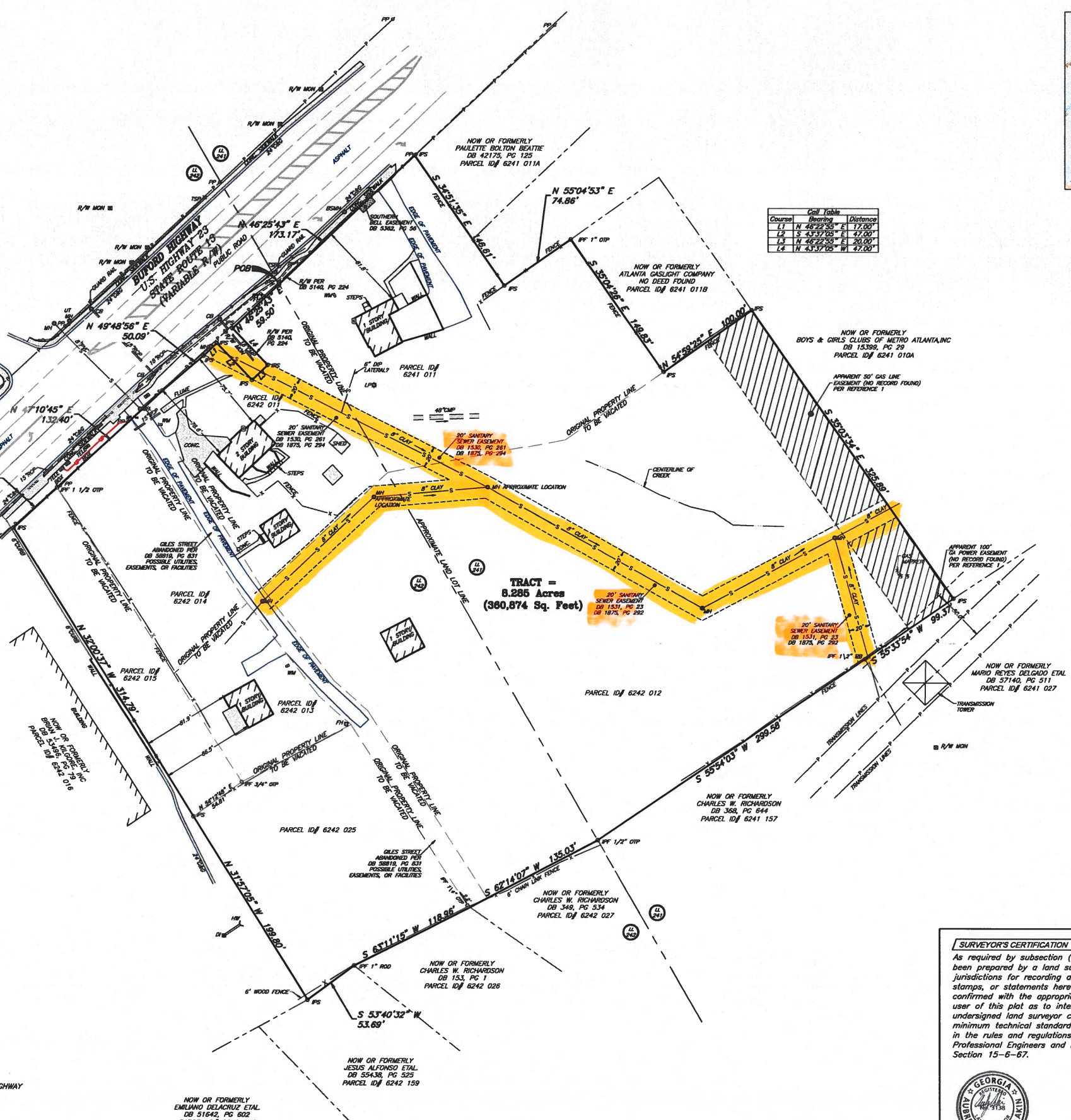
THE SUBJECT PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA PER FIRM MAP NUMBER 13135C00826, DATED MARCH 4, 2013. THE SUBJECT PROPERTY LIES WITHIN A ZONE X, WHICH IS DEFINED AS AREAS OUTSIDE THE 500 YEAR FLOODPLAIN.

ZONING NOTE

THE SUBJECT PROPERTY IS ZONED BH (BUFORD HIGHWAY MIXED USE AND COMMERCIAL DISTRICT).



Course	Bearing	Distance
L1	N 46°22'35" E	17.00'
L2	S 43°37'05" E	47.00'
L3	N 46°22'55" E	20.00'
L4	N 43°37'05" W	47.00'



SURVEYOR'S CERTIFICATION

As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions for recording as evidenced by approval certificates, signatures, stamps, or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as to intended use of any parcel. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.



Aubrey J. Akin, GA RLS #3138

June 21, 2022
Date



1641 Autumn Blvd, SW
Norcross, Georgia 30012
(770) 922-6391
info@tss-all.com
www.tss-all.com

Date	
Revision	
No	
Orig Bndry: 8/10/2021	
Field Date: 8/27/2021	
Plat Date: 06/23/2022	
Scale: 1"=50'	

LOT CONSOLIDATION PLAT
FOR
ALLIANCE REALTY PARTNERS, LLC
LAND LOTS 241 & 242 6th DISTRICT
CITY OF NORCROSS, GWINNETT COUNTY, GEORGIA

1

SHEET 1 OF 1

JOB #: 2021-813

CRD: BUFORDHWY

DWG: AL

LSV: KAY



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Phillip

City of Norcross

Legislation Details (With Details)

File #:	24-7181	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Financial Services Agreement with Piper Sandler		

Sponsors:

Code Sections:

Attachments:

1. [Agenda Report - Financial Services Agreement](#)
2. [FA Agreement GA City of Norcross 102924 v2](#)

Title

Financial Services Agreement with Piper Sandler

Drafter

Mayor Craig Newton

Motion

A motion to Approve/Deny the attached financial services agreement with Piper Sandler.



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

Agenda Report

To: City Council

From: Mayor Craig Newton

Meeting Date: December 2, 2024 – Mayor and Council

Item No.: 24-7181

Title: Approval of a Financial Services Agreement with Piper Sandler

CC: Eric Johnson, City Manager

Recommendation

Request approval of an agreement for financial services with Piper Sandler.

Background

Piper Sandler has served as the city's financial advisor for several years, which has been essential because of its proven track record in managing complex financial matters. Retaining the same advisor for the city and the DDA brings added value by creating a unified strategy across both entities, enhancing coordination, and reducing duplication of efforts. Piper Sandler brings extensive expertise and a deep understanding of the city's financial landscape, which will significantly benefit our financial management. Their familiarity with the city's specific goals and challenges has been invaluable in navigating intricate financial issues effectively and efficiently, instilling confidence in our financial decisions.

Financial Impact:

Hourly services are provided at the rate of \$250 per hour. For issuance of debt, a fee of \$10.00 per \$1,000 principal amount of debt issued plus out-of-pocket expenses approved by the City.

Consistent with Comprehensive Plan?

6. Furthers the City's Tradition of Strong Leadership and High Level of Quality Services

Attachments

FA Agreement GA City of Norcross

Next Steps

Update

FINANCIAL SERVICES AGREEMENT

This Financial Services Agreement, (the Agreement) is entered into on November ____, 2024 by and between City of Norcross, Georgia (the Client) and Piper Sandler & Co. (Piper Sandler or the Financial Services Provider). This Agreement will serve as our mutual agreement with respect to the terms and conditions of our engagement as your financial services provider, effective on the date this Agreement is executed (the Effective Date).

I. Scope of Services.

(A) **Services to be provided.** Piper Sandler is engaged by the Client to provide services with respect to the planned issuance of the Client's bonds to be issued from time to time during the term of this Agreement (the Issue(s))

(B) **Scope of Services.** The Scope of Services to be provided respecting the Issue(s) may consist of the following, if directed by the Client:

1. Evaluate options or alternatives with respect to the proposed new Issue(s),
2. Review recommendations made by other parties to the Client with respect to the new Issue(s).¹
3. Consult with and/or advise the Client on actual or potential changes in market place practices, market conditions or other matters that may have an impact on the Issues or Products.
4. Assist the Client in establishing a plan of financing
5. Assist the Client in establishing the structure, timing, terms and other similar matters concerning the Issue
6. Prepare the financing schedule
7. Provide assistance as to scheduling, coordinating and meeting procedural requirements relating to any required bond referendum
8. Consult and meet with representatives of the Client and its agents or consultants with respect to the Issue
9. Attend meetings of the Client's governing body, as requested
10. Advise the Client on the manner of sale of the Issue
11. Make arrangements for printing, advertising and other vendor services necessary or appropriate in connection with the Issue
12. In a competitive bid sale, prepare the bid package, obtain CUSIP numbers, assist the Client in collecting and analyzing bids submitted by underwriters and in connection with the Client's selection of a winning bidder
13. At the time of sale, provide the Client with relevant data on comparable issues recently or currently being sold nationally and by comparable Clients
14. In a negotiated sale, coordinate pre-pricing discussions, supervise the sale process, advise the Client on matters relating to retail or other order periods and syndicate priorities, review the order book, and if directed by the Client, advise on the acceptability of the underwriter's pricing and offer to purchase
15. Assist the Client in identifying an underwriter in a negotiated sale or other deal participants such as an escrow agent, accountant, feasibility consultant, etc. to work on the Issue
16. Respond to questions from underwriters
17. Arrange and facilitate visits to, prepare materials for, and make recommendations to the Client in connection with credit ratings agencies, insurers and other credit or liquidity providers
18. Coordinate working group sessions, closing, delivery of the new Issue and transfer of funds

¹¹ **Note:** The acceptance of this duty will require you to document in writing the suitability or non-suitability of the third party recommendation.

19. Prepare a closing memorandum or transaction summary
20. Advise Client on potential refunding or other refinancing opportunities of its outstanding Issue(s)
21. If directed by the Client, review recommendations made by third parties with respect to outstanding issue(s)²
22. Consult with and/or advise Client on actual or potential changes in market place practices, market conditions or other matters that may have an impact on Client's outstanding Issue(s)
23. Advise Client on post-issuance disclosure compliance matters, including specific issues that may arise from time to time and the preparation, review and revision of applicable policies and procedures, relating to outstanding Issue(s)
24. Assist Client in responding to inquiries from investors or other market participants in connection with Client's outstanding Issue(s)
25. Advise on the Client's budget and other financial issues.
26. Assist with economic incentives to include tax abatement calculations and meeting with economic development prospects.

For Services Respecting Official Statement.

Piper Sandler has not assumed responsibility for preparing or certifying as to the accuracy or completeness of any preliminary or final official statement, other than with respect to written information about Piper Sandler as the municipal advisor if provided by Piper Sandler in writing for inclusion in such documents.

II. Limitations on Scope of Services. In order to clarify the extent of our relationship, Piper Sandler is required under MSRB Rule G-42³ to describe any limitations on the scope of the activities to be performed for you. Accordingly, the Scope of Services are subject to the following limitations:

The Scope of Services is limited solely to the services described herein and is subject to limitations set forth within the descriptions of the Scope of Services. Any duties created by this Agreement do not extend beyond the Scope of Services or to any other contract, agreement, relationship, or understanding, if any, of any nature between the Client and the Financial Services Provider.

To assist us in complying with our duties to our regulators, you agree that if we are asked to evaluate the advice or recommendations of third parties, you will provide us written direction to do so.

The Scope of Services does not include tax, legal, accounting or engineering advice with respect to any Issue or Product or in connection with any opinion or certificate rendered by counsel or any other person at closing.

III. Amending Scope of Services. The Scope of Services may be changed only by written amendment or supplement. The parties agree to amend or supplement the Scope of Services promptly to reflect any material changes or additions to the Scope of Services.

IV. Compensation. Compensation for the services rendered pursuant to this Agreement, the Client shall pay the Financial Services Provider a fee of \$250.00 per hour.

For issuance of debt, where Financial Services Provider serves as Financial Advisor, a fee of \$10.00 per \$1,000 principal amount of debt issued plus reasonable and direct out of pocket expenses approved in advance by the Client.

Compensation is based on a fixed fee contingent on size of bond issue and/or hourly fee, if applicable. For tax abatement transactions, the fee will be mutually agreed to by the parties.

² **Note:** The acceptance of this duty will require you to document in writing the suitability or non-suitability of the third party recommendation.

³ See MSRB Rule G-42(c)(v).

V. IRMA Matters. If the Client has designated Piper Sandler as its independent registered municipal advisor ("IRMA") for purposes of SEC Rule 15Ba1-1(d)(3)(vi) (the "IRMA exemption"), the extent of the IRMA exemption is limited to the Scope of Services and any limitations thereto. Any reference to Piper Sandler, its personnel and its role as IRMA in the written representation of the Client contemplated under SEC Rule 15Ba1-1(d)(3)(vi)(B) is subject to prior approval by Piper Sandler and Client agrees not to represent, publicly or to any specific person, that Piper Sandler is Client's IRMA with respect to any aspect of municipal financial products or the issuance of municipal securities, or with respect to any specific municipal financial product or any specific issuance of municipal securities, outside the Scope of Services without Piper Sandler's prior written consent.

VI. Piper Sandler's Regulatory Duties When Servicing the Client. MSRB Rule G-42 requires that Piper Sandler undertake certain inquiries or investigations of and relating to the Client in order for Piper Sandler to fulfill certain aspects of the fiduciary duty owed to the Client. Such inquiries generally are triggered: (a) by the requirement that Piper Sandler know the essential facts about the Client and the authority of each person acting on behalf of the Client so as to effectively service the relationship with the Client, to act in accordance with any special directions from the Client, to understand the authority of each person acting on behalf of the Client, and to comply with applicable laws, regulations and rules; (b) when Piper Sandler undertakes a determination of suitability of any recommendation made by Piper Sandler to the Client, if any or by others that Piper Sandler reviews for the Client, if any; (c) when making any representations, including with regard to matters pertaining to the Client or any Issue or Product; and (d) when providing any information in connection with the preparation of the preliminary or final official statement, including information about the Client, its financial condition, its operational status and its municipal securities or municipal financial products. Specifically, Client agrees to provide to Piper Sandler any documents on which the Client has relied in connection with any certification it may make with respect to the accuracy and completeness of any Official Statement for the Issue.

Client agrees to cooperate, and to cause its agents to cooperate, with Piper Sandler in carrying out these duties to inquire or investigate, including providing to Piper Sandler accurate and complete information and reasonable access to relevant documents, other information and personnel needed to fulfill such duties.

In addition, the Client agrees that, to the extent the Client seeks to have Piper Sandler provide advice with regard to any recommendation made by a third party, the Client will provide to Piper Sandler written direction to do so as well as any information it has received from such third party relating to its recommendation.

VII. Expenses. Piper Sandler will be responsible for all of Piper Sandler's out-of-pocket expenses unless otherwise agreed upon or if travel is directed by Client. If travel is directed by the Client, Client will reimburse Piper Sandler for their reasonable and direct expenses. In the event a new issue of securities is contemplated by this Agreement, Client will be responsible for the payment of all fees and expenses commonly known as costs of issuance, including but not limited to: publication expenses, local legal counsel, bond counsel, ratings, credit enhancement, travel associated with securing any rating or credit enhancement, printing of bonds, printing and distribution of required disclosure documents, trustee fees, paying agent fees, CUSIP registration, and the like. Client will be advised actual amounts of issuance costs by Piper Sandler prior to expenditure and will approve all costs prior to such expenditure.

The Client will reimburse Piper Sandler in addition to the fees outlined in this section for the preparation, distribution, printing and mailing costs associated with the preliminary and final official statement for the Issue contemplated herein, when applicable.

VIII. Term of Agreement. The initial term of this Agreement shall begin on the Effective Date and shall terminate absolutely and without further obligation on the part of the Client at the close of the fiscal year in which it was executed and at the close of each succeeding fiscal year for which it may be automatically renewed unless the Client gives notice of its intent to terminate this Agreement thirty (30) days prior to the end of each fiscal year, or, unless earlier terminated in mid-term as provided below

The contract shall not be renewed beyond November 30, 2034.

This Agreement may be terminated with or without cause by either party upon the giving of at least thirty (30) days prior written notice to the other party of its intention to terminate, specifying in such notice the

effective date of such termination. All fees due to Piper Sandler shall be due and payable upon termination. Upon termination, the obligations of Piper Sandler under this Agreement, including any amendment shall terminate immediately and Piper Sandler shall thereafter have no continuing fiduciary or other duties to the Client. The provisions of Sections IV, VII, XII, XIV, XV and XVII shall survive termination of this Agreement.

IX. Independent Contractor. The Financial Services Provider is an independent contractor and nothing herein contained shall constitute or designate the Financial Services Provider or any of its employees or agents as employees or agents of the Client.

X. Entire Agreement/Amendments. This Agreement, including any amendments and Appendices hereto which are expressly incorporated herein, constitute the entire Agreement between the parties hereto and sets forth the rights, duties, and obligations of each to the other as of this date. Any prior agreements, promises, negotiations, or representations not expressly set forth in this Agreement are of no force and effect. This Agreement may not be modified except by a writing executed by both the Financial Services Provider and Client.

XI. Required Disclosures. MSRB Rule G-42 requires that Piper Sandler provide you with disclosures of material conflicts of interest and of information regarding certain legal events and disciplinary history. Such disclosures are provided in Piper Sandler's Disclosure Statement attached as Appendix A to this Agreement.

XII. Limitation of Liability. In the absence of willful misconduct, bad faith, gross negligence or reckless disregard of obligations or duties hereunder on the part of Piper Sandler or any of its associated persons, Piper Sandler and its associated persons shall have no liability to the Client for any act or omission in the course of, or connected with, rendering services hereunder, or for any error of judgment or mistake of law, or for any loss arising out of any issuance of municipal securities, any municipal financial product or any other investment, or for any financial or other damages resulting from the Client's election to act or not to act, as the case may be, contrary to any advice or recommendation provided by Piper Sandler to the Client. No recourse shall be had against Piper Sandler for loss, damage, liability, cost or expense (whether direct, indirect or consequential) of the Client arising out of or in defending, prosecuting, negotiating or responding to any inquiry, questionnaire, audit, suit, action, or other proceeding brought or received from the Internal Revenue Service in connection with any Issue or Product, if any or otherwise relating to the tax treatment of any Issue or Product if any, or in connection with any opinion or certificate rendered by counsel or any other party. Notwithstanding the foregoing, nothing contained in this paragraph or elsewhere in this Agreement shall constitute a waiver by Client of any of its legal rights under applicable U.S. federal securities laws or any other laws whose applicability is not permitted to be contractually waived, nor shall it constitute a waiver or diminution of Piper Sandler's fiduciary duty to Client under Section 15B(c)(1), if applicable, of the Securities Exchange Act of 1934, as amended, and the rules thereunder.

XIII. Indemnification. Unless prohibited by law, the Client hereby indemnifies and holds harmless the Financial Services Provider, each individual, corporation, partnership, trust, association or other entity controlling the Financial Services Provider, any affiliate of the Financial Services Provider or any such controlling entity and their respective directors, officers, employees, partners, incorporators, shareholders, trustees and agents (hereinafter the "Indemnitees") against any and all liabilities, penalties, suits, causes of action, losses, damages, claims, costs and expenses (including, without limitation, fees and disbursements of counsel) or judgments of whatever kind or nature (each a "Claim"), imposed upon, incurred by or asserted against the Indemnitees arising out of or based upon (i) any allegation that any information in the Preliminary Official Statement or Final Official Statement contained (as of any relevant time) an untrue statement of a material fact or omitted (as of any relevant time) or omits to state any material fact necessary to make the statements therein, in light of the circumstances under which they were made, not misleading.

XIV. Official Statement. The Client acknowledges and understands that state and federal laws relating to disclosure in connection with municipal securities, including but not limited to the Securities Act of 1933 and Rule 10b-5 promulgated under the Securities Exchange Act of 1934, may apply to the Client and that the failure of the Financial Services Provider to advise the Client respecting these laws shall not constitute a breach by the Financial Services Provider or any of its duties and responsibilities under this Agreement. The Client acknowledges that any Official Statement distributed in connection with an issuance of securities are statements of the Client and not of Piper Sandler.

XV. Notices. Any written notice or communications required or permitted by this Agreement or by law to be served on, given to, or delivered to either party hereto, by the other party shall be in writing and shall be deemed duly served, given, or delivered when personally delivered to the party to whom it is addressed or in lieu of such personal services, when deposited in the United States' mail, first-class postage prepaid, addressed to the Client at:

City of Norcross
65 Lawrenceville Street
Norcross, GA 30071

Craig Newton, Mayor
770.448.2122
cnewton@norcrossga.net

Or to the Financial Services Provider at:

Piper Sandler & Co.
1442 Dresden Drive, Suite 257
Atlanta, GA 30319

Ed Wall, Managing Director
404 405-1567
Edmund.Wall@psc.com

With a copy to:

Piper Sandler & Co.
Legal Department
800 Nicollet Mall, Suite 900
Minneapolis, MN 55402

XVI. Consent to Jurisdiction; Service of Process. The parties each hereby (a) submits to the jurisdiction of any State or Federal court sitting in the state of Georgia for the resolution of any claim or dispute with respect to or arising out of or relating to this Agreement or the relationship between the parties (b) agrees that all claims with respect to such actions or proceedings may be heard and determined in such court, (c) waives the defense of an inconvenient forum, (d) agrees not to commence any action or proceeding relating to this Agreement other than in a State or Federal court sitting in the State of Georgia and (e) agrees that a final judgment in any such action or proceeding shall be conclusive and may be enforced in other jurisdictions by suit on the judgment or in any other manner provided by law.

XVII. Choice of Law. This Agreement shall be construed and given effect in accordance with the laws of the State of Georgia.

XVIII. Counterparts; Severability. This Agreement may be executed in two or more separate counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. Any term or provision of this Agreement which is invalid or unenforceable in any jurisdiction shall, as to such jurisdiction, be ineffective to the extent of such invalidity or unenforceability without rendering invalid or unenforceable the remaining terms and provisions of this Agreement or affecting the validity or enforceability of any of the terms or provisions of this Agreement in any other jurisdiction.

XIX. Waiver of Jury Trial. THE PARTIES EACH HEREBY AGREES TO WAIVE ANY RIGHT TO A TRIAL BY JURY WITH RESPECT TO ANY CLAIM, COUNTERCLAIM OR ACTION ARISING OUT OF OR IN CONNECTION WITH THIS AGREEMENT OR THE TRANSACTIONS CONTEMPLATED HEREBY OR THE RELATIONSHIP BETWEEN THE PARTIES. PARTIES AGREE TO WAIVE CONSEQUENTIAL AND PUNITIVE DAMAGES.

XX. No Third Party Beneficiary. This Agreement is made solely for the benefit of the parties and their respective successors and permitted assigns. Nothing in this Agreement, express or implied, is intended to confer on any person, other than the parties and their respective successors and permitted assigns, any rights, remedies, obligations or liabilities under or by reason of this Agreement.

XXI. Authority. The undersigned represents and warrants that they have full legal authority to execute this Agreement on behalf of the Client.

Craig Newton, Mayor

The following individual(s) at the Client have the authority to direct Piper Sandler's performance of its activities under this Agreement:

Craig Newton, Mayor
Eric Johnson, City Manager

The following individuals at Piper Sandler have the authority to direct Piper Sandler's performance of its activities under this Agreement:

Ed Wall, Managing Director

IN WITNESS WHEREOF, the parties have executed this Agreement on the date first above written. By the signature of its representative below, each party affirms that it has taken all necessary action to authorize said representative to execute this Agreement.

PIPER SANDLER & CO.

By: 
Ed Wall
Its: Managing Director
Date: October 29, 2024

ACCEPTED AND AGREED:

CITY OF NORCROSS, GEORGIA

By: _____
Craig Newton
Its: Mayor
Date: _____

Piper Sandler & Co. is registered with the U.S. Securities and Exchange Commission and the Municipal Securities Rulemaking Board ("MSRB"). A brochure is posted on the website of the MSRB, at www.msrb.org that describes the protections that may be provided by MSRB rules and how to file a complaint with an appropriate regulatory authority.

APPENDIX A – DISCLOSURE STATEMENT

Municipal Securities Rulemaking Board Rule G-42 (the Rule) requires that Piper Sandler provide you with the following disclosures of material conflicts of interest and of information regarding certain legal events and disciplinary history. Accordingly, this Appendix A provides information regarding conflicts of interest and legal or disciplinary events of Piper Sandler required to be disclosed to pursuant to MSRB Rule G-42(b) and (c)(ii).

(A) **Disclosures of Conflicts of Interest.** The Rule requires that Piper Sandler provide to you disclosures relating to any actual or potential material conflicts of interest, including certain categories of potential conflicts of interest identified in the Rule, if applicable. If no such material conflicts of interest are known to exist based on the exercise of reasonable diligence by us, Piper Sandler is required to provide a written statement to that effect.

Accordingly, we make the following disclosures with respect to material conflicts of interest in connection with the Scope of Services under the Agreement, together with explanations of how we address or intend to manage or mitigate each conflict. To that end, with respect to all of the conflicts disclosed below, we mitigate such conflicts through our adherence to our fiduciary duty to you in connection with municipal advisory activities, which includes a duty of loyalty to you in performing all municipal advisory activities for the Client. This duty of loyalty obligates us to deal honestly and with the utmost good faith with you and to act in your best interests without regard to our financial or other interests. In addition, as a broker dealer with a client oriented business, our success and profitability over time is based on assuring the foundations exist of integrity and quality of service. Furthermore, Piper Sandler's supervisory structure, utilizing our long-standing and comprehensive broker-dealer supervisory processes and practices, provides strong safeguards against individual representatives of Piper Sandler potentially departing from their regulatory duties due to personal interests. The disclosures below describe, as applicable, any additional mitigations that may be relevant with respect to any specific conflict disclosed below.

Compensation-Based Conflicts. The fees due under the Agreement are based on the size of the Issue and the payment of such fees is contingent upon the successful delivery of the Issue. While this form of compensation is customary in the municipal securities market, this may present the appearance of a conflict or the potential for a conflict because it could create an incentive for Piper Sandler to recommend unnecessary financings or financings that are disadvantageous to the Client, or to advise the Client to increase the size of the issue. We believe that the appearance of a conflict or potential conflict is mitigated by our duty of care and fiduciary duty and the general mitigations related to our duties to you, as described above.

The fees due under the Agreement are in a fixed amount established at the outset of the Agreement. The amount is usually based upon an analysis by the Client and Piper Sandler of, among other things, the expected duration and complexity of the transaction and the Scope of Services to be performed by Piper Sandler. This form of compensation presents the appearance of a conflict or a potential conflict of interest because, if the transaction requires more work than originally contemplated, Piper Sandler may suffer a loss. Thus, Piper Sandler may have an incentive to recommend less time-consuming alternatives, or fail to do a thorough analysis of alternatives. In addition, contingent-based compensation, i.e. based upon the successful delivery of the Issue while customary in the municipal securities market, may present the appearance of a conflict or the potential for a conflict because it could create an incentive for Piper Sandler to recommend unnecessary financings or financings that are disadvantageous to the Client. This conflict of interest is mitigated by our duty of care and fiduciary duty and the general mitigations related to our duties to you, as described above.

The fees due under the Agreement are based on hourly fees of Piper Sandler's personnel, with the aggregate amount equaling the number of hours worked by such personnel times an agreed-upon hourly billing rate. This form of compensation presents the appearance of a conflict or a potential conflict of interest if the Client and Piper Sandler do not agree on a reasonable maximum amount at the outset of the engagement, because Piper Sandler does not have a financial incentive to recommend alternatives that would result in fewer hours worked. [In addition, contingent-based compensation, i.e. based upon the successful delivery of the Issue while customary in the municipal securities market, may present the appearance of a conflict or the potential for a conflict because it could create an incentive for Piper Sandler to recommend unnecessary financings or financings that are disadvantageous to the Client.] This conflict

of interest is mitigated by our duty of care and fiduciary duty and general mitigations related to our duties to you, as described above.

Transactions in Client's Securities. As a municipal advisor, Piper Sandler cannot act as an underwriter in connection with the same issue of bonds for which Piper Sandler is acting as a municipal advisor. From time to time, Piper Sandler or its affiliates may submit orders for and acquire your securities issued in an Issue under the Agreement from members of the underwriting syndicate, either for its own trading account or for the accounts of its customers. Again, while we do not believe that this activity creates a material conflict of interest, we note that to mitigate any perception of conflict and to fulfill Piper Sandler's regulatory duties to the Client, Piper Sandler's activities are engaged in on customary terms through units of Piper Sandler that operate independently from Piper Sandler's municipal advisory business, thereby eliminating the likelihood that such investment activities would have an impact on the services provided by Piper Sandler to you under the Agreement.

Piper Sandler Also Advising Others. In addition to serving as municipal advisor to the Client, Piper Sandler serves as municipal advisor to Downtown Development Authority of the City of Norcross, which is another municipal entity with respect to an Issue or Product under the Agreement. We are required to and believe we can have both the Downtown Development Authority of the City of Norcross and the Client's best interest in mind and we do not currently perceive a conflict of interest in serving each entity. However, should a conflict arise between the two entities, we shall recuse ourselves from representing either party for that transaction.

(B) **Disclosures of Information Regarding Legal Events and Disciplinary History.** The Rule requires that all municipal advisors provide to their clients certain disclosures of legal or disciplinary events material to a client's evaluation of the municipal advisor or the integrity of the municipal advisor's management or advisory personnel. Accordingly, Piper Sandler sets out below required disclosures and related information in connection with such disclosures.

- I. **Material Legal or Disciplinary Event.** There are no legal or disciplinary events that are material to the Client's evaluation of Piper Sandler or the integrity of Piper Sandler's management or advisory personnel disclosed, or that should be disclosed, on any Form MA or Form MA-I filed with the SEC.
- II. **Most Recent Change in Legal or Disciplinary Event Disclosure.** Piper Sandler has not made any material legal or disciplinary event disclosures on Form MA or any Form MA-I filed with the SEC.

(C) **How to Access Form MA and Form MA-I Filings.** Piper Sandler's most recent Form MA and each most recent Form MA-I filed with the SEC are available on the SEC's EDGAR system at <http://www.sec.gov/edgar/searchedgar/companysearch.html>. The Form MA and the Form MA-I include information regarding legal events and disciplinary history about municipal advisor firms and their personnel, including information about any criminal actions, regulatory actions, investigations, terminations, judgments, liens, civil judicial actions, customer complaints, arbitrations and civil litigation. The SEC permits certain items of information required on Form MA or MA-I to be provided by reference to such required information already filed by Piper Sandler in its capacity as a broker-dealer on Form BD or Form U4 or as an investment adviser on Form ADV, as applicable. Information provided by Piper Sandler on Form BD or Form U4 is publicly accessible through reports generated by BrokerCheck at <http://brokercheck.finra.org>, and Piper Sandler's most recent Form ADV is publicly accessible at the Investment Adviser Public Disclosure website at <http://www.adviserinfo.sec.gov>. For purposes of accessing such BrokerCheck reports or Form ADV, Piper Sandler's CRD number is 665.

(D) **Future Supplemental Disclosures.** As required by the Rule, this Section 5 may be supplemented or amended, from time to time as needed, to reflect changed circumstances resulting in new conflicts of interest or changes in the conflicts of interest described above, or to provide updated information with regard to any legal or disciplinary events of Piper Sandler. Piper Sandler will provide you with any such supplement or amendment as it becomes available throughout the term of the Agreement.



Mayor: Craig Newton • **Mayor Pro Tem:** Bruce Gaynor • **Councilmember:** Andrew Hixson • **Councilmember:** Josh Bare
Councilmember: Matt Myers • **Councilmember:** Marshall Cheek • **City Manager:** Eric Johnson • **City Clerk:** Monique Philip

City of Norcross

Legislation Details (With Details)

File #:	24-7122	Version:	
Type #:	Agenda Item	Status:	Agenda Ready
On Agenda:	12/2/2024 6:30 PM	In Control:	Mayor and Council
Title:	Homestead Exemptions		

Sponsors:

Code Sections:

Attachments:

1. [Agenda Report - Homestead Exemption](#)
2. [Draft Local Legislation](#)

Title

Homestead Exemptions

Drafter

Councilmember Matt Myers

Motion

A motion to authorize discussions with local delegation to introduce requisite local legislation so as to implement an increase in the City's existing homestead exemption from \$9,000 to \$45,000 and, for those age 65 or older, increase the exemption from \$18,000 to \$90,000. Direct the City Attorney and City Manager to prepare amendments to local legislation as needed and facilitate requisite procedural requirements.



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Agenda Report

To: Mayor and Council
From: Councilmember Matt Myers
Meeting Date: December 2, 2024 – Mayor and Council
Item No.: 24-7122
Title: Homestead Exemptions
CC: Eric Johnson, City Manager

Recommendation

Authorize discussions with local delegation to introduce requisite local legislation so as to implement an increase in the City's existing homestead exemption from \$9,000 to \$45,000 and, for those age 65 or older, increase the exemption from \$18,000 to \$90,000. Direct the City Attorney and City Manager to prepare amendments to local legislation as needed and facilitate requisite procedural requirements.

Background

The City has not adjusted its two existing local homestead exemptions for many years: a basic \$9,000 exemption, and an \$18,000 exemption for seniors. Other exemptions exist to the assessment of municipal taxes but are available by statute to all municipal taxes (e.g., exemptions for disabled veterans), as opposed to local legislation. Local exemptions must be obtained through action by the General Assembly, approved by two-thirds vote, and by subsequent citizen referendums. If the legislation can be approved in the 2025 legislative session, a referendum could be held during 2025, either during a special secession or during the regular election. Depending on the date of the referendum and certification of the same, the changes could be effective for September 2025 tax bills or, at the latest, the 2026 tax bills.

For the existing exemptions, the City obtains information on eligibility from Gwinnett County each year. This reduces the administrative burdens for the City to implement these restrictions, as the City's processes mirror those of the County and do not require extra-certifications. This will require shifts in the qualifying age as detailed in the local legislation from 62 to 65. The local legislation, however, accommodates for the gap in coverage. For the age-restricted exemption, only one individual named on the deed as an owner needs to meet the age restriction.

Since the exemption is applied to 40% of the assessed value, a \$90,000 exemption would offset all taxes on a property assessed up to \$225,000. Thus, all of the municipal tax burden for properties under \$225,000 will be eliminated for qualifying senior citizens.



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Financial Impact:

The annual cost will be subject to eligible residents. The City sets the millage rate each year based on the tax digest. At the current millage rate, the existing exemptions reduce tax revenue by about \$106,000 for the basic exemption, and by \$60,500 for the age-based exemption, for a total of \$166,500. There are 1,889 basic exemptions and 538 age-based exemptions. The additional cost of the proposed changes would be four times those dollar amounts, or a total of about \$667,000. The millage equivalent for the higher exemptions would be about 0.4 mills, based on a millage rate of 6.249 mills. The existing exemptions are roughly equal to 0.1 mill.

Consistent with Comprehensive Plan?

Goal 6 - Furthers the City's Tradition of Strong Leadership and High Level of Quality Services.

Attachments

1. Draft Local Legislation

Next Steps

Authorize discussions with local delegation to introduce requisite local legislation so as to implement an increase in the City's existing homestead exemption from \$9,000 to \$45,000 and, for those age 65 or older, increase the exemption from \$18,000 to \$90,000. Direct the City Attorney and City Manager to prepare amendments to local legislation as needed and facilitate requisite procedural requirements.

A BILL TO BE ENTITLED

AN ACT

To amend an act providing homestead exemption from certain City of Norcross ad valorem taxes for municipal purposes, approved March 20, 1990 (Ga. L. 1990, p. 3941) so as to modify the amount of a homestead exemption from City of Norcross municipal purposes in the amount of \$45,000.00 of the assessed value of the homestead for residents of that city; to modify the amount of the homestead exemption from city ad valorem taxes for residents of the City of Norcross who are 65 years of age or older or, as of December 31, 2025, are 62 years of age or older and who own and occupy their residences to \$90,000.00; to provide for compliance with constitutional requirements; to provide for a referendum, effective dates, automatic repeal, mandatory execution of election, and judicial remedies regarding failure to comply; to repeal conflict laws; and for other purposes.

BE IT ENACTED BY THE GENERAL ASSEMBLY OF GEORGIA:

SECTION 1

An Act providing a homestead exemption from certain City of Norcross ad valorem taxes approved March 20, 1990 (Ga. L. 2000, p. 4285) is amended by revising Section 2, subsection (a) as follows:

“(a) Each resident of the City of Norcross is granted a homestead exemption from all City of Norcross ad valorem taxes for municipal purposes except for ad valorem taxes to pay interest on and to retire municipal bonded indebtedness in the amount of \$45,000.00 of the assessed value of the homestead. The value in excess of such exempted amount shall remain subject to taxation.”

A BILL TO BE ENTITLED

AN ACT

SECTION 2

An Act providing a homestead exemption from certain City of Norcross ad valorem taxes approved March 20, 1990 (Ga. L. 2000, p. 4285) is amended by revising Section 2, subsection (b) as follows:

“(b) Each resident of the City of Norcross who is 65 years of age or older or who, as of December 31, 2025, is 62 years of age or older is granted a homestead exemption from all City of Norcross ad valorem for municipal purpose except for ad valorem taxes to pay interest on and retire municipal bonded indebtedness in the amount of \$90,000.00 of assessed value of the homestead. The value in excess of exempted amount shall remain subject to taxation. The additional exemption granted by this section shall be claimed, administered, and returned as provided in Code Section 48-5-50.1 of the O.C.G.A., but the governing authority of the City of Norcross may grant the exemption authorized by this section without further application to any resident of the City of Norcross who qualifies therefor as shown on the previously existing tax records of the City of Norcross. The additional homestead exemption granted by this section shall apply to all taxable years beginning after December 31, 2025.

Commented [WD1]: I'm having to insert this to tax payers that are under 65 but are currently rec the tax exemption because they are over 62.

SECTION 3

In accordance with the requirements of Article VII, Section II of the Constitution of the State of Georgia, this ACT shall not become law unless it receives the requisite two-thirds' majority vote in both the Senate and House of Representatives.

A BILL TO BE ENTITLED

AN ACT

SECTION 4

The Municipal election superintendent of the City of Norcross shall call and conduct an election as provided in this section for the purpose of submitting this Act to the electors of the City of Norcross for approval or rejection. The municipal election superintendent shall conduct that election in concurrence with the municipal general election in November, 2025. The Municipal election superintendent shall cause the date and purpose of the election to be published once a week for two weeks immediately preceding the date thereof in the official organ of Gwinnett County. The ballot shall have written or printed the words:

() YES Shall the Act be approved which provides a homestead exemption from City of Norcross ad valorem taxes for municipal purpose in the amount of \$45,000.00 of assessed value for residents of the city?

() NO

() YES Shall the Act be approved which provides a homestead exemption from City of Norcross ad valorem taxes for municipal purpose in the amount of \$90,000.00 of the assessed value for residents of that city who are 65 years of age or older or, as of December 31, 2025, are 62 years of age or older?

() NO

A BILL TO BE ENTITLED

AN ACT

58

59 All persons desiring to vote for approval of any of the above acts shall vote “Yes” and all person
60 desiring to vote for rejection of the Act shall vote “No.” If more than one-half of the votes cast on
61 such question are for approval of the Act, Section 1 of this Act shall become of full force and effect
62 on January 1, 2026. If the Act is not so approved or if the election is not conducted as provided in
63 this section, Section 1 of this Act shall not become effective, and this Act shall be automatically
64 repealed on the first day of January immediately following that election date. The expense of such
65 election shall be borne by the City of Norcross. It shall be the election superintendent’s duty to
66 certify the result thereof to the Secretary of State. The provision of this section shall be mandatory
67 upon the election superintendent and are not intended as directory. If the election superintendent
68 fails or refuse to comply with this section, any elector of the City of Norcross may apply for a writ
69 of mandamus to compel the election superintendent to perform his or her duties under this section.
70 If the court finds that het election superintendent has not complied with this section, the court shall
71 fashion appropriate relief requiring the election superintendent to call and conduct such election
72 on the state required by this section or on the next date authorized for special elections as provided
73 for in Code Section 21-2-540 of the O.C.G.A.

74

SECTION 5.

75 Except as otherwise provided in Section 4 of this Act shall become effective upon its approval by
76 the Governor or upon its becoming law without such approval.

77

A BILL TO BE ENTITLED
AN ACT

78

SECTION 6.

79 All laws and parts of laws in conflict with this Act are repealed.