

City of Norcross

*65 Lawrenceville Street
Norcross, GA 30071*



Meeting Agenda

**Wednesday, March 26, 2025
6:30 PM**

2nd Floor Conference Room

Historic Preservation Commission

Gene Ramsay, Chairman

Ashley Lyons

Pam Hopper

Chuck Kays

Mark Ward

- A. **Call to Order**
PLEASE TURN OFF ALL CELL PHONES AND ELECTRONIC DEVICES
- B. **Approval of Previous Meetings Minutes**
[Historic Preservation Commission - Historic Preservation Commission - February 26, 2025 6:30 PM](#)
- C. **Old Business**
- D. **New Business**
 - 1. [25-7229](#) **COA2024-052 67 South Peachtree Street**
Multiple changes to previous HPC approval (COA2022-017)
[COA2024-052 Staff Report 26March2025](#)
[67 S Peachtree HPC Application](#)
[Renovation Proposal - 67 S Peachtree St](#)
- E. **ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA**
- F. **Adjourn**

City of Norcross

65 Lawrenceville Street
Norcross, GA 30071



Meeting Minutes

Wednesday, February 26, 2025
6:30 PM

2nd Floor Conference Room

Historic Preservation Commission

Gene Ramsay, Chairman

Ashley Lyons

Pam Hopper

Chuck Kays

Mark Ward

Minutes Acceptance: Minutes of Feb 26, 2025 6:30 PM (Approval of Previous Meetings Minutes)

A. Call to Order

Attendee Name	Title	Status	Arrived
Gene Ramsay	Chairman	Present	
Ashley Lyons	Board Member	Present	
Pam Hopper	Board Member	Present	
Chuck Kays	Board Member	Present	
Mark Ward	Board Member	Present	

Historic Preservation Commission was called to order at 6:30 PM by Chairman Gene Ramsay

B. Approval of Previous Meetings Minutes

Historic Preservation Commission - Special Called Meeting - Oct 14, 2024 6:30 PM

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Chuck Kays, Board Member
SECONDER:	Pam Hopper, Board Member
AYES:	Ramsay, Lyons, Hopper, Kays, Ward

C. Old Business

D. New Business

1. 25-7229: COA2024-052 67 South Peachtree Street

The case was presented by City of Norcross Staff Member Jalia Killings, Planner, GIS-Sustainability. Staff Member Killings gave a summary of the project, which included the start of the project, the unpermitted changes made to the project, and the reason for the need of a resubmittal for the project at 67 S Peachtree, and gave the recommendation of denial due to inconsistency with submittal and lack of sufficient documentation.

Property Owner, George Popivanov, gave a presentation and shared that although he made changes to the plans without permits from the City, he made the changes to improve safety and visual aesthetics of the property.

Board Member Kays and Staff Member Killings asked about purpose of the rooftop and café, respectively, and property owner replied that the rooftop and café is intended for both the tenants and the public. Additionally, tenants and public will have access to host events at the property.

Board Member Lyons stressed the importance and desire to keep the historical “feel” of the original plans.

Board Member Kays clarified with staff that HPC reviews the exterior (façade), and City staff reviews the interior (plans); a stop work order was placed on the project due to the unpermitted interior changes made.

Assistant City Manager Tracy Rye commented on the City’s concerns that staff did not receive validated measurements of the building height.

Chair Ramsay asked for the rooftop structures to be less visible from S Peachtree St; Property owner, Popivanov, responded that there are two staircases going to the rooftop, one from the front, and the other from the back, they can lower staircase from the front so it’s not visible from S Peachtree.

Minutes Acceptance: Minutes of Feb 26, 2025 6:30 PM (Approval of Previous Meetings Minutes)

HPC discussed the changes #1-17 listed in the agenda packet and requested the following for the rear façade and the rooftop structure:

1. Rear façade: The planters and seating must be within the property line
2. Rooftop pergola structure should have same material and color to match the existing brick

HPC agreed that, although they were disappointed with the changes, they were amenable to the updates made; however, considering the advice and concerns of staff, they need more concrete details and measurements as well as more time to review the project. Chair Ramsey suggested tabling the discussion and reviewing the project once all materials have been shared with City staff.

RESULT:	TABLED [UNANIMOUS]
MOVER:	Pam Hopper, Board Member
SECONDER:	Ashley Lyons, Board Member
AYES:	Ramsay, Lyons, Hopper, Kays, Ward

HPC Requested the following for Project Owner to be submitted to City Staff:

- Light fixtures specs
- Railing Details
- Flag and flagpole specs
- Awning material and colors
- Dimensioned Architectural plans of front and rear facade showing the improvements and structures on the roof with callouts and stamped by an architect to validate that the building height will be under 40 feet.
- Materials and color of brick for siding of rooftop pergola structure
- Revised drawing of front and rear facade with height of the pergola structure nearest to S. Peachtree Street

E. Vice Chair Nomination

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Pam Hopper, Board Member
SECONDER:	Ashley Lyons, Board Member
AYES:	Ramsay, Lyons, Hopper, Kays, Ward

F. ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA

Resident Nikolay Jellev asked the board about the planters blocking traffic on Skin Alley. The HPC and public shared the update that the Mayor and Council voted to close Skin Alley to vehicular traffic on weekends (specifically, Friday night to Saturday morning).

Board Member Hopper asked Assistant City Manager Rye if the city could address and fix the necessary upgrades to the downtown area that the Applicant, Popivanov, raised in his presentation. Assistant City Manager Rye answered yes.

The Assistant City Manager introduced the new Community Development Director, Deborah Rogoff-Ezra, and the City Attorney, Bill Diehl, to the HPC.

Minutes Acceptance: Minutes of Feb 26, 2025 6:30 PM (Approval of Previous Meetings Minutes)

G. Adjourn

Board Member Ward moved, and Board Member Lyons seconded, that the meeting be adjourned at 7:33 PM.

Minutes Acceptance: Minutes of Feb 26, 2025 6:30 PM (Approval of Previous Meetings Minutes)



City of Norcross

Legislation Details (With Details)

65 Lawrenceville Street
Norcross, GA 30071

770-448-2122

770-242-0824

File#: 25-7229 **Version:**

Type: Agenda Item **Status:** Agenda Ready

File Created: 1/7/2025 **In Control:** Historic Preservation Commission

On Agenda: 3/26/2025 6:30 PM **Status:** Scheduled

Title: COA2024-052 67 South Peachtree Street

Sponsors:

Code Sections:

Attachments:

1. [StaffReport - 67SouthPeachtree 26March2025](#)
2. [67 S Peachtree HPC Application](#)
3. [Renovation Proposal - 67 S Peachtree St](#)

History: 02/26/25	Historic Preservation Commission	TABLED SENT TO
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Title
COA2024-052 67 South Peachtree Street

Drafter
Jalia Killings



Meeting Date: 03/26/2025 at 6:30 PM

Petition Number: COA2024-052

Project Type: Commercial

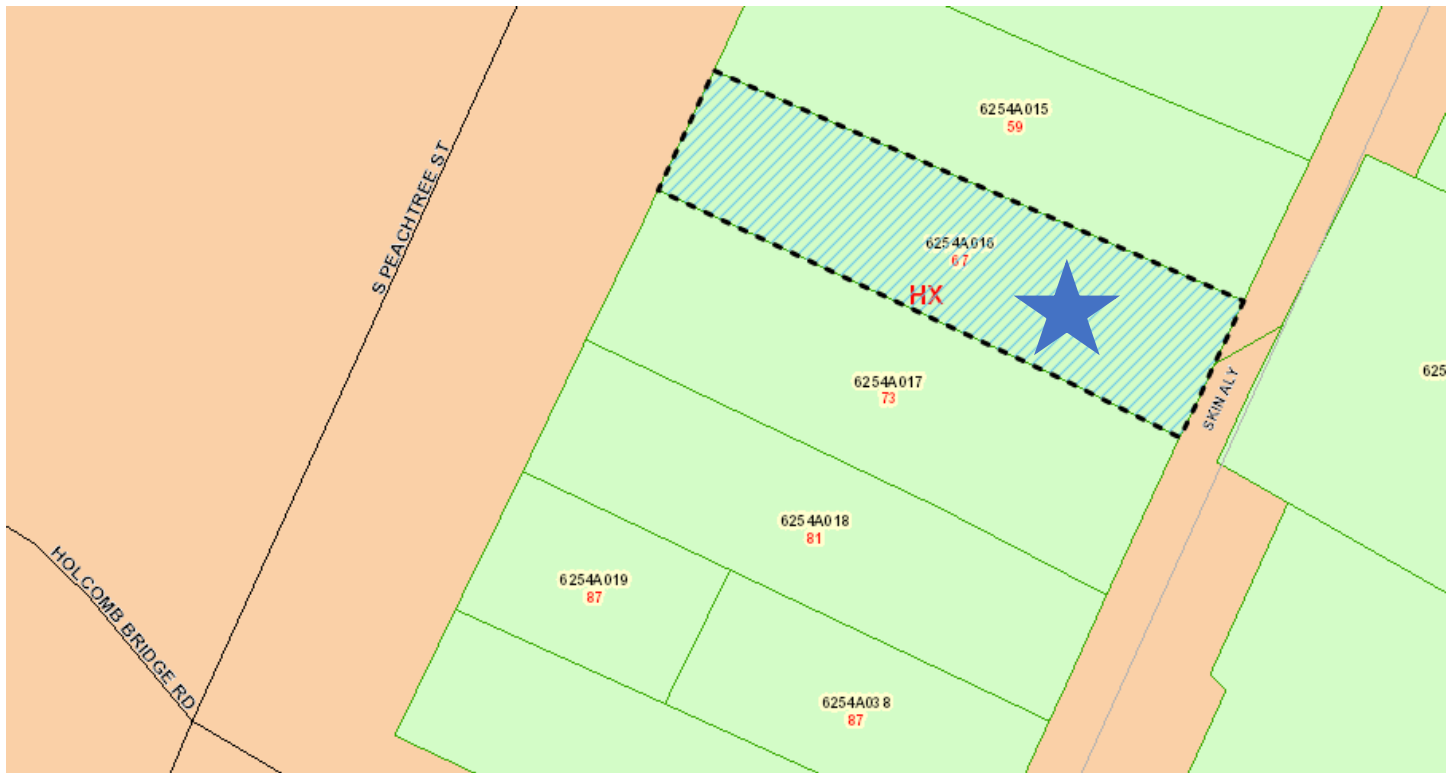
Property Location: 67 South Peachtree Street

Tax Parcel ID: 6254A016

Petitioner: James Thompson

Petitioner's Request: Multiple changes to previous HPC approval (COA2022-017)

Vicinity Map:



Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

City of Norcross Historic Preservation Commission

Meeting for March 26, 2025 at 6:30 PM

Site Description:

67 South Peachtree Street is located in the Town Center Character Area and is situated within the Local Historic District. The property is zoned Historic Mixed-Use (HX). The parcel extends between South Peachtree Street and Skin Ally. Per the Historical and Architectural Survey of the City of Norcross, this property was constructed in 1909. The building is two stories with a partial second floor extending halfway to the rear of the property.

Research has found that the structure was originally built for and owned by the Masonic Lodge. Initially, the organization occupied the partial second floor, with a theater occupying the first floor. During the mid-20th century, the Lodge took over full occupancy of the structure.

No records of permitted work have been found in the City's archives. Nonetheless, the building underwent exterior alterations including the installation of the current brick façade which covers the building's original window openings. According to lodge members, these improvements occurred around 2000. Evidenced by the exposed brick on the side of the building, the original façade is believed to be brick. However, lodge members confirmed that the building featured a white, stucco façade at the time of the 2000 improvements. It is unclear what material and condition the applicant will reveal if the current façade is removed.

Project Summary :

In March 2022, the Historic Preservation Commission (HPC) approved the architectural elevations for this site. During the course of construction, however, the applicant did not adhere to the approved original design and proceeded with the construction of design and structural elements that were not approved by the HPC. As a consequence, stop-work orders were served and the property owner was directed, among other items, to submit an application to the HPC so that the as-built conditions and intended design and structural elements could be approved pursuant to City Code.

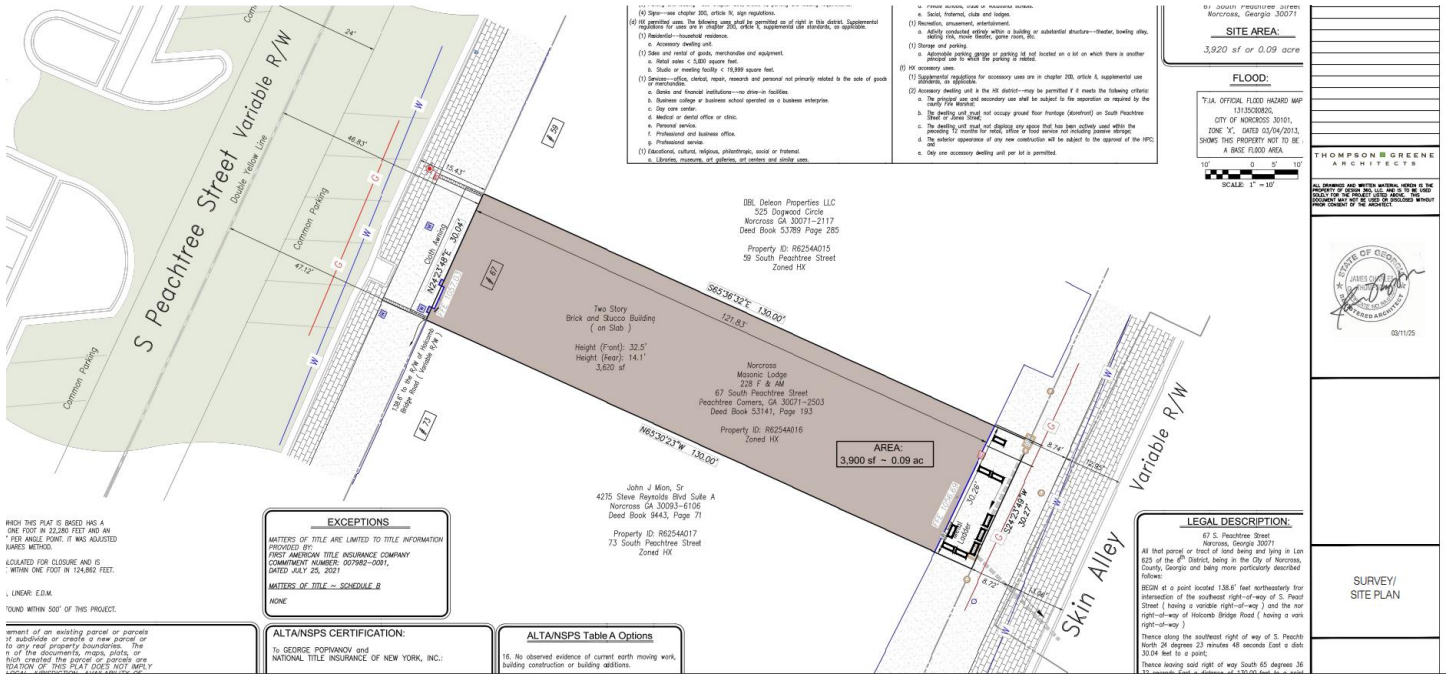
On February 26, 2025, the HPC met at their regular scheduled meeting and learned that not only did the design plans change, but the intended use of the building changed as well. Intended use was originally a coworking office space, and is currently intended to be a coworking space with a café on the bottom floor, and a bar on the roof. Space will be utilized by tenants and the public, and site may hosts events.

Due to the inconsistencies and lack of adequate information in the application, the HPC agreed they needed more time to review as well as review project with the corrected information for the project, and thus COA025-052 was tabled to the next meeting date, contingent that the applicant submitted the following:

- Light fixtures specs
- Awning material colors
- Railing Details
- Dimensioned Architectural plans of front and rear facade of the entire building, showing the proposed improvements and structures on the roof. Include height calculations, and callouts, and must be stamped by an architect to validate that the building height will be under 40 feet.
- Materials and color of brick for siding of rooftop pergola structure
- Revised, dimensioned drawing of front and rear facade with height of the pergola structure nearest to S. Peachtree Street
- Flag and flagpole specifications

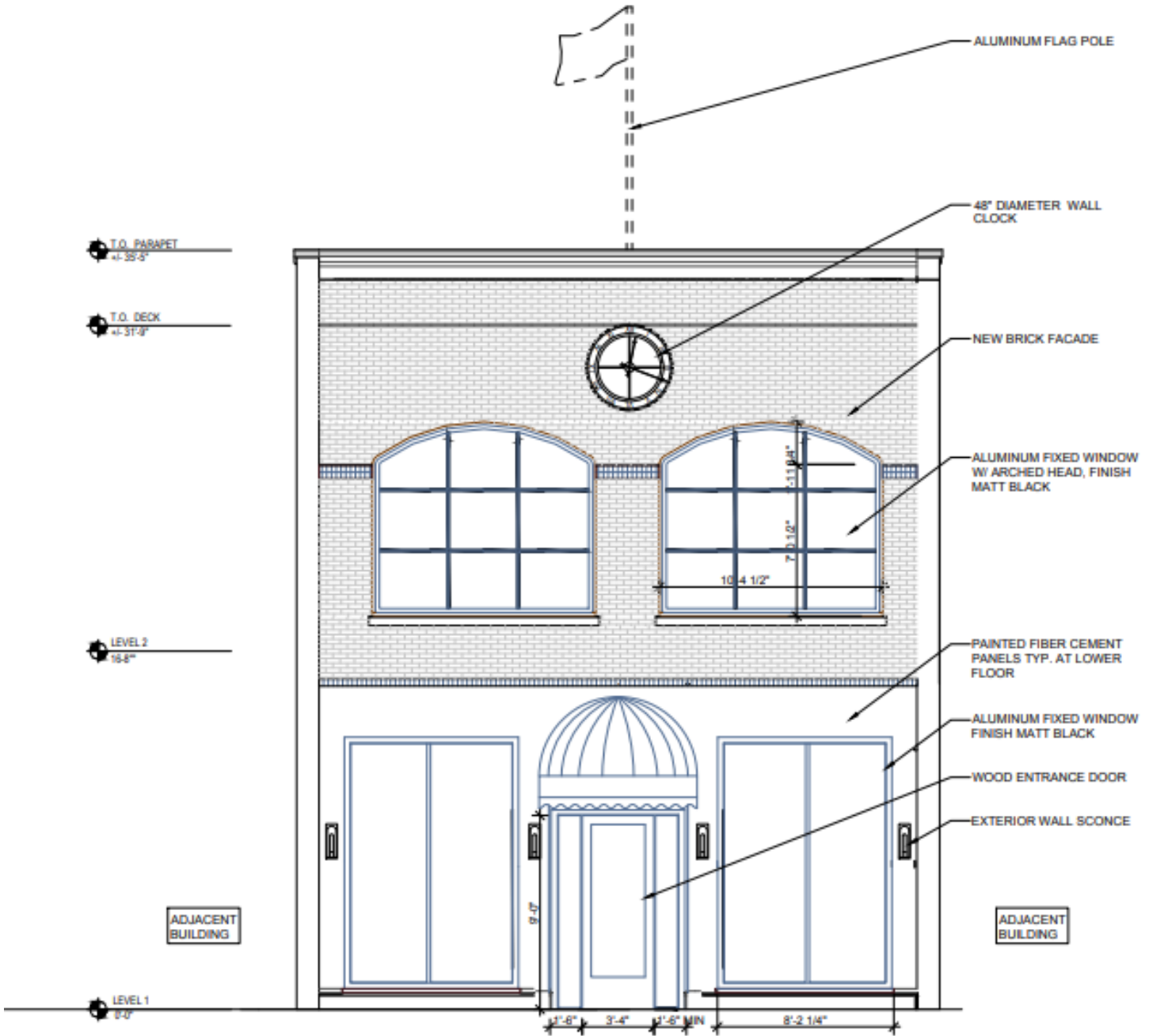
Revised Site Plan (Second Submittal)

Note: The awning and door location does not reflect the recently revised front elevations that were submitted



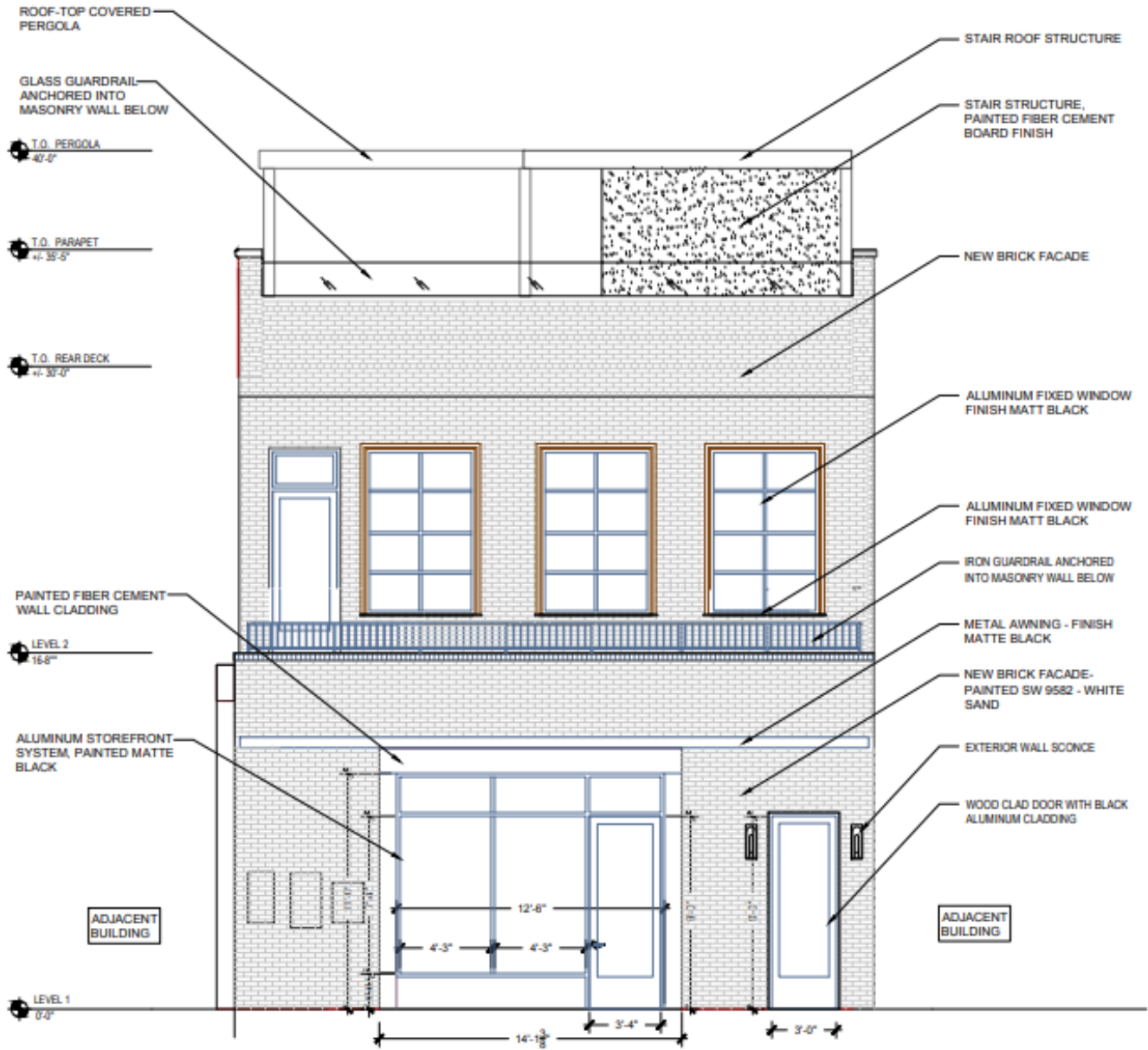
Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Revised Front Elevation (Second Submittal)



Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Revised Rear Elevation (Second Submittal)

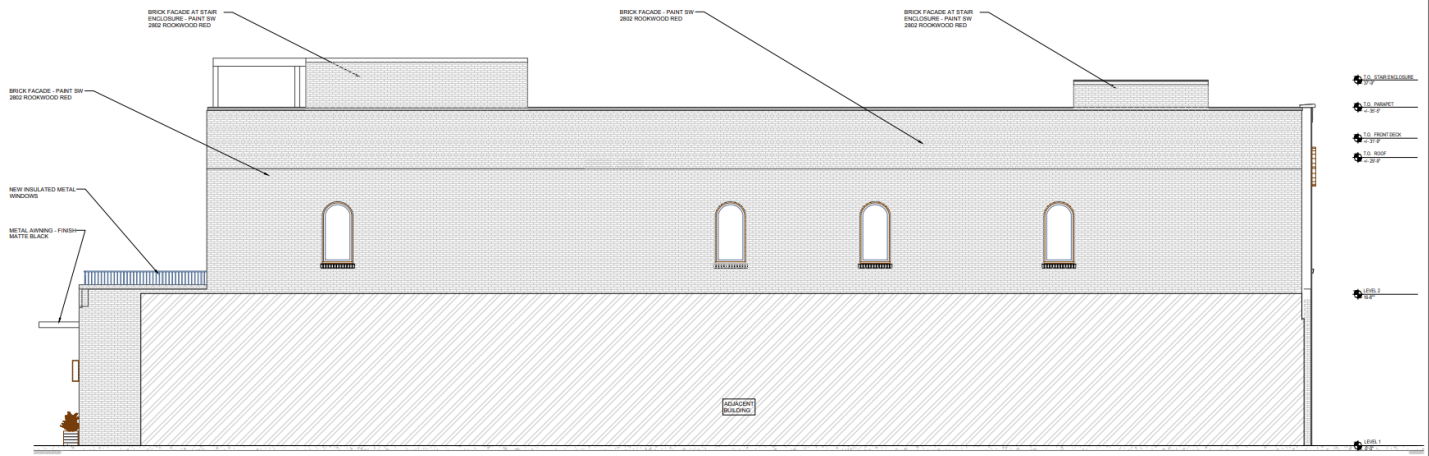


Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Side Elevations

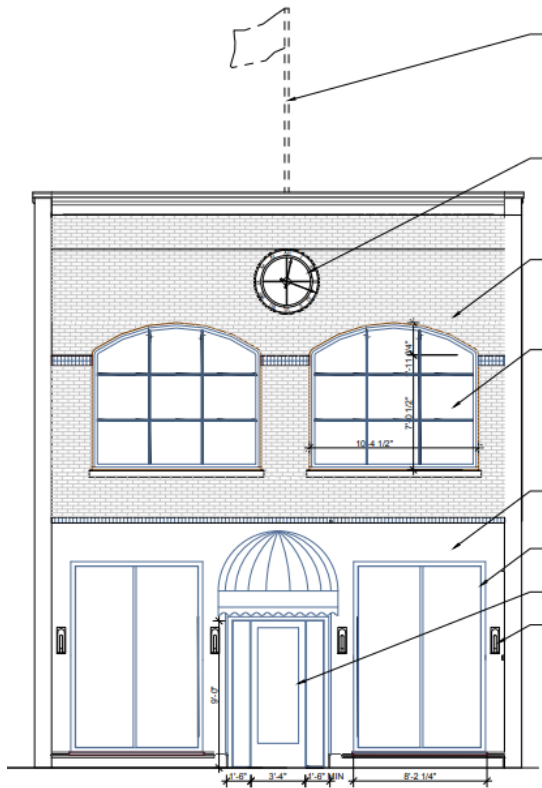
Note:

1. Side elevation, and brick facade at both stair enclosures are Brick Façade painted SW2802 (Rookwood Red)
2. Staff requested right (side facing Holcomb Bridge Rd) elevation via email and did not receive elevations prior to deadline for posting agenda items online.



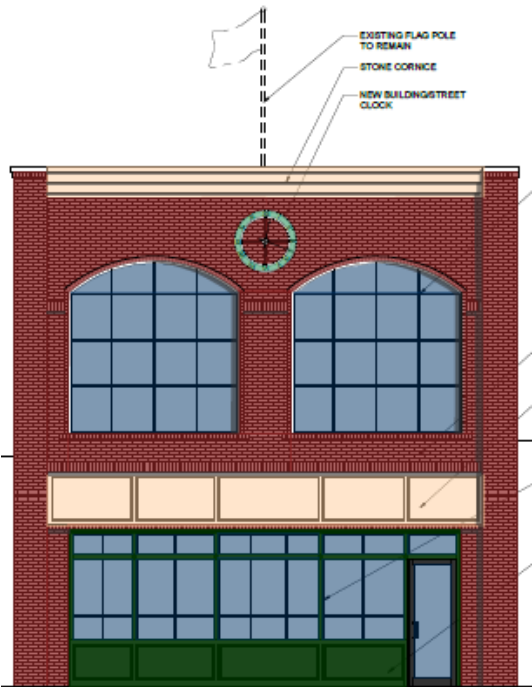
Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Front Façade



New Front Elevation Submittal

New Front Rendering Submittal



Previously Approved Front Elevation



Existing Conditions – Photo Taken By Staff

Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

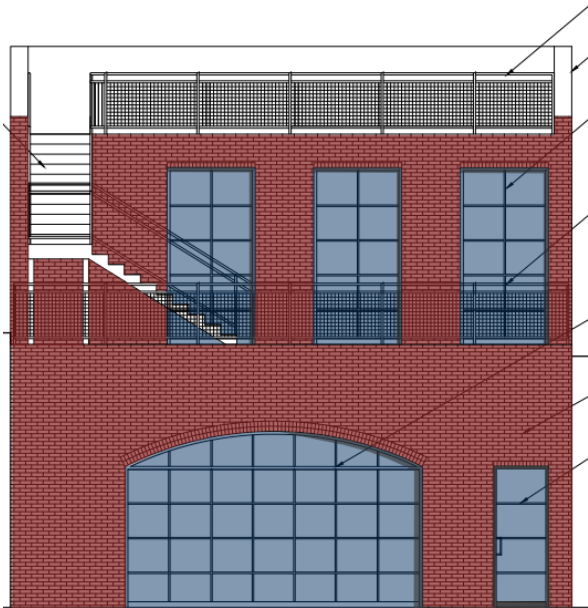
Rear Façade



New Rear Elevation Submittal



New Rear Elevation Rendering



Previously Approved Rear Elevation



Existing Conditions – Photo Taken by Staff

Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Additional Requested Information: Light fixtures



SCONECES

Dimensions

6.25" Width x 7" Depth X
19.25" Height

Hightlights

Hand crafted from brass
material with arched glass

Placement

The same sconces will be
used in the front and the
back of the building to
maintain consistency

Additional Requested Information: Railing Details

Note: Railing design photo (left) is inconsistent with elevations



RAILING

Highlights

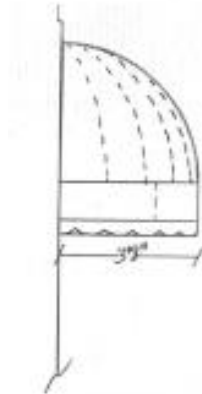
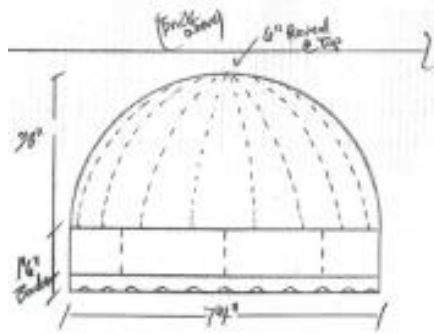
Crafted from iron, finished in matte black

Placement

The railing will surround the second floor patio



Additional Requested Information: Awning Material & Color



- Frame = 1.00\"/>
- fabric = Recacril Acrylic Canvas



Approve

AWNINGS

Dimensions

7'4" Width x 3'8" Depth X
3'8" Height

Hightlights

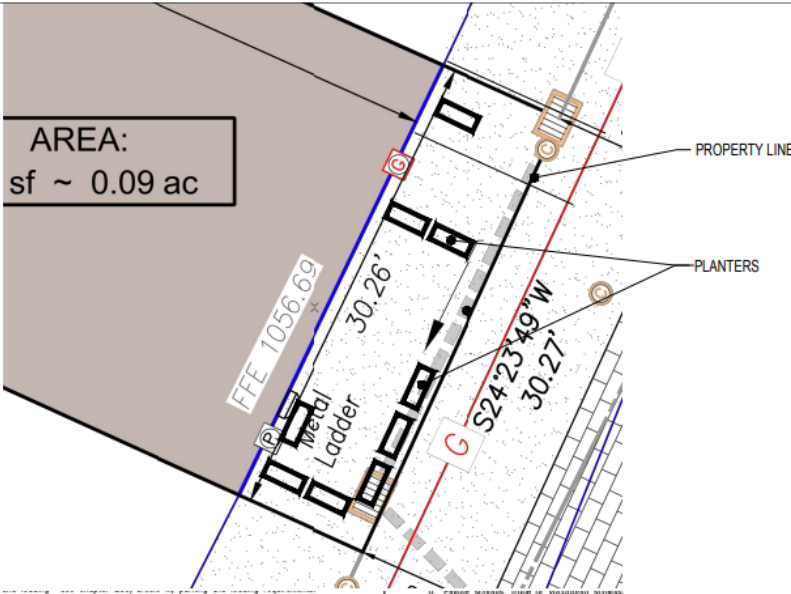
The fabric of the awning is crafted from Recacril Acrylic Canvas in the color black

The frame is a hand welded Gatorsheild tube in the color black

Placement

The awning will be placed above the entrance of the building

Additional Requested Information: Planters



AREA:
sf ~ 0.09 ac

OFFICE BUILDING

67 SOUTH PEACHTREE STREET
NORCROSS, GA

67 SOUTH PEACHTREE STREET, LLC

DRAWING RECORD	
09/08/22	PLAN REVIEW
03/11/25	HPC REVIEW

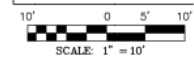
67 South Peachtree Street
Norcross, Georgia 30071

SITE AREA:

3,920 sf or 0.09 acre

FLOOD:

F.I.A. OFFICIAL FLOOD HAZARD MAP
13135C0082G,
CITY OF NORCROSS 30101,
ZONE 'X', DATED 03/04/2013,
SHOWS THIS PROPERTY NOT TO BE
A BASE FLOOD AREA.



THOMPSON GREENE ARCHITECTS

ALL DRAWINGS AND WRITTEN MATERIAL HEREIN IS THE PROPERTY OF DESIGN MD, LLC AND IS TO BE USED SOLELY FOR THE PROJECT LISTED ABOVE. THIS DOCUMENT MAY NOT BE USED OR DISCLOSED WITHOUT PRIOR CONSENT OF THE ARCHITECT.

- (4) Signs—see chapter 200, article IV, sign regulations.
- (d) **HX permitted uses.** The following uses shall be permitted as of right in this district. Supplemental regulations for uses are in chapter 204, article II, supplemental use standards, as applicable.
 - (1) Residential—household residence.
 - a. Accessory dwelling unit.
 - (1) Sales and rental of goods, merchandise and equipment.
 - a. Retail sales < 5,000 square feet.
 - b. Studio or meeting facility < 19,999 square feet.
 - (1) Services—office, clerical, repair, research and personal not primarily related to the sale of goods or merchandise.
 - a. Banks and financial institutions—no drive-in facilities.
 - b. Business college or business school operated as a business enterprise.
 - c. Day care center.
 - d. Medical or dental office or clinic.
 - e. Personal service.
 - f. Professional and business office.
 - g. Professional service.
 - (1) Educational, cultural, religious, philanthropic, social or fraternal.
 - a. Libraries, museums, art galleries, art centers and similar uses.
- u. **PERMITTED SUBORDINATE USES OR OCCASIONAL SUBORDINATE USES.**
 - e. Social, fraternal, clubs and lodges.
- (1) Recreation, amusement, entertainment.
 - a. Activity conducted entirely within a building or substantial structure—-theater, bowling alley, skating rink, movie theater, game room, etc.
- (1) Storage and parking.
 - a. Automobile parking garage or parking lot not located on a lot on which there is another principal use to which the parking is related.
- (f) **HX accessory uses.**
 - (1) Supplemental regulations for accessory uses are in chapter 200, article II, supplemental use standards, as applicable.
 - (2) Accessory dwelling unit in the HX district—may be permitted if it meets the following criteria:
 - a. The principal use and secondary use shall be subject to fire separation as required by the county Fire Marshal;
 - b. The dwelling unit must not occupy ground floor frontage (storefront) on South Peachtree Street or Jones Street;
 - c. The dwelling unit must not displace any space that has been actively used within the preceding 12 months for retail, office or food service not including passive storage;
 - d. The exterior appearance of any new construction will be subject to the approval of the HPC; and
 - e. Only one accessory dwelling unit per lot is permitted.

DBL Deleon Properties LLC
525 Dogwood Circle

PLANTERS



Dimensions
31" W x 12" D x 16" H

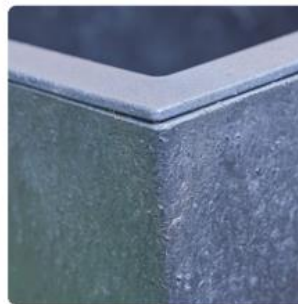


Highlights
Handcrafted from stone
by skilled artisans

Placement
Planters will be used to
enhance the street appeal
and create privacy for our
patrons at the cafe

Approve

Plants & Planters / Planters, Stands & Window Boxes / Pots & Planters



EXCLUSIVE

allen + roth Rectangle 31-in W Large Black Rubber Contemporary/Modern Indoor/Outdoor Planter \ Drainage Holes Self Watering

Item #4103163 | Model #MT5100696

★★★★★ 4.5 39

\$134.⁰⁰

\$127.30 When you choose 5% savings on eligible purchases ev



Additional Information: Patio Seating



PATIO SEATING

Highlights

We propose the addition of patio seating for our cafe to create a welcoming outdoor space where our guests can enjoy their meals and drinks. This seating will enhance the overall experience for our customers, provide a lively atmosphere, and help us better serve the community.



PAI SEATI

Impact on Str Traffic

Weekdays: On weekdays, we have carefully designed patio layout to ensure that it will not obstruct pedestrian or vehicle traffic

Weekends: On weekends, the street is converted into a pedestrian-only area which provides even more freedom to use the space

Approve

Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Additional Requested Information: Flag & Flagpole Specs Patio Seating

FLAGPOLE

Commitment for our staff

The flagpole represents a significant commitment on our part. It requires someone to regularly raise and lower it, as well as ongoing maintenance of both the flag and the mechanism. Additionally, if the flag becomes damaged or soiled, it would need to be replaced. We are not prepared to take on this responsibility. If the city is willing to cover the costs and assume full responsibility, we can discuss a resolution. However, as it stands, we believe we should not be compelled to install a flagpole.

FLAGPOLE

Display of the Flag

It is the universal custom to display the flag only from sunrise to sunset on buildings and on stationary flag staffs in the open. However, when a patriotic effect is desired, the flag may be displayed twenty-four hours a day if properly illuminated during the hours of darkness. The flag should not be displayed on days when the weather is inclement, except when an all-weather flag is displayed

Maintenance and Safety

Flagpoles require regular maintenance to ensure the flag doesn't tear or get caught in harsh weather conditions. Modern polls available for purchase typically measure 20 ft and are designed for ground placement; however, installing them on rooftops can pose safety risks such as electrocution

Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Existing Conditions (Front Facade)



Existing Conditions – Photo Taken By Staff

Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Existing Conditions (Rear Façade)



Existing Conditions – Photo Taken By Staff



Existing Conditions – Photo Taken By Staff

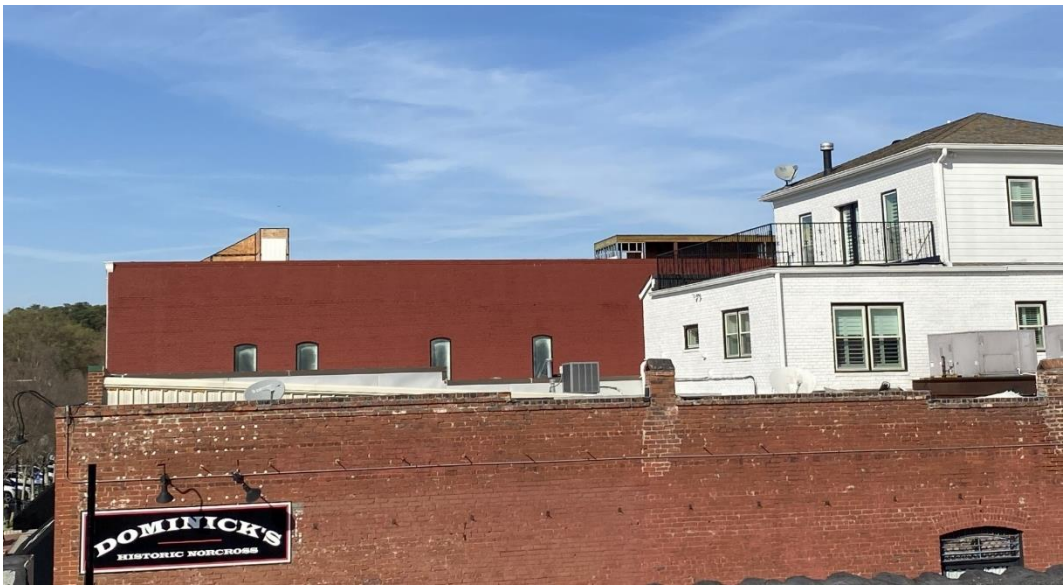
Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Existing Conditions (Side facade)

The photos below show the existing conditions from a side view of the property from a distance of ~475 ft.



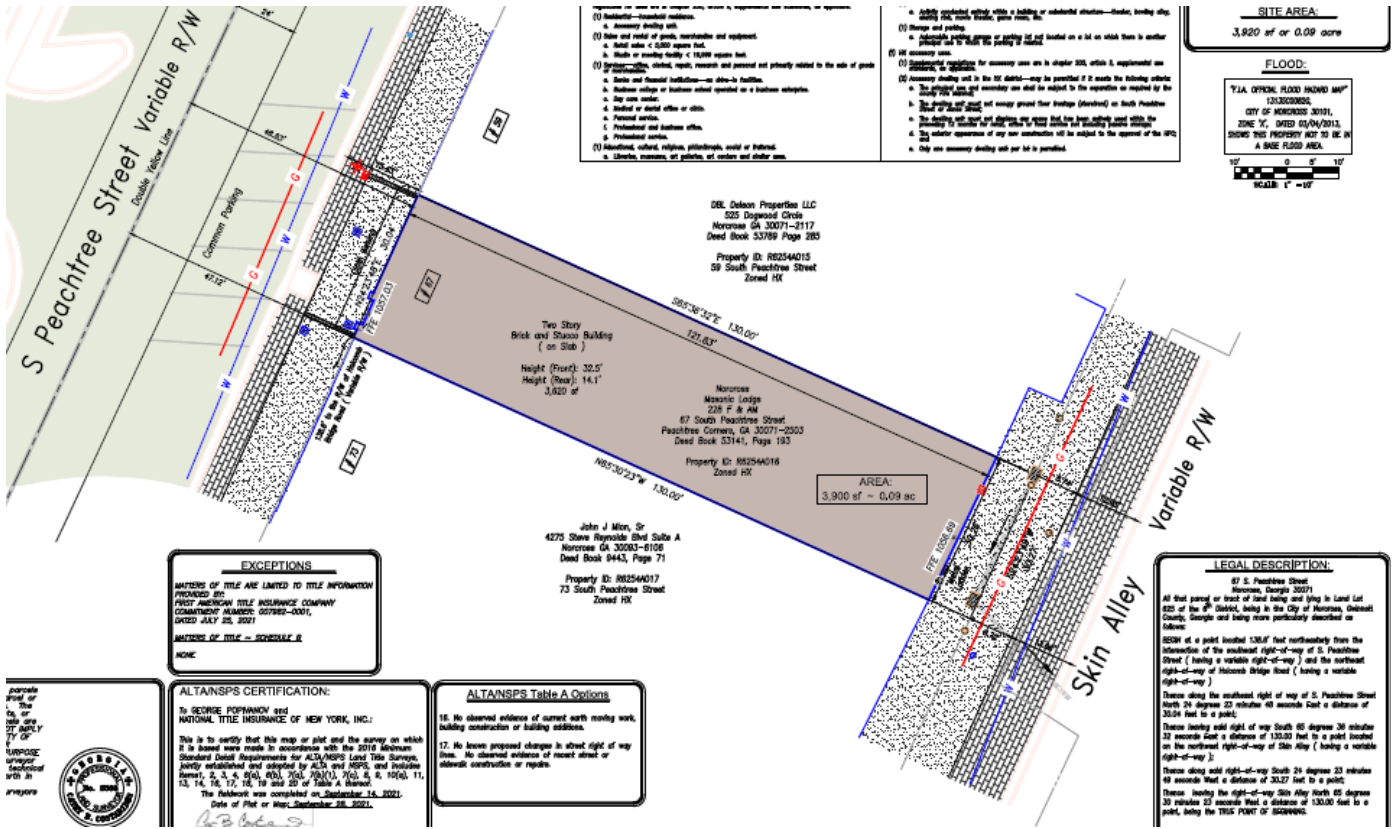
Existing Conditions – Photo Taken by Staff



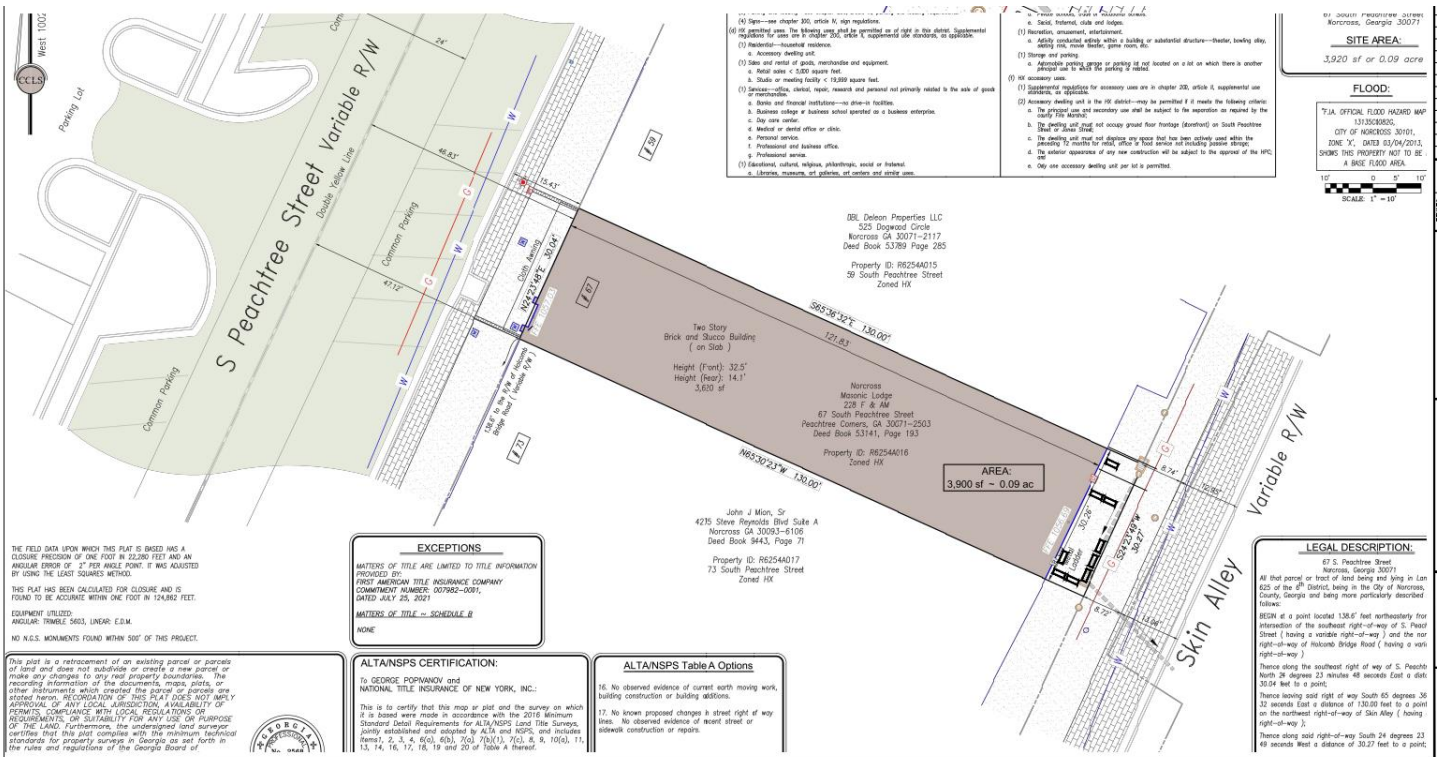
Existing Conditions – Photo Taken by Staff

Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

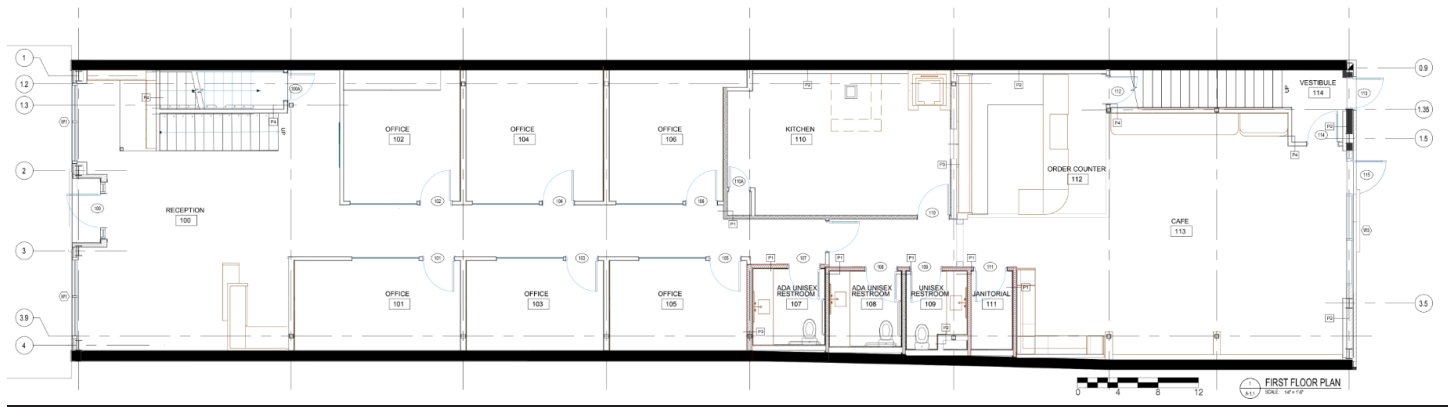
Permitted Site Plan



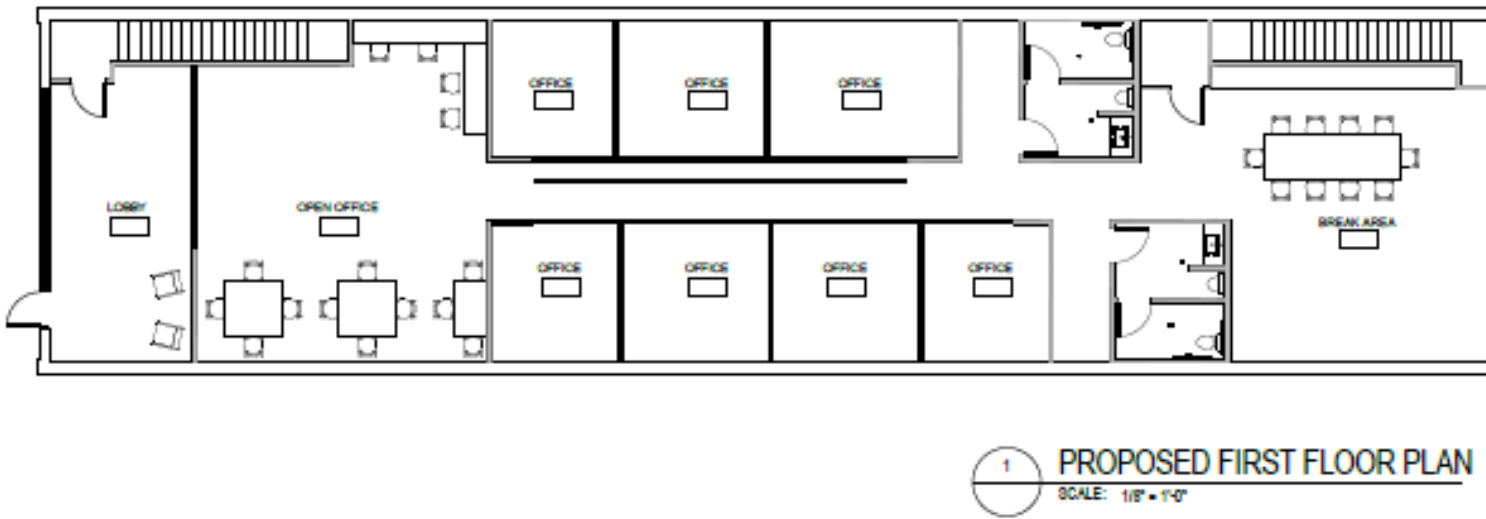
Proposed Site Pla (second Submittal):



First Floor Plans (New Submittal)

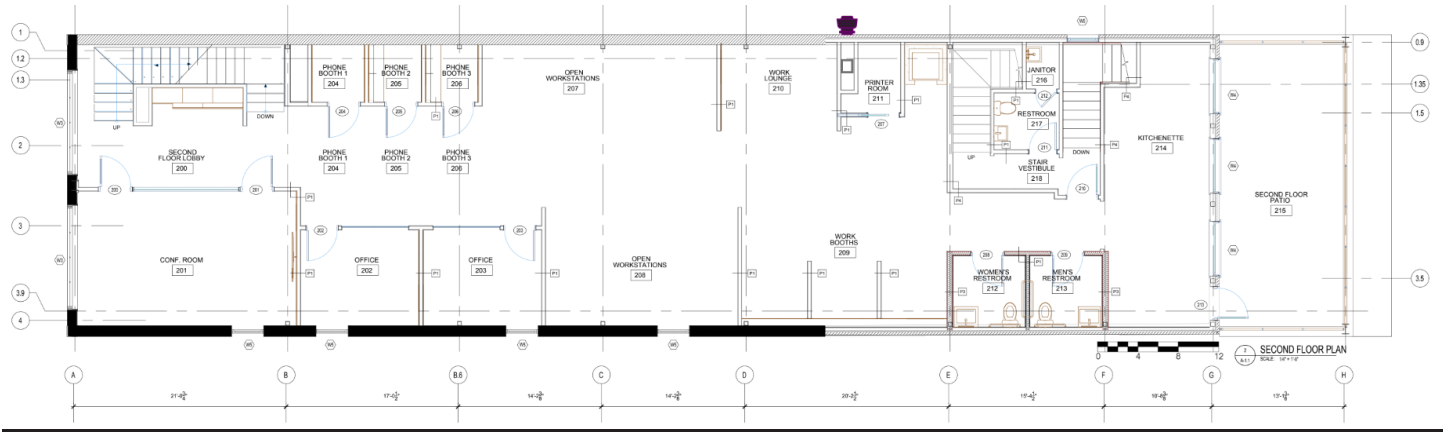


First Floor Plans (Permitted Plan)



Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Second Floor Plans (New Submittal)



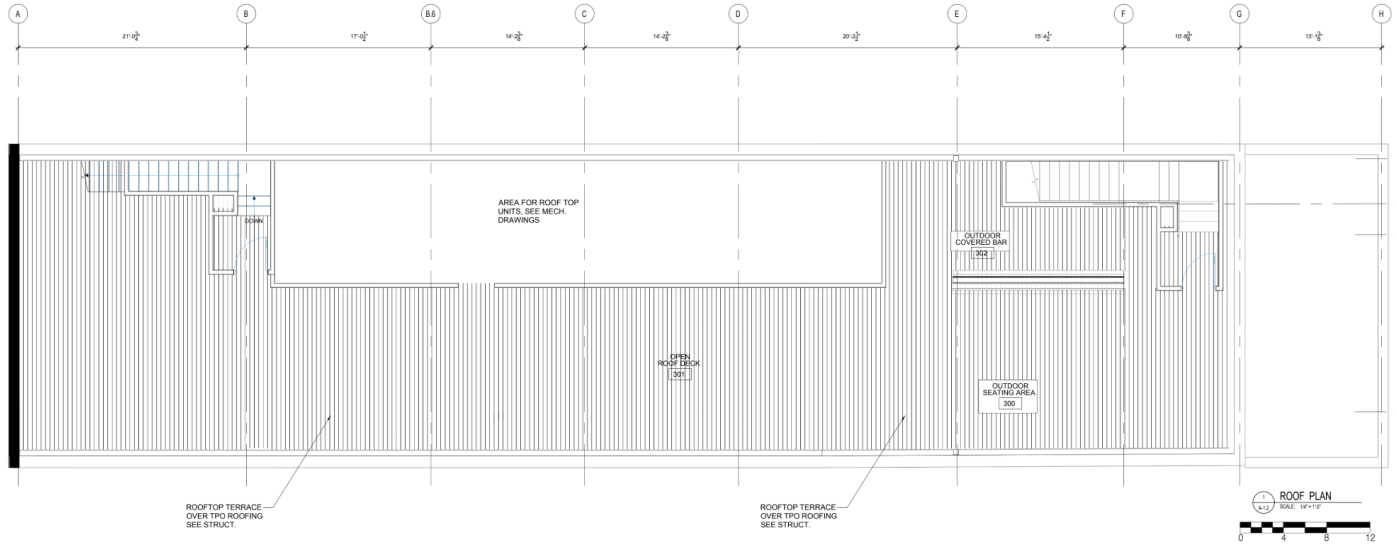
Second Floor Plans (Permitted Plan)



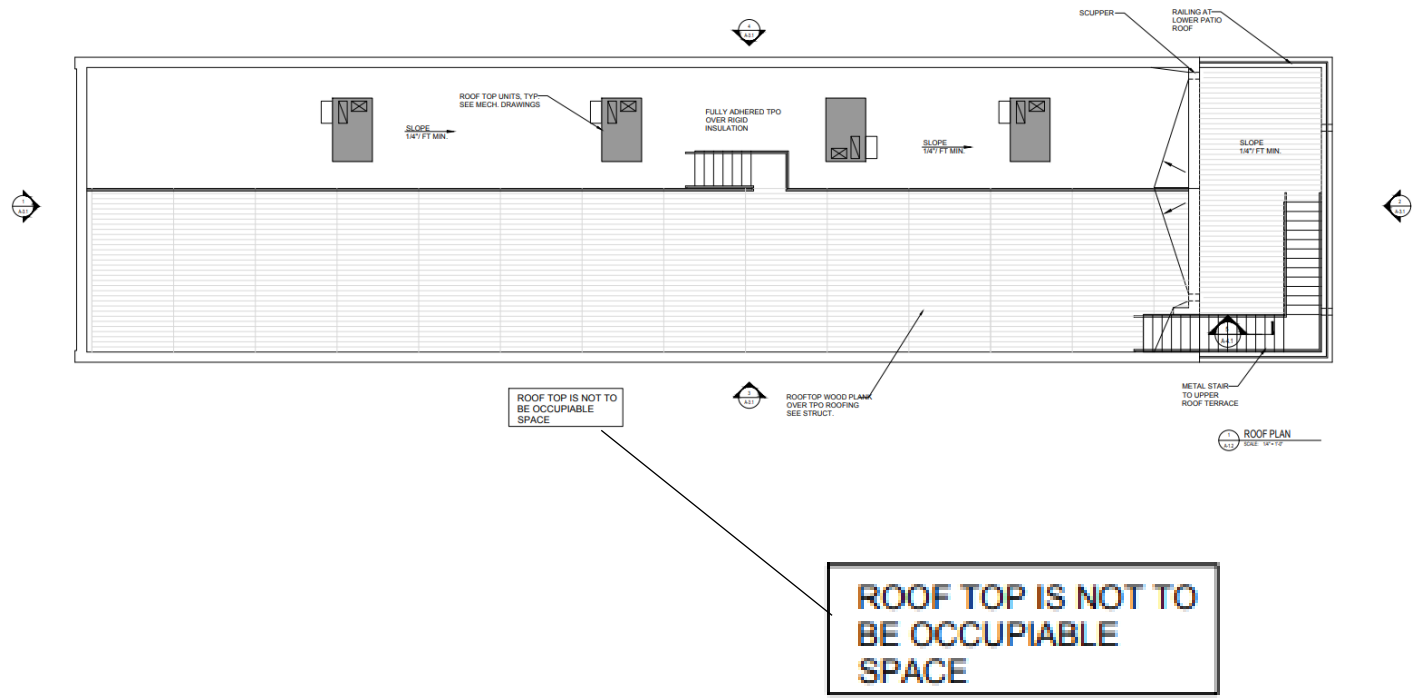
1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Roof Plan (New Submittal)



Roof (Permitted Plan)



ROOF TOP IS NOT TO BE OCCUPIABLE SPACE

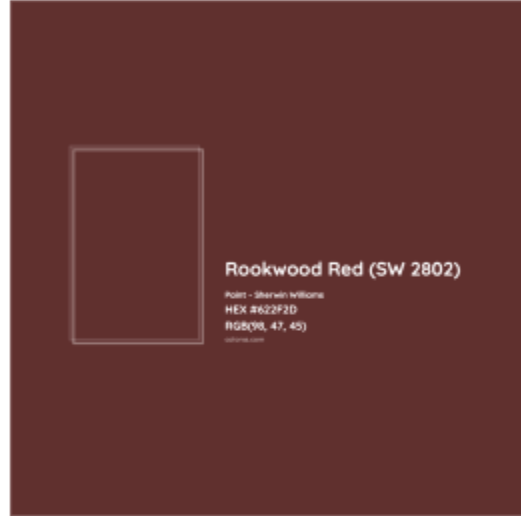
Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Colors (New Submittal)

Wood trim at front and rear facade.



Brick paint at side walls.



Paint at front facade.



Brick color at rear ground level.



Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Elevation Color & Material



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
 65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	blue/gray	Brick
Primary Façade:	red/brown	Brick
Primary Façade: Third		
Left Side:	red/brown	Brick
Left Side: Second		
Left Side: Third		
Left Side:		
Right Side:	red/brown	brick
Right Side: Second		
Right Side:		
Right Side:		
Rear: First	white	brick
Rear: Second	red/brown	brick
Rear: Third		
Rear: Basemnt		

Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
 65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	red/brown&white	brick
Garage Doors		
Trim		
Mortar	to match adj. brick	
Gutters	white	metal
Corner Board		
Railings	gray	metal
Windows	black	metal
Window Sills		
Window Muntin/Mulli	black	metal
Columns		
Other Architectural Features		
Other Architectural		

Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width: 30.04'	Length: 130'	Height:* 40 '
Area Dimensions:		
First Floor: 3900	Second Floor: 3540	Third Floor:
Basement**:	Front Porch:	Rear Porch:
Patio: 360	Garage:	
Primary Roof System: (Circle One)		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat X
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch: 1/4" per foot min.		
Secondary Roof Pitch:		
Additional Roof Pitch:		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: StaffReport - 67SouthPeachtree_26March2025 (25-7229 : Coa2024-052 67 South Peachtree Street)

Design Standards:

The applicant is proposing the expansion of the existing second story of the property which is considered a new addition to a historic structure. The applicant is reminded per the Architectural and Site Design Standards that “the design of a new addition must be clearly differentiate so that the addition is not mistaken for part of the original building...new additions must be designed so that a minimum of historic material and character defining elements are obscured, damaged, or destroyed... [and] rooftop additions should be stepped back from all facades that front on a public right-of way”. Please refer to the recommendations for new additions to historic properties put forth by the Secretary of the Interior’s Standards for Rehabilitation’s (SISR) which are shown below.

Historic Buildings | **New Additions**

recommended

Placing functions and services required for the new use in non-character-defining interior spaces rather than installing a new addition.

Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Designing new additions in a manner that makes clear what is historic and what is new.



Small glass connector between two historic buildings with appropriate setback.



Contemporary addition (left) to historic library appropriately placed on secondary side elevation.

Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building.

In either case, it should always be clearly differentiated from the

historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.

Placing new additions such as balconies and greenhouses on non-character-defining elevations and limiting and size and scale in relationship to the historic building.

Designing additional stories, when required for the new use, that are set back from the wall plane and are as inconspicuous as possible when viewed from the street.

not recommended

Additionally, the SISR also addresses required accessibility and life safety codes as they relate to exterior modifications. Specifically, these standards recommend “[identifying] the historic building's character defining spaces, features, and finishes so that accessibility code-required work will not result in their damage or loss.” Please refer to the complete section, shown below.

Considerations **Accessibility**

recommended

Identifying the historic building's character defining spaces, features, and finishes so that accessibility code-required work will not result in their damage or loss.



Historic threshold made accessible with 1/2" wood bevel.

Complying with barrier-free access requirements, in such a manner that character-defining spaces, features, and finishes are preserved.

Working with local disability groups, access specialists, and historic preservation specialists to determine the most appropriate solution to access problems.

Providing barrier-free access that promotes independence for the disabled person to the highest degree practicable, while preserving significant historic features.

Designing new or additional means of access that are compatible with the historic building and its setting.



Compatible lift for historic foyer using "like" materials.



Entrance made accessible by adding inconspicuous ramp.

Architectural Standards

The text is from page 21, Section 2.1 of the Norcross Architectural Standards PDF.

Downtown Developments and Historic Districts

GOALS

- Building is two story taking up less of a footprint
- Different activities are encouraged to be stacked within the same building allowing for Mixed Use with greater density
- Site is pedestrian friendly with wide sidewalks, public plazas and shop fronts
- Signage is (smaller) oriented to pedestrian
- More landscaping is provided to soften and reduce heat island

Goals

- Conserve the traditional historic, architectural and landscape character of the downtown core and surrounding neighborhoods, while guiding reasonable growth.
- Guide new commercial and residential construction that is compatible with the distinctive character of the area.
- Discourage demolition of historic structures that contribute to the character of the district.
- Ensure compatibility of development with the vision of the City.
- Provide an objective guide for local design review decisions.

Guidelines

- 2.1.1 Architectural details must reflect features within the district or within the area of influence of the project, and will be appropriately scaled to the new construction utilizing historic precedent.
- 2.1.2 Architectural features must promote architectural interest and will use the same proportion, scale and detailing as the historic precedents found within the district. These features and details may not overwhelm a façade.
- 2.1.3 New buildings must be compatible with surrounding buildings in terms of form, scale, height, massing, proportion and roof shape. No structure may exceed the height of an adjacent structure by more than one floor.
- 2.1.4 One-story buildings shall have a minimum height of sixteen feet. No structure may exceed forty feet in height without formal approval of the City.
- 2.1.5 Historic buildings in the district should not be demolished unless they are so unsound that rehabilitation is not possible.

A prolonged lack of maintenance results in demolition by neglect – the preventable demise of a historic building due to willful lack of maintenance. Because demolition is irreversible, all possibilities for saving a threatened historic structure must be explored. Demolition of contributing structures is prohibited because of the negative impact it has on the surrounding area and the historic fabric of the district. The loss of a historic building creates a void in the streetscape, and subsequent improvements to the site are usually not as well designed or constructed as the original. Comparable new construction is often not feasible because of market conditions and the unavailability of materials and skilled craftsman.

Text from last February 26, 2025 Meeting

The applicant is expressly requesting multiple changes to the previous HPC approval as listed below:

1. Front façade: Windows have been revised to two large storefront type windows with a central door instead of an entrance door at the right of the building.
2. Front façade: First floor color revised.
3. Front façade: Second floor windows have been revised to a 9 pane window vs the original 16 pane windows.
4. Rear facade: Large rear window has been revised to a rectangular storefront type window with an additional exit door added.
5. Rear facade: Color of brick revised to SW 9582 “white sand” instead of red brick.
6. Rear facade: Railing design simplified.
7. Rear facade: Exterior stair has been removed and replaced by an interior stair.
8. Rear façade: Addition of 5 exterior planters at rear ground floor level.
9. Roof: Create a new rooftop terrace of existing room. New pergola structure added to roof.

In addition to these expressly noted changes, Staff noted inconsistencies between the applicant’s submitted elevations and renderings and spoke with the applicant about the inconsistencies on multiple occasions. Applicant opted not to address all of the inconsistencies and instead informed staff that staff should rely on pictures of what has been built on site. Staff has noted that the renderings and elevations submitted in this Application are inconsistent with the previously approved elevations and inconsistent with the existing, as-built condition of project:

10. Revised submission for rear elevation windows does not reflect existing window designs
11. Rear Elevation does not reflect submitted rear elevations
12. Rooftop Structure visible from South Peachtree is not shown in any elevation and no detail is provided regarding the materials.
13. Flagpole removed from original front elevation
14. Front facade light fixtures not listed in application or in elevation
15. Rear facade light fixtures not listed in application or in elevation
16. Gate panel on rooftop terrace not explicitly listed in application
17. Side Elevation is not provided, and should include the newly proposed rooftop terrace

Discussion Items

1. Front façade: Windows have been revised to two large storefront type windows with a central door instead of an entrance door at the right of the building.
2. Front façade: First floor color revised.
3. Front façade: Second floor windows have been revised to a 9 pane window vs the original 16 pane windows.
4. Rear facade: Large rear window has been revised to a rectangular storefront type window with an additional exit door added.
5. Rear facade: Color of brick revised to SW 9582 “white sand” instead of red brick.
6. Rear facade: Railing design
7. Rear facade: Exterior stair has been removed and replaced by an interior stair.
8. Rear façade: Exterior planters at rear ground floor level.
9. Rear façade: Patio Seating
10. Roof: Create a new rooftop terrace of existing room. New pergola structure added to roof.
11. Flag and flagpole specifications
12. (text from last submittal) Applicant shall contact the Norcross Public Arts Commission (NPAC) to establish an open line of communication should NPAC choose to explore installing artwork on, or around, the building.

Recommendation:

Given the City’s Architectural Standards, Section 2.1, Guideline 2.1.3 “New buildings must be compatible with surrounding buildings in terms of form, scale, height, massing, proportion and roof shape. No structure may exceed the height of an adjacent structure by more than one floor.”

The rooftop does not correspond with the character or historic preservation goals for the area and poses concerns for staff given the original intent of the project not allowing gatherings on the roof.

Therefore, Staff recommends approval of the submitted application subject to the following conditions:

1. Rooftop structures shall be removed unless HPC approves to waive guideline 2.1.3 to permit a third floor. Note: Waiving guideline 2.1.3 would allow for future applicants within the downtown district to also request the guideline be waived.
2. Applicant(s) shall work with City Staff on exploring structural design options of rooftop structure(s) and second floor of building based on architectural building and Fire Marshall review.
3. If planters are used, they shall be black, dark gray, or similar.
4. Planters and outdoor seating area shall not encroach the right-of-way.
5. Applicant shall correct and submit any outstanding missing or inconsistent documentation and/or elevations.
6. The applicant shall conform to the elevations in terms of design, materials, and color submitted as part of this application.
7. Applicant shall include a plaque installed on the front of the building noting that it was used as a local Masonic lodge from 1909 to 2022 as a replacement for the existing plaque with formal wording as determined by the Historic Preservation Commission.
8. Exterior building signage renderings shall be submitted to the Community Development department as a sign permit application for review and approval.
9. The HVAC equipment shall be screened so it is not visible from the road or park.
10. All windows that contain light dividers shall provide muntins of appropriate dimension to convey depth from street view.
11. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Historic Preservation Commission approval.
12. Any changes from the Historic Preservation Commission approved component shall follow established procedures and may require additional public hearings.
13. A final Historic Preservation Commission inspection shall occur prior to release of the certificate of occupancy to confirm compliance with the above conditions.

Note: With an HPC approval, the applicant must still apply for a building commercial permit with includes a building inspection to check if roof structure is viable, fire marshal inspection, installation of grease trap; a business license, which includes approval from Gwinnett County Environmental Health, as well as potentially a Special Use Permit for an event hall.



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address:	Lot #	Tax Parcel ID:	
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name:	Phone:		
Address:	City:	State:	Zip Code:
APPLICANT			
Applicant Name:	Phone:		
Company Name:	Email:		
Address:	City:	State:	Zip Code:
DESCRIPTION OF PROJECT			
Project Type <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:			
STATEMENT			
<p>Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months?</p> <p style="text-align: center;">Yes No</p> <p style="text-align: center;">If yes, please list the board and reference number:</p> <p style="text-align: center;">_____</p>			
OWNER'S SIGNATURE			
Signature:	Date:		
<p>NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with https://eplansolution.com/norcrossga Hard copies of application materials will not be accepted.</p>			

Attachment: 67 S Peachtree HPC Application (25-7229 : Coa2024-052 67 South Peachtree Street)

Description of Project

Front facade: Removal of relatively new brick facade and replace with new brick veneer and new metal insulated windows.

Rear facade: Replace existing masonry wall, which is in disrepair, with new brick veneer. Addition of new insulated metal windows and doors. At the rear, the existing second floor is set back approximately 40' from the first floor. Proposal is to extend the second floor approximately 28' toward Skin Alley, leaving 12' of area for a second floor patio. Addition of new decorative metal railing at second floor patio.

Side facades at second floor: Existing window openings to remain. New insulated windows to be installed in existing window openings. Style of window to match existing.

Roof: Create a new rooftop terrace over existing roof.

Changes since last submittal:

Front facade: Windows have been revised to two large storefront type windows with a central door instead of an entrance door at the right of building. First floor color revised. Second floor windows have been revised to a 9 pane window vs the original 16 pane windows.

Side facades: no change

Rear facade: Large rear window has been revised to a rectangular storefront type window with an additional exit door added. Color of brick revised to SW 9582 "white sand" instead of red brick. Railing design simplified. Exterior stair has been removed and replaced by an interior stair. Addition of 5 exterior planters at rear ground floor level.

Roof: Create a new rooftop terrace of existing room. New pergola structure added to roof.



Certificate of Appropriateness Application

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 65 Lawrenceville Street Norcross, GA 30071

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width:	Length:	Height:*
Area Dimensions:		
First Floor:	Second Floor:	Third Floor:
Basement**:	Front Porch:	Rear Porch:
Patio:	Garage:	
Primary Roof System: (Circle One)		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch:		
Secondary Roof Pitch:		
Additional Roof Pitch:		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: 67 S Peachtree HPC Application (25-7229 : Coa2024-052 67 South Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027

65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First		
Primary Façade:		
Primary Façade: Third		
Left Side:		
Left Side: Second		
Left Side: Third		
Left Side:		
Right Side:		
Right Side: Second		
Right Side:		
Right Side:		
Rear: First		
Rear: Second		
Rear: Third		
Rear: Basemnt		

Attachment: 67 S Peachtree HPC Application (25-7229 : Coa2024-052 67 South Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
 65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry		
Garage Doors		
Trim		
Mortar		
Gutters		
Corner Board		
Railings		
Windows		
Window Sills		
Window Muntin/Mulli		
Columns		
Other Architectural Features		
Other Architectural		

Attachment: 67 S Peachtree HPC Application (25-7229 : Coa2024-052 67 South Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
 65 Lawrenceville Street Norcross, GA 30071

ARCHITECTURAL REVIEW BOARD MEETING CALENDAR		
Pre-Application Submittal Deadline	Application Submittal Deadlines	ARB Meeting
11/28/2023	12/5/2023	1/16/2024
12/27/2023	1/2/2024	2/20/2024
1/16/2024	1/23/2024	3/19/2024
2/27/2024	3/5/2024	4/16/2024
4/2/2024	4/9/2024	5/21/2024
4/30/2024	5/7/2024	6/18/2024
5/28/2024	6/4/2024	7/16/2024
6/25/2024	7/2/2024	8/20/2024
7/23/2024	7/30/2024	9/17/2024
8/27/2024	9/3/2024	10/15/2023
9/24/2024	10/1/2024	11/19/2024
10/22/2023	10/29/2024	12/17/2024

HISTORIC PRESERVATION COMMISSION MEETING CALENDAR			
Pre-application Meeting Deadline	Application Submittal Deadline		Historic Preservation Commission Meeting
12/5/2023	12/12/2023		1/24/2024
1/9/2024	1/16/2024		2/28/2024
2/6/2024	2/13/2024		3/27/2024
3/5/2024	3/12/2024		4/24/2024
4/2/2024	4/9/2024		5/22/2024
5/7/2024	5/14/2024		6/26/2024
6/4/2024	6/11/2024		7/24/2024
7/2/2024	7/9/2024		8/28/2024
7/30/2024	8/6/2024		9/25/2024
9/3/2024	9/10/2024		10/23/2024
10/8/2024	10/15/2024		11/27/2024

Attachment: 67 S Peachtree HPC Application (25-7229 : Coa2024-052 67 South Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

ARCHITECTURAL REVIEW BOARD/ HISTORIC PRESERVATIONS REVIEW FEES		
Commercial/Industrial Major Reviews	Major Project Reviews	\$500
Commercial/Industrial Reviews	Minor improvements to façade	\$150
Residential Major Review	New Residential Construction in the City or Historic District	\$150
Residential Minor/Administrative Staff Review	Minor improvements or alterations in the City or Historic District/Administrative Staff Review	\$25
Historic Demolition	Historic Demolition Review	\$500

Attachment: 67 S Peachtree HPC Application (25-7229 : Coa2024-052 67 South Peachtree Street)



Owner Affidavit

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

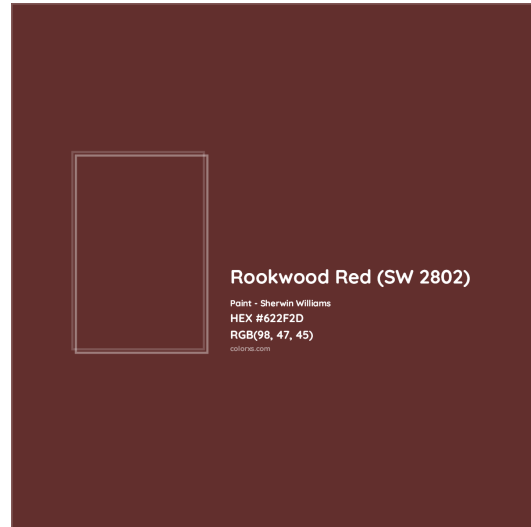
Section I. Land Ownership	
I, <u>George Popivanov</u> , hereby attest to ownership of the property located at <u>67 S. Peachtree Street, Norcross, GA</u> , Parcel ID# <u>R6254A016</u> for which this Application is submitted.	
The Ownership, as recorded on the deed, is in the name of <u>67 South Peachtree Street LLC</u> .	
Section II. Type of Ownership	
<input type="checkbox"/> Individual <input checked="" type="checkbox"/> Corporation/LLC <input type="checkbox"/> Partnership <input checked="" type="checkbox"/> Government	
Corporation/LLC/Partnership Name: <u>67 South Peachtree Street LLC</u>	Secretary of State Registration Number: <u>21229618</u>
	Registered Agent Name: <u>Ichter Davis LLC</u>
Provide Names of all Officers/Members/General Partners (If applicable): <u>George Popivanov</u>	
Registered Agent Address: <u>400 Interstate N Pkwy Suite 860, Atlanta, GA 30339</u>	Registered Agent Phone #: <u>(404) 869-7600</u>
COMPLETE BY OWNER	
As the owner of the above designated property for which this affidavit is submitted, I wish to allow _____ (applicant's name) to apply for a _____ for the address mentioned in Section I of this form. I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief.	
NOTARY	
Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.	Sworn and subscribed before me this _____ day of _____, 20_____.
Name: <u>George Popivanov</u>	Notary Public:
Address: <u>2458 Violet Lane</u>	Seal:
City, State, Zip Code: <u>Duluth, GA 30096</u>	
Email address: <u>elijoro@gmail.com</u>	
Phoner Number: <u>404-993-6957</u>	Commission expires:
Owner's signature: 	

Attachment: 67 S Peachtree HPC Application (25-7229 : Coa2024-052 67 South Peachtree Street)

Wood trim at front and rear facade.



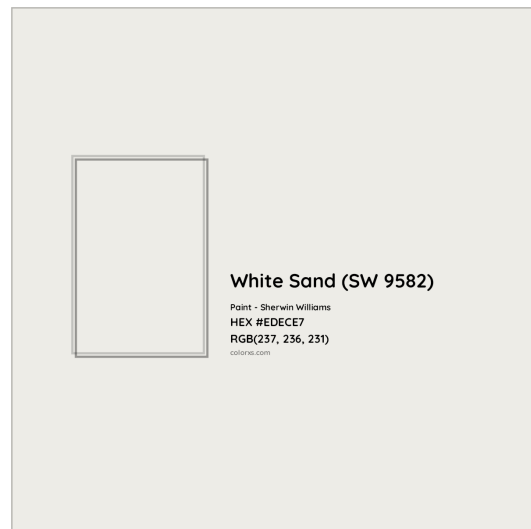
Brick paint at side walls.



Paint at front facade.



Brick color at rear ground level.



Attachment: 67 S Peachtree HPC Application (25-7229 : Coa2024-052 67 South Peachtree Street)

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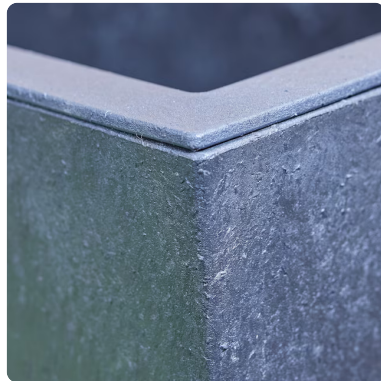
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EXCLUSIVE

allen + roth Rectangle 31-in W Large Black Rubber Contemporary/Modern Indoor/Outdoor Planter With Drainage Holes Self Watering

Item #4103163 | Model #MT5100696

4.5 39

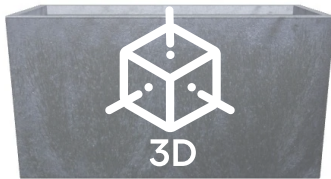
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Attachment: 67 S Peachtree HPC Application (25-7229 : Coa2024-052 67 South Peachtree Street)



Attachment: 67 S Peachtree HPC Application (25-7229 : Coa2024-052 67 South Peachtree Street)



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Attachment: 67 S Peachtree HPC Application (25-7229 : Coa2024-052 67 South Peachtree Street)

OFFICE BUILDING

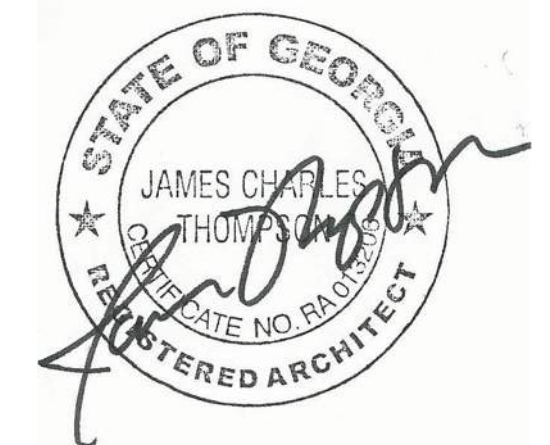
67 SOUTH PEACHTREE STREET
NORCROSS, GA

67 SOUTH PEACHTREE STREET, LLC

DRAWING RECORD	
09/08/22	PLAN REVIEW

THOMPSON GREENE ARCHITECTS

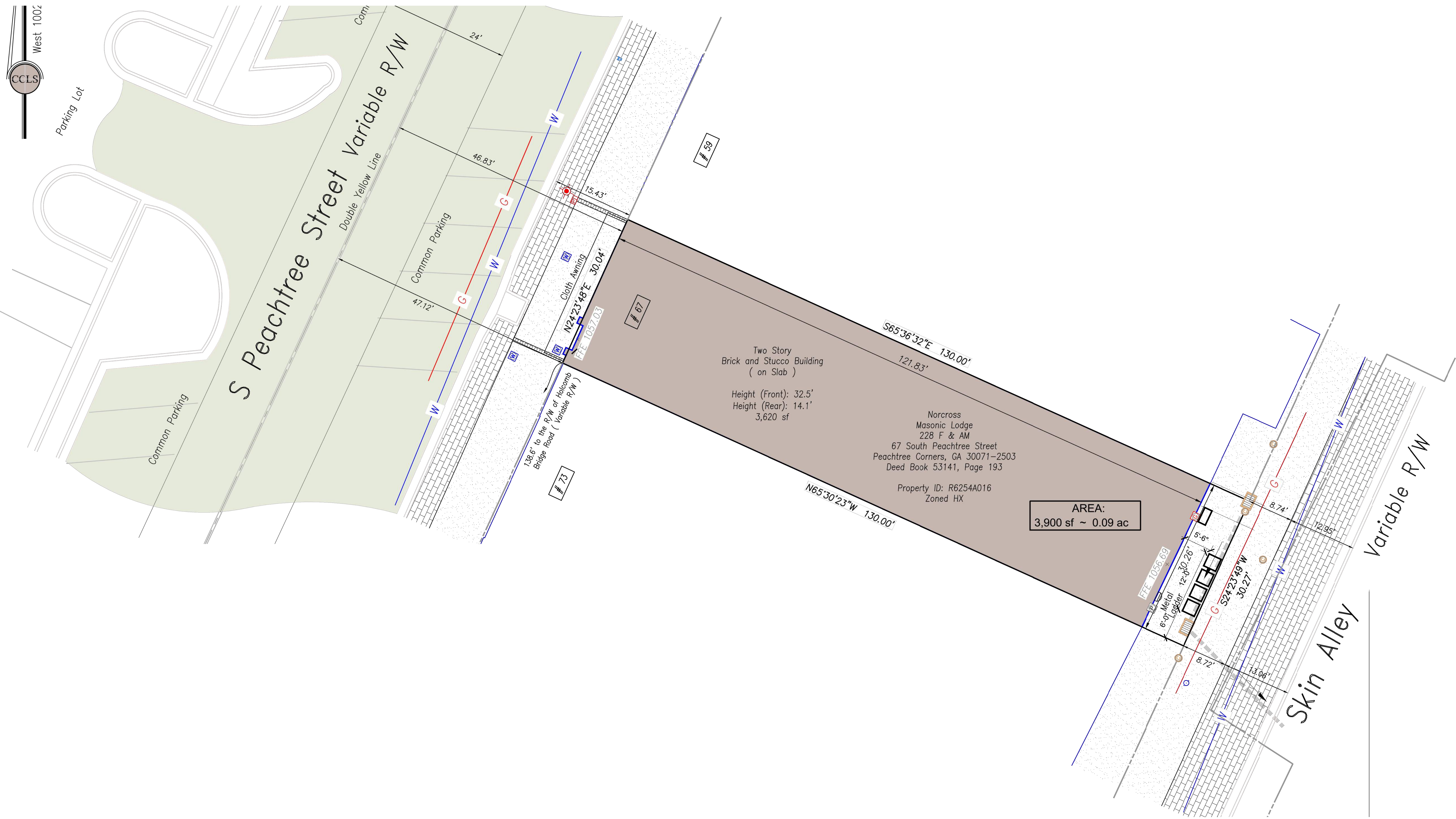
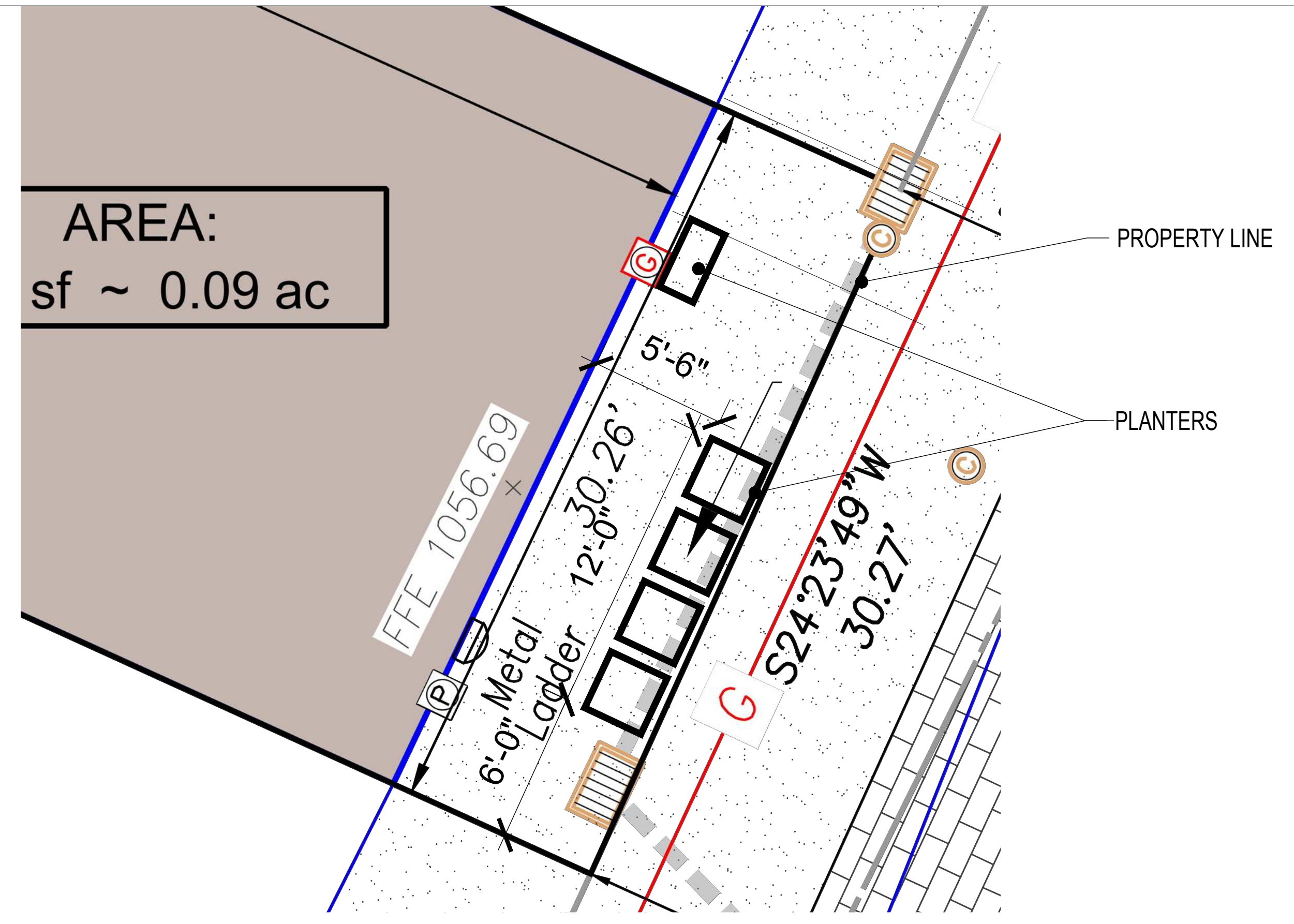
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SURVEY/
SITE PLAN

A-0.0

AREA:
sf ~ 0.09 ac



Attachment: 67 S Peachtree HPC Application (25-729 - Cea2024-002 67 South Peachtree Street)

OFFICE BUILDING

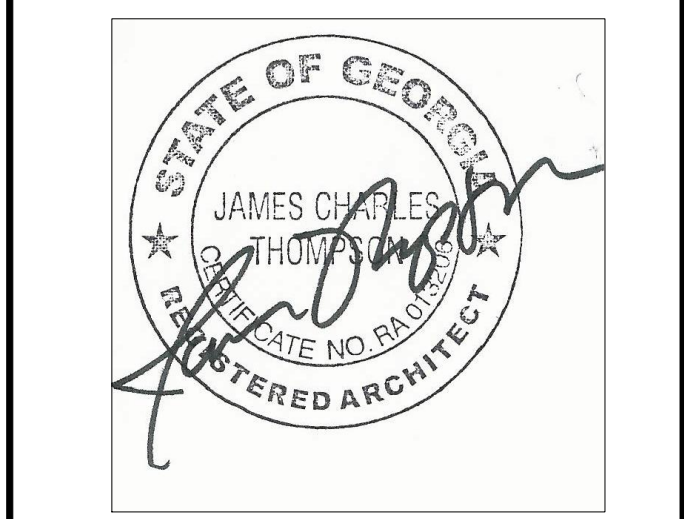
67 SOUTH PEACHTREE STREET
NORCROSS, GA

67 SOUTH PEACHTREE STREET, LLC

DRAWING RECORD	
09/08/22	PLAN REVIEW
10/23/24	REVISIONS - PLAN REVIEW

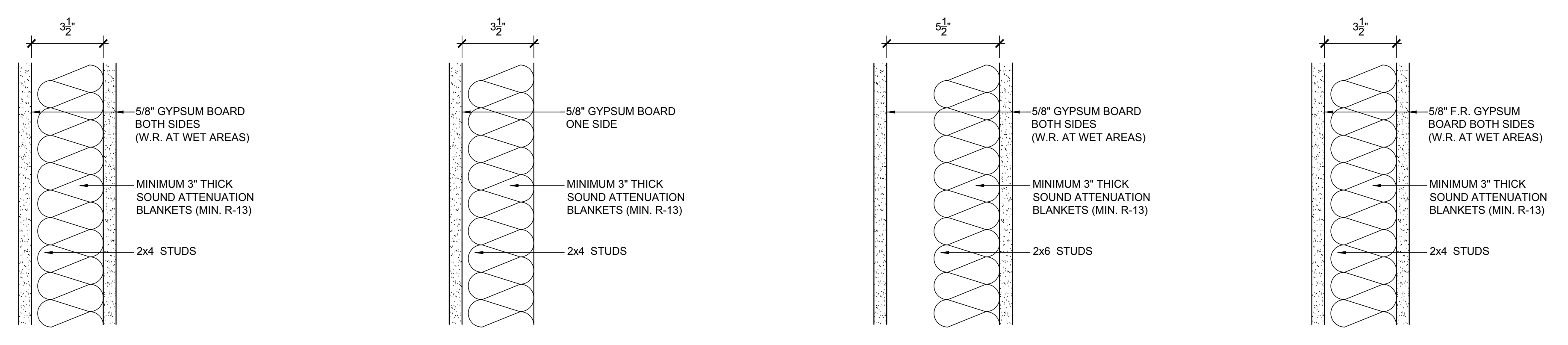
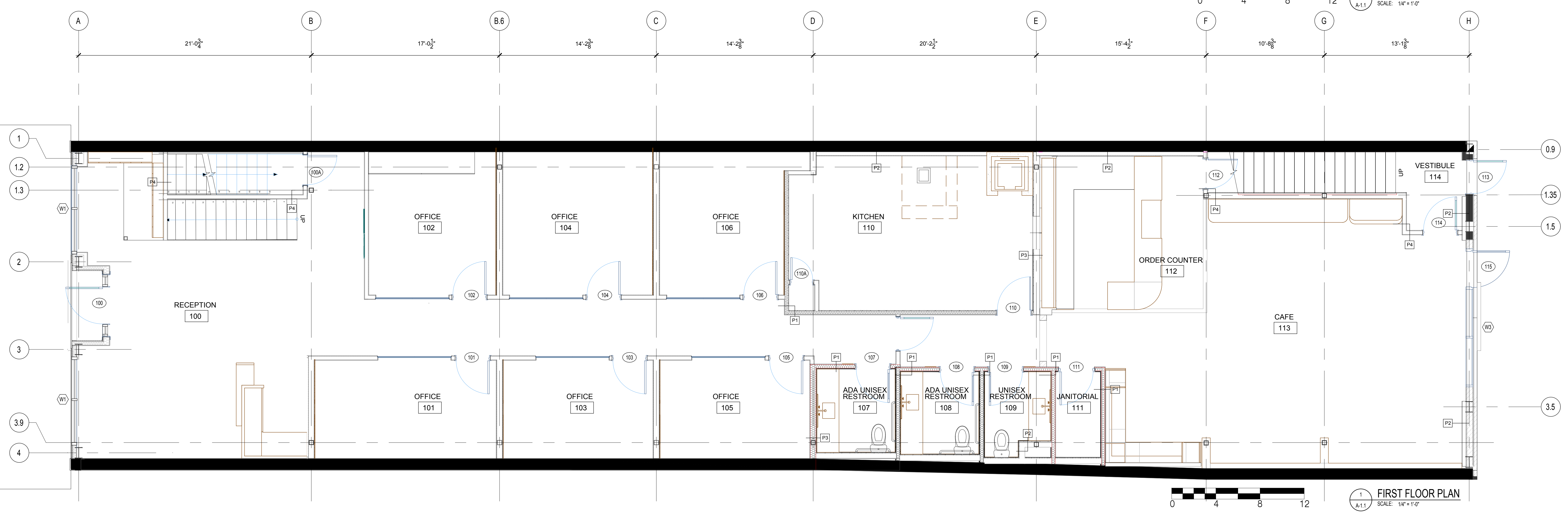
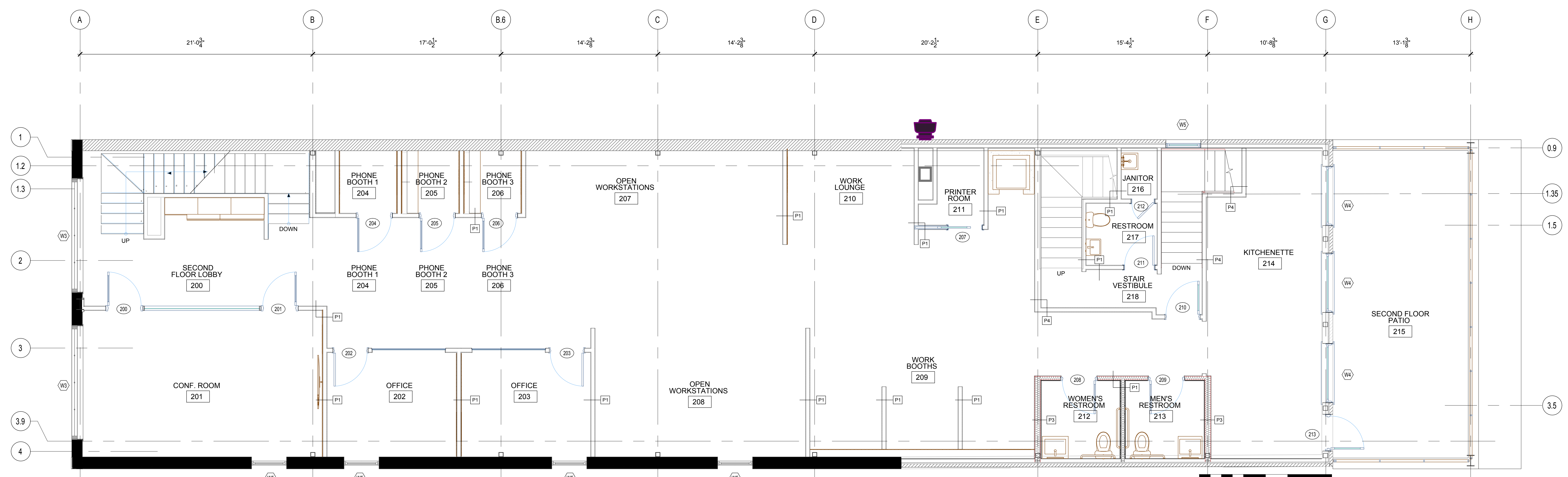
THOMPSON GREENE ARCHITECTS

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FLOOR PLANS

A-1.1



- STRUCTURAL AND FIRE RESISTIVE INTEGRITY IS TO BE MAINTAINED AT ALL PENETRATIONS INCLUDING ELECTRICAL, MECHANICAL, AND PLUMBING, IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING CODES AND AUTHORITIES.
- DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATION'S RECOMMENDED PRACTICE AND CERTIFIED FIRE RATING CRITERIA AS REQ. FOR THICKNESS, NAILING, TAPING AND STUD SPACING.
- NO FRAMING AT ANY TIME IS TO BE CONCEALED PRIOR TO INSPECTIONS BY GOVERNING AUTHORITIES.
- FIRE EXTINGUISHERS TO BE LOCATED PER SECT. 906 (IBC) AND AS DIRECTED BY LOCAL JURISDICTION AND AUTHORITIES.
- SEALANT AT EXTERIOR JOINTS AROUND WINDOWS, DOOR FRAMES, BETWEEN WALL CAVITIES AND WINDOW OR DOOR FRAMES, BETWEEN WALL AND FOUNDATION, BETWEEN WALL AND ROOF, BETWEEN WALLS AND ALL PENETRATIONS OR UTILITIES THROUGH WALLS AND ROOFS AND BETWEEN ALL DISSIMILAR MATERIALS.
- WATER SERVICE SHALL NOT BE PLACED IN CONCEALED SPACES OUTSIDE OF THE CONDITIONED BUILDING ENVELOPE.
- PROVIDE BLOCKING SUPPORT AND REINFORCEMENT TO ACCOMMODATE ALL WALL AND CEILING MOUNTED EQUIPMENT, FIXTURES & ACCESSORIES, INCLUDING ELEC. FEATURES & TOILET FIXTURES & GRAB BARS.
- ALL GYPSUM BOARD EXTERIOR CORNERS SHALL HAVE CONTINUOUS METAL CORNER BEADS FLOOR TO SOFFIT/CEILING. ALL EXPOSED GYPSUM BOARD EDGES SHALL HAVE METAL 'L' BEADS CONTINUOUS FROM FLOOR TO CEILING.
- ALL PENETRATIONS IN GYPSUM DRYWALL CONSTRUCTION SHALL BE SEALED TO PREVENT SOUND LEAKAGE.
- ALL F.R. CHASES/SHAFTS ARE TO EXTEND TO THE UNDERSIDE OF FLOOR/ ROOF DECK, U.N.O.
- FLOOR TOLERANCE: IN LAYING OUT AND DETAILING THE WORK TO BE COMPLETED, CONSIDERATION SHALL BE GIVEN TO VARIATIONS IN THE FLOOR LEVELNESS RESULTING FROM CONSTRUCTION QUALITY AND LIVE AND DEAD LOADS IMPOSED ON THE STRUCTURE. FIELD VERIFICATIONS SHALL BE MADE OF CONDITIONS TO VERIFY CONSTRUCTION TOLERANCES. ALIGNMENT OF DOOR HEADS AND OTHER HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL AND SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANE.
- PROVIDE ACCESS PANELS AS REQUIRED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PAINT ALL SURFACES WHICH REQUIRE PROTECTION FROM THE ELEMENTS WITH THE APPROPRIATE PAINT INCLUDING NECESSARY PRIMER COATS AND BACK PRIMING WHERE NECESSARY.
- GENERAL CONTRACTOR SHALL DRY-IN & CONDITION BUILDING PRIOR TO INSTALLING FINISHES.

OFFICE BUILDING

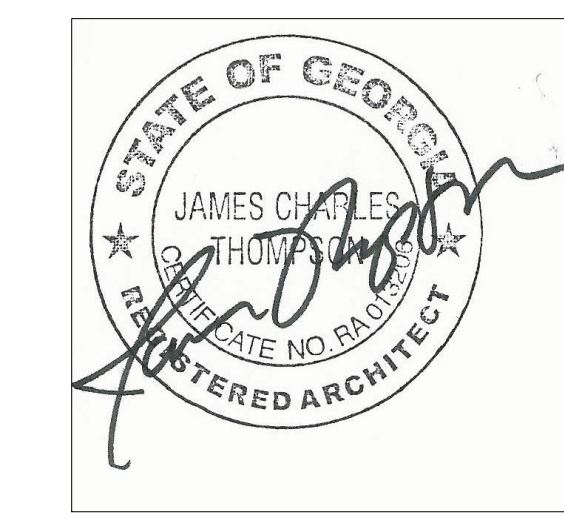
67 SOUTH PEACHTREE STREET
NORCROSS, GA

67 SOUTH PEACHTREE STREET, LLC

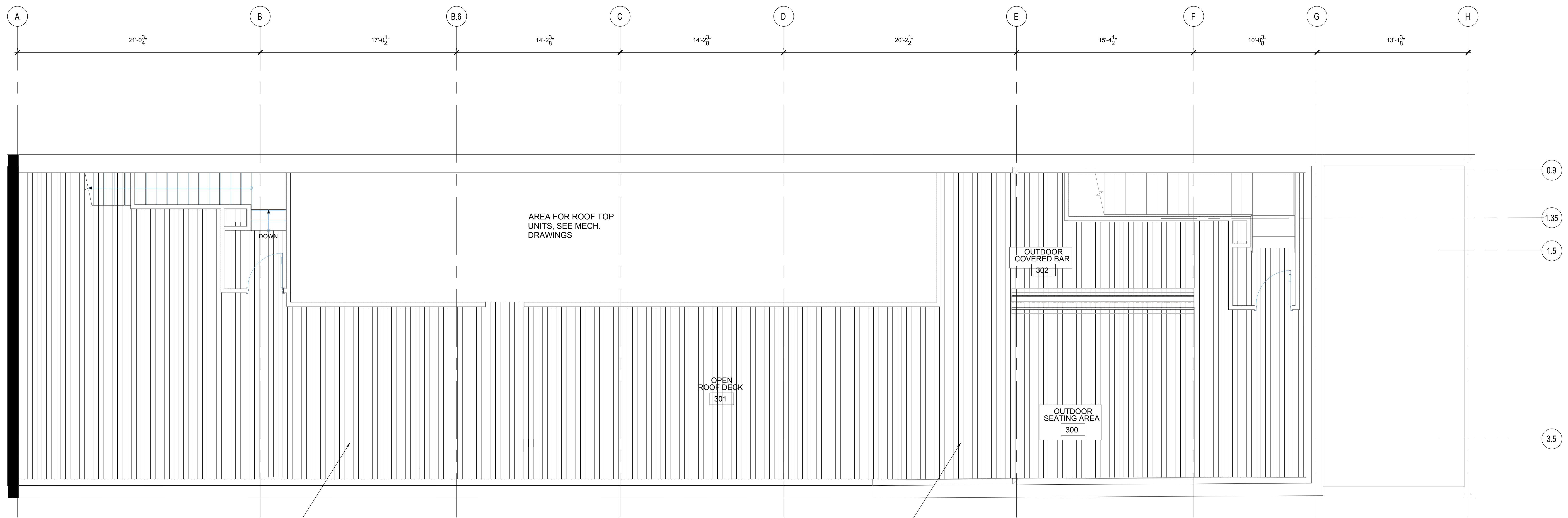
DRAWING RECORD	
09/08/22	PLAN REVIEW
10/23/24	REVISIONS - PLAN REVIEW

THOMPSON GREENE ARCHITECTS

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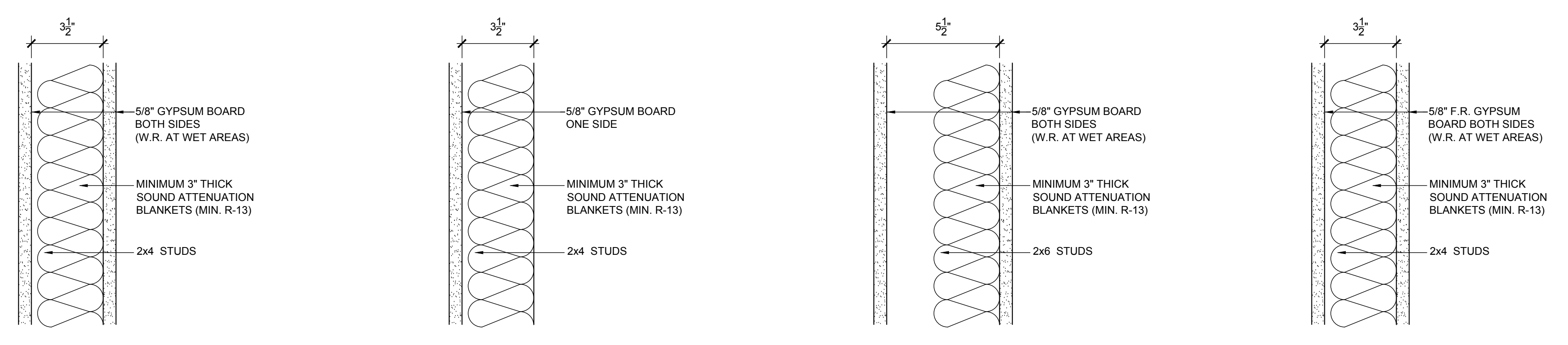
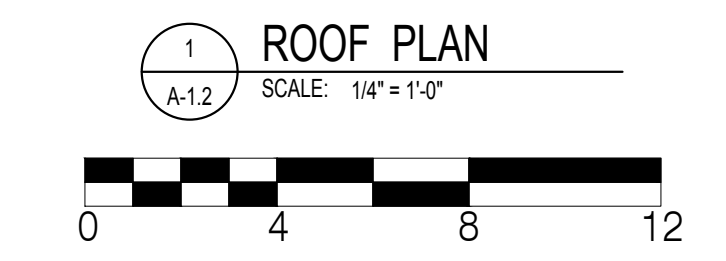


Attachment: 67 S Peachtree HPC Application (24-729 - Coa2024-052 67 South Peachtree Street)



ROOFTOP TERRACE OVER TPO ROOFING SEE STRUCT.

ROOFTOP TERRACE OVER TPO ROOFING SEE STRUCT.



P1 2x4 STUDS
 P2 2x4 STUDS
 P3 2x6 STUDS
 P4 1 HR RATED PARTITION - UL 311 2x4 STUDS

- STRUCTURAL AND FIRE RESISTIVE INTEGRITY IS TO BE MAINTAINED AT ALL PENETRATIONS INCLUDING ELECTRICAL, MECHANICAL, AND PLUMBING, IN ACCORDANCE WITH THE REQUIREMENTS OF GOVERNING CODES AND AUTHORITIES.
- DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATION'S RECOMMENDED PRACTICE AND CERTIFIED FIRE RATING CRITERIA AS REQ. FOR THICKNESS, NAILING, TAPING AND STUD SPACING.
- NO FRAMING AT ANY TIME IS TO BE CONCEALED PRIOR TO INSPECTIONS BY GOVERNING AUTHORITIES.
- FIRE EXTINGUISHERS TO BE LOCATED PER SECT. 906 (IBC) AND AS DIRECTED BY LOCAL JURISDICTION AND AUTHORITIES.
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ROOF PLAN

A-1.2

OFFICE BUILDING

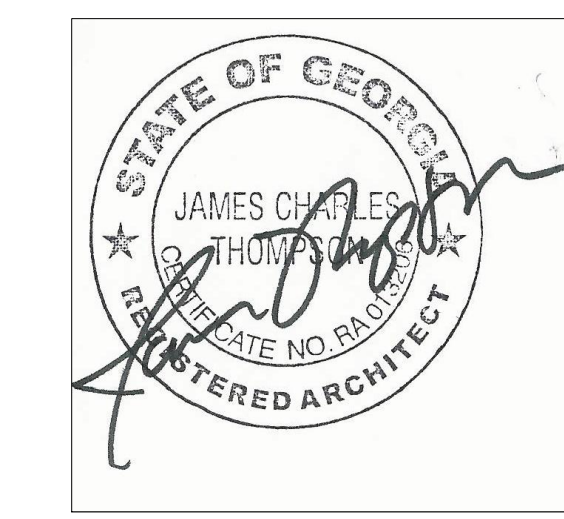
67 SOUTH PEACHTREE STREET
NORCROSS, GA

67 SOUTH PEACHTREE STREET, LLC

DRAWING RECORD
09/08/22 PLAN REVIEW

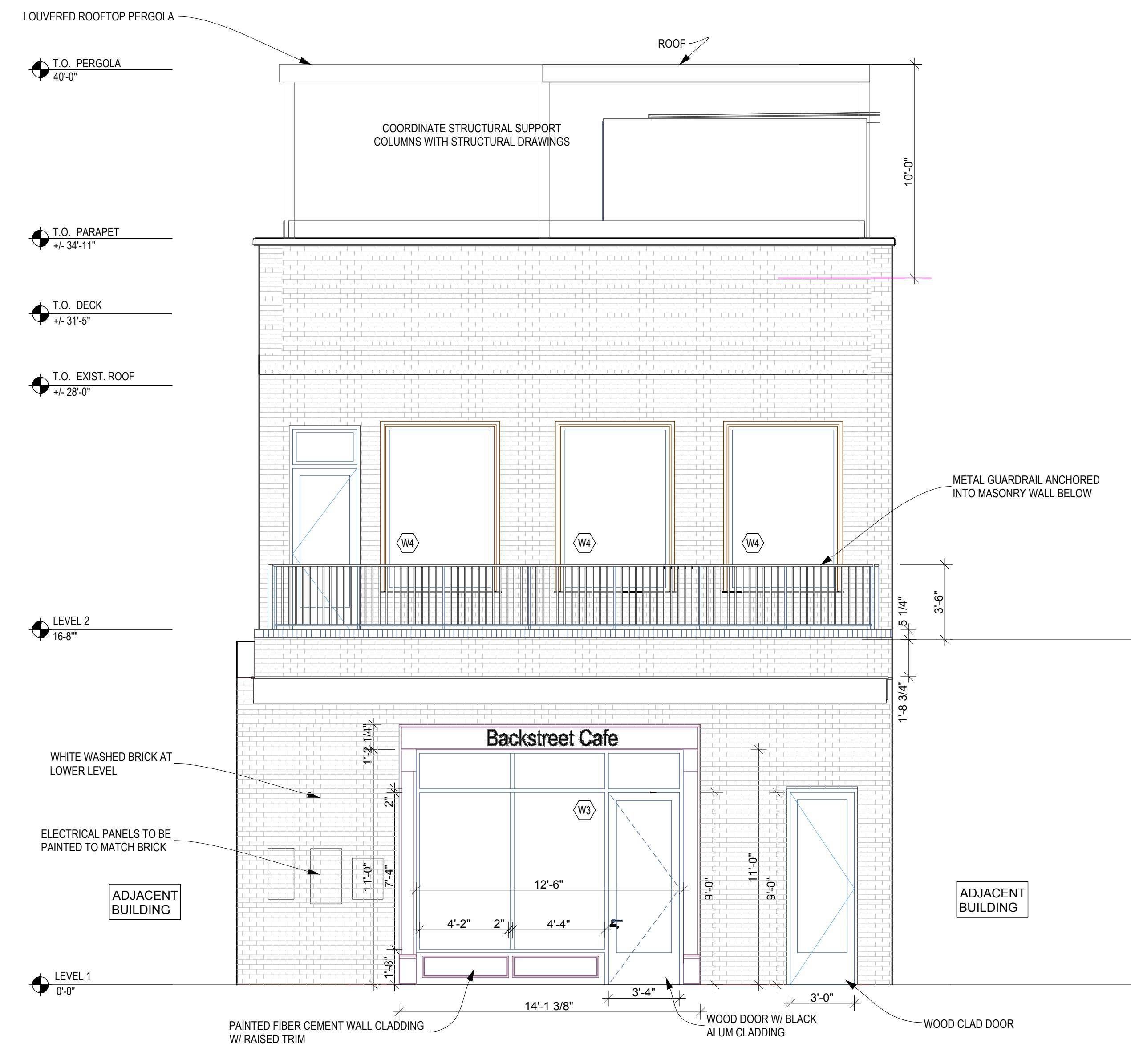
THOMPSON GREENE ARCHITECTS

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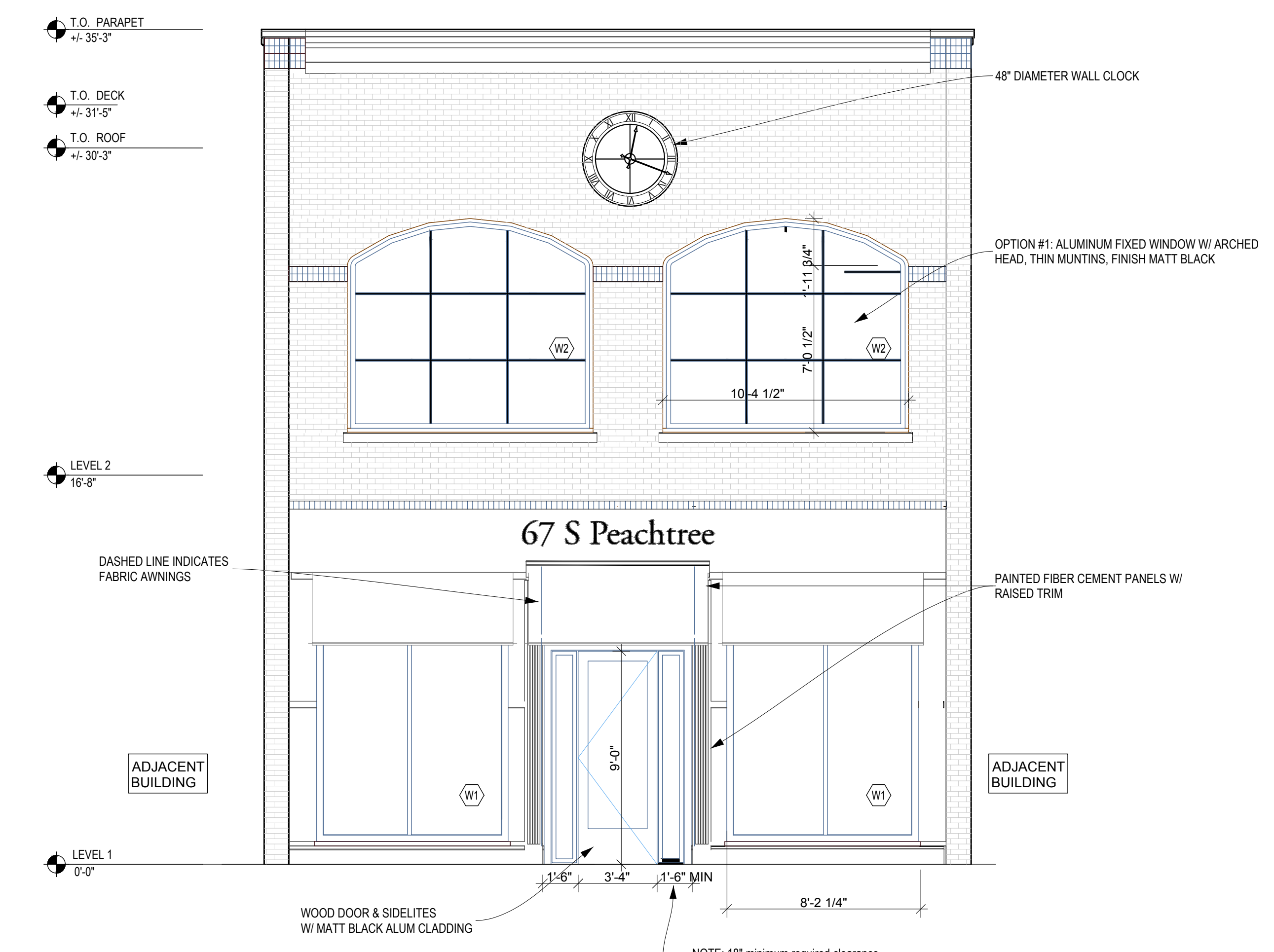
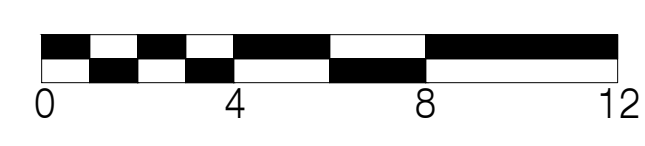


EXTERIOR ELEVATIONS

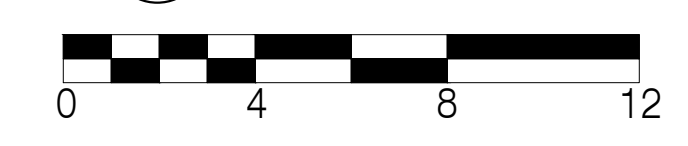
A-3.1



4 REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



Attachment: 67 S Peachtree HPC Application (25-729 - Coa2024-002 67 South Peachtree Street)



RENOVATION PROPOSAL

67 S PEACHTREE STREET, NORCROSS PROJECT

SCONECES

Dimensions

6.25" Width x 7" Depth X
19.25" Height

Hightlights

Hand crafted from brass
material with arched glass

Placement

The same sconces will be
used in the front and the
back of the building to
maintain consistency





RAILING

Hightlights

Crafted from iron, finished in matte black

Placement

The railing will surround the second floor patio



Approve

AWNINGS

Dimensions

7'4" Width x 3'8" Depth X
3'8" Height

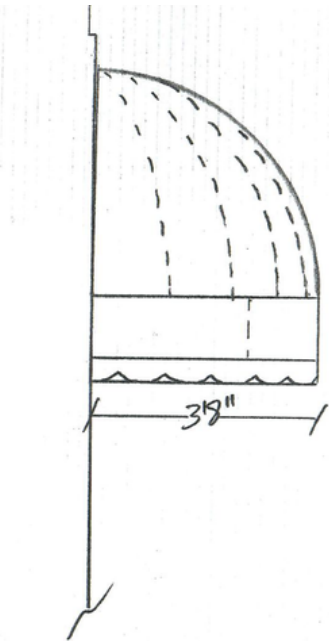
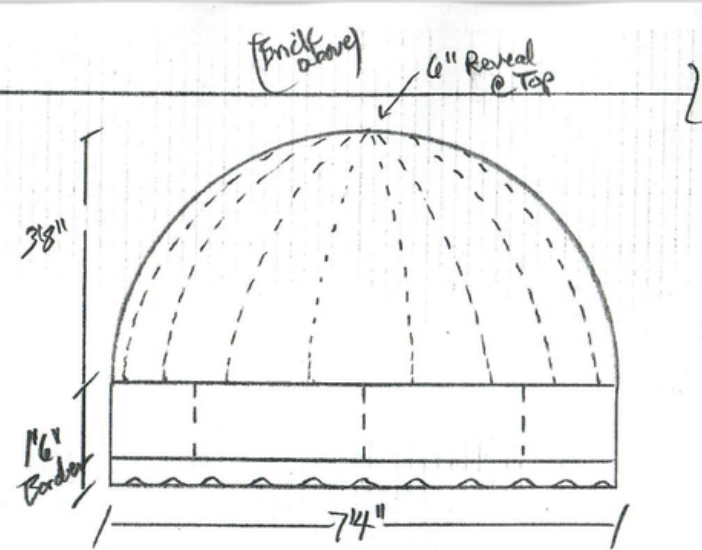
Hightlights

The fabric of the awning is crafted from Recacril Acrylic Canvas in the color black

The frame is a hand welded Gatorsheild tube in the color black

Placement

The awning will be placed above the entrance of the building



- Frame = 1.05" ϕ Gatorsheild Tube (welded)
- fabric = Recacril Acrylic Canvas



PLANTERS



Dimensions

31" W x 12" D x 16" H



Hightlights

Handcrafted from stone
by skilled artisans

Placement

Planters will be used to
enhance the street appeal
and create privacy for our
patrons at the cafe



Approve



PATIO SEATING

Highlights

We propose the addition of patio seating for our cafe to create a welcoming outdoor space where our guests can enjoy their meals and drinks. This seating will enhance the overall experience for our customers, provide a lively atmosphere, and help us better serve the community.





PATIO SEATING

Impact on Street Traffic

Weekdays: On

weekdays, we have carefully designed the patio layout to ensure that it will not obstruct pedestrian or vehicle traffic

Weekends: On

weekends, the street is converted into a pedestrian-only area, which provides even more freedom to enjoy the space



Approve

FLAGPOLE

Commitment for our staff

The flagpole represents a significant commitment on our part. It requires someone to regularly raise and lower it, as well as ongoing maintenance of both the flag and the mechanism. Additionally, if the flag becomes damaged or soiled, it would need to be replaced. We are not prepared to take on this responsibility. If the city is willing to cover the costs and assume full responsibility, we can discuss a resolution. However, as it stands, we believe we should not be compelled to install a flagpole.



Approve

Display of the Flag

It is the universal custom to display the flag only from sunrise to sunset on buildings and on stationary flag staffs in the open. However, when a patriotic effect is desired, the flag may be displayed twenty-four hours a day if properly illuminated during the hours of darkness

The flag should not be displayed on days when the weather is inclement, except when an all-weather flag is displayed

Maintenance and Safety

Flagpoles require regular maintenance to ensure the flag doesn't tear or get caught in harsh weather conditions

Modern poles available for purchase typically measure 20 ft and are designed for ground placement; however, installing them on rooftops can pose safety risks such as electrocution

OFFICE BUILDING

67 SOUTH PEACHTREE STREET
NORCROSS, GA

67 SOUTH PEACHTREE STREET, LLC

DRAWING RECORD	
09/08/22	PLAN REVIEW
03/11/25	HPC REVIEW

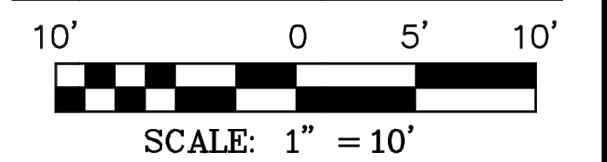
67 South Peachtree Street
Norcross, Georgia 30071

SITE AREA:

3,920 sf or 0.09 acre

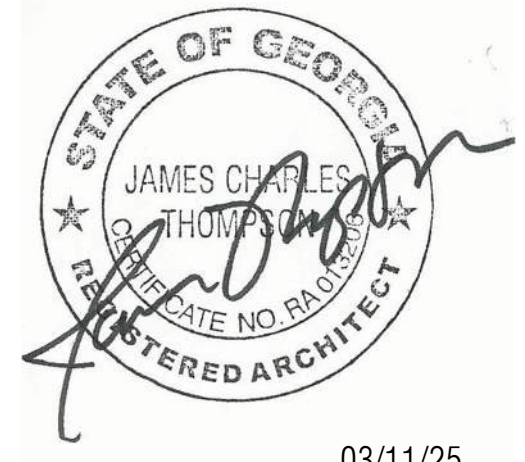
FLOOD:

"F.I.A. OFFICIAL FLOOD HAZARD MAP
13135C0082G,
CITY OF NORCROSS 30101,
ZONE 'X', DATED 03/04/2013,
SHOWS THIS PROPERTY NOT TO BE
A BASE FLOOD AREA.



THOMPSON GREENE ARCHITECTS

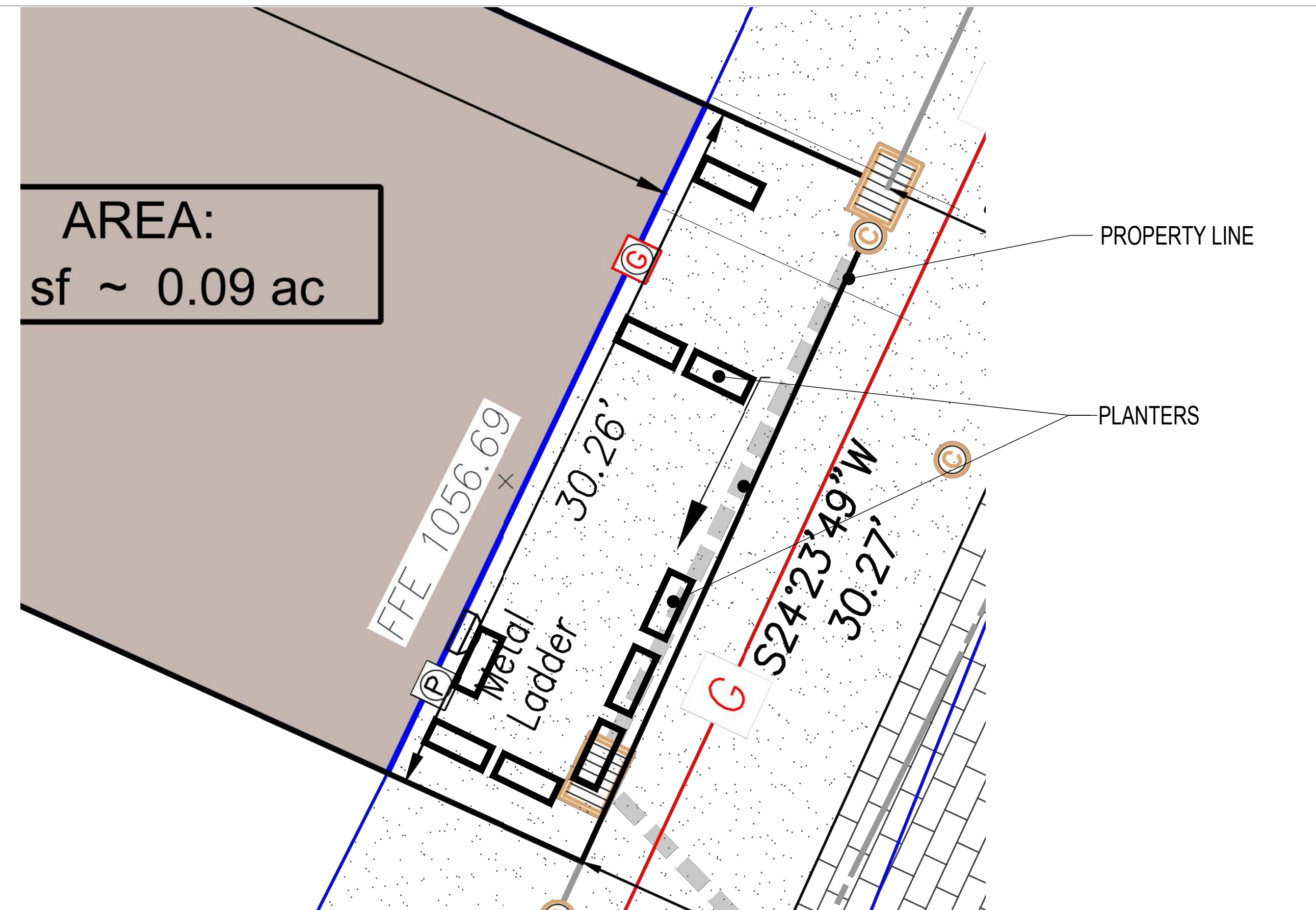
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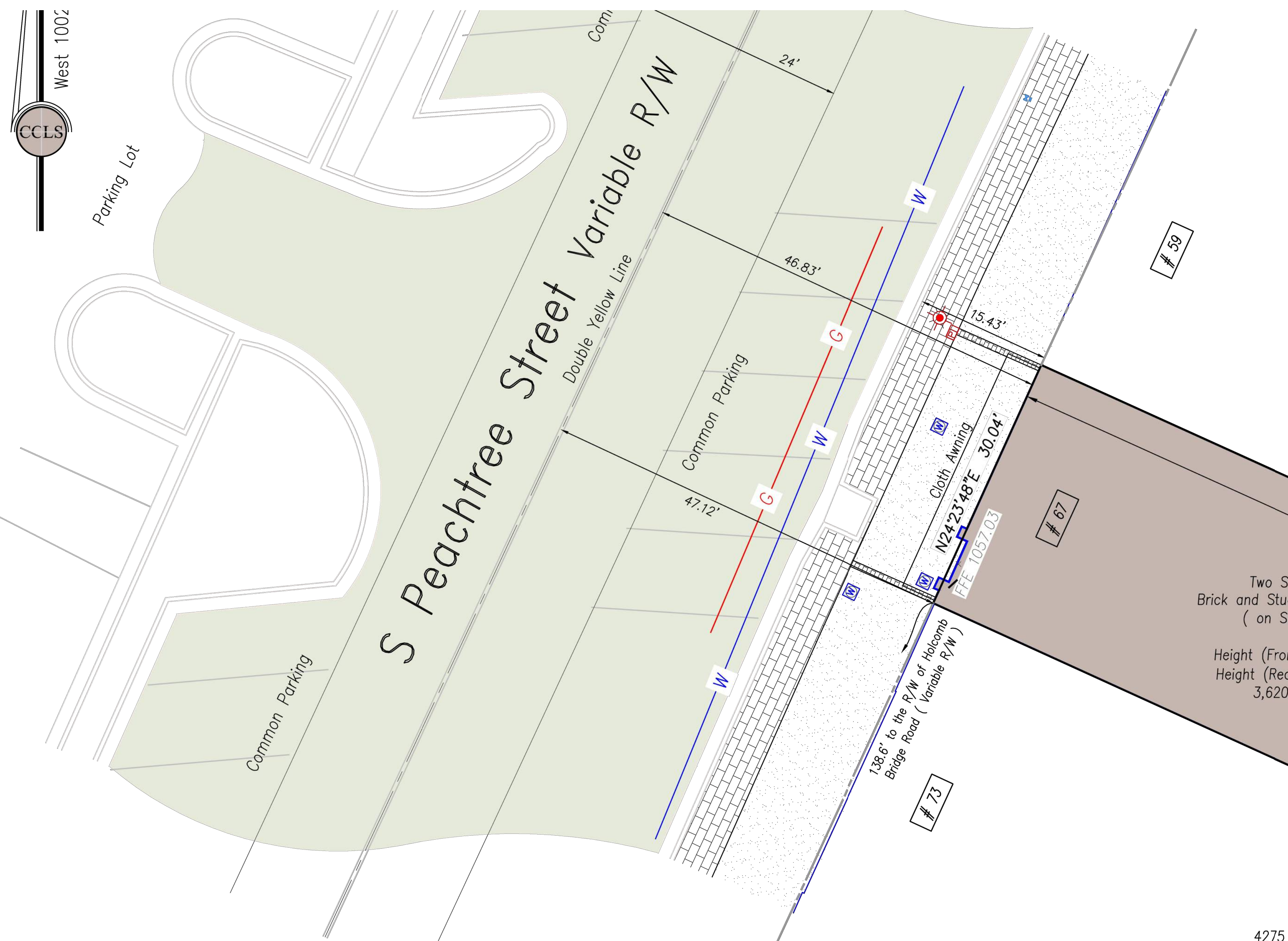
03/11/25

SURVEY/
SITE PLAN

A-0.0



- (4) Signs—see chapter 200, article IV, sign regulations.
- (d) HX permitted uses. The following uses shall be permitted as of right in this district. Supplemental regulations for uses are in chapter 200, article II, supplemental use standards, as applicable.
- (1) Residential—household residence.
 - a. Accessory dwelling unit.
 - (1) Sales and rental of goods, merchandise and equipment.
 - a. Retail sales < 5,000 square feet.
 - b. Studio or meeting facility < 19,999 square feet.
 - (1) Services—office, clerical, repair, research and personal not primarily related to the sale of goods or merchandise.
 - a. Banks and financial institutions—no drive-in facilities.
 - b. Business college or business school operated as a business enterprise.
 - c. Day care center.
 - d. Medical or dental office or clinic.
 - e. Personal service.
 - f. Professional and business office.
 - g. Professional service.
 - (1) Educational, cultural, religious, philanthropic, social or fraternal.
 - a. Libraries, museums, art galleries, art centers and similar uses.
 - (1) Private schools, trade or vocational schools.
 - e. Social, fraternal, clubs and lodges.
 - (1) Recreation, amusement, entertainment.
 - a. Activity conducted entirely within a building or substantial structure—theater, bowling alley, skating rink, movie theater, game room, etc.
 - (1) Storage and parking.
 - a. Automobile parking garage or parking lot not located on a lot on which there is another principal use to which the parking is related.
 - (1) HX accessory uses.
 - (1) Supplemental regulations for accessory uses are in chapter 200, article II, supplemental use standards, as applicable.
 - (2) Accessory dwelling unit in the HX district—may be permitted if it meets the following criteria:
 - a. The principal use and secondary use shall be subject to fire separation as required by the county Fire Marshal;
 - b. The dwelling unit must not occupy ground floor frontage (storefront) on South Peachtree Street or Jones Street;
 - c. The dwelling unit must not displace any space that has been actively used within the preceding 12 months for retail, office or food service not including passive storage;
 - d. The exterior appearance of any new construction will be subject to the approval of the HPC; and
 - e. Only one accessory dwelling unit per lot is permitted.



DBL Deleon Properties LLC
525 Dogwood Circle
Norcross GA 30071-2117
Deed Book 53789 Page 285

Property ID: R6254A015
59 South Peachtree Street
Zoned HX

Two Story
Brick and Stucco Building
(on Slab)

Height (Front): 32.5'
Height (Rear): 14.1'
3,620 sf

Norcross
Masonic Lodge
228 F & AM
67 South Peachtree Street
Peachtree Corners, GA 30071-2503
Deed Book 53141, Page 193

Property ID: R6254A016
Zoned HX

John J Mion, Sr
4275 Steve Reynolds Blvd Suite A
Norcross GA 30093-6106
Deed Book 9443, Page 71

Property ID: R6254A017
73 South Peachtree Street
Zoned HX

AREA:
3,900 sf ~ 0.09 ac

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 22,280 FEET AND AN ANGULAR ERROR OF 2" PER ANGLE POINT. IT WAS ADJUSTED BY USING THE LEAST SQUARES METHOD.

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 124,862 FEET.

EQUIPMENT UTILIZED:
ANGULAR: TRIMBLE 5603, LINEAR: E.D.M.

NO N.G.S. MONUMENTS FOUND WITHIN 500' OF THIS PROJECT.

EXCEPTIONS

MATTERS OF TITLE ARE LIMITED TO TITLE INFORMATION PROVIDED BY:
FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NUMBER: 007982-0001,
DATED JULY 25, 2021

MATTERS OF TITLE ~ SCHEDULE B

NONE

ALTA/NSPS CERTIFICATION:

To GEORGE POPIVANOV and
NATIONAL TITLE INSURANCE OF NEW YORK, INC.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 11, 13, 14, 16, 17, 18, 19 and 20 of Table A thereof.

ALTA/NSPS Table A Options

- 16. No observed evidence of current earth moving work, building construction or building additions.
- 17. No known proposed changes in street right of way lines. No observed evidence of recent street or sidewalk construction or repairs.

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated herein. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of



OFFICE BUILDING

67 SOUTH PEACHTREE STREET
NORCROSS, GA

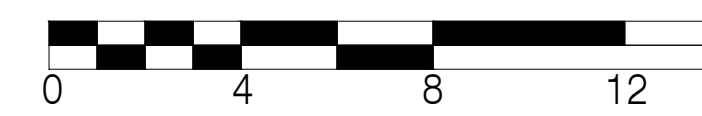
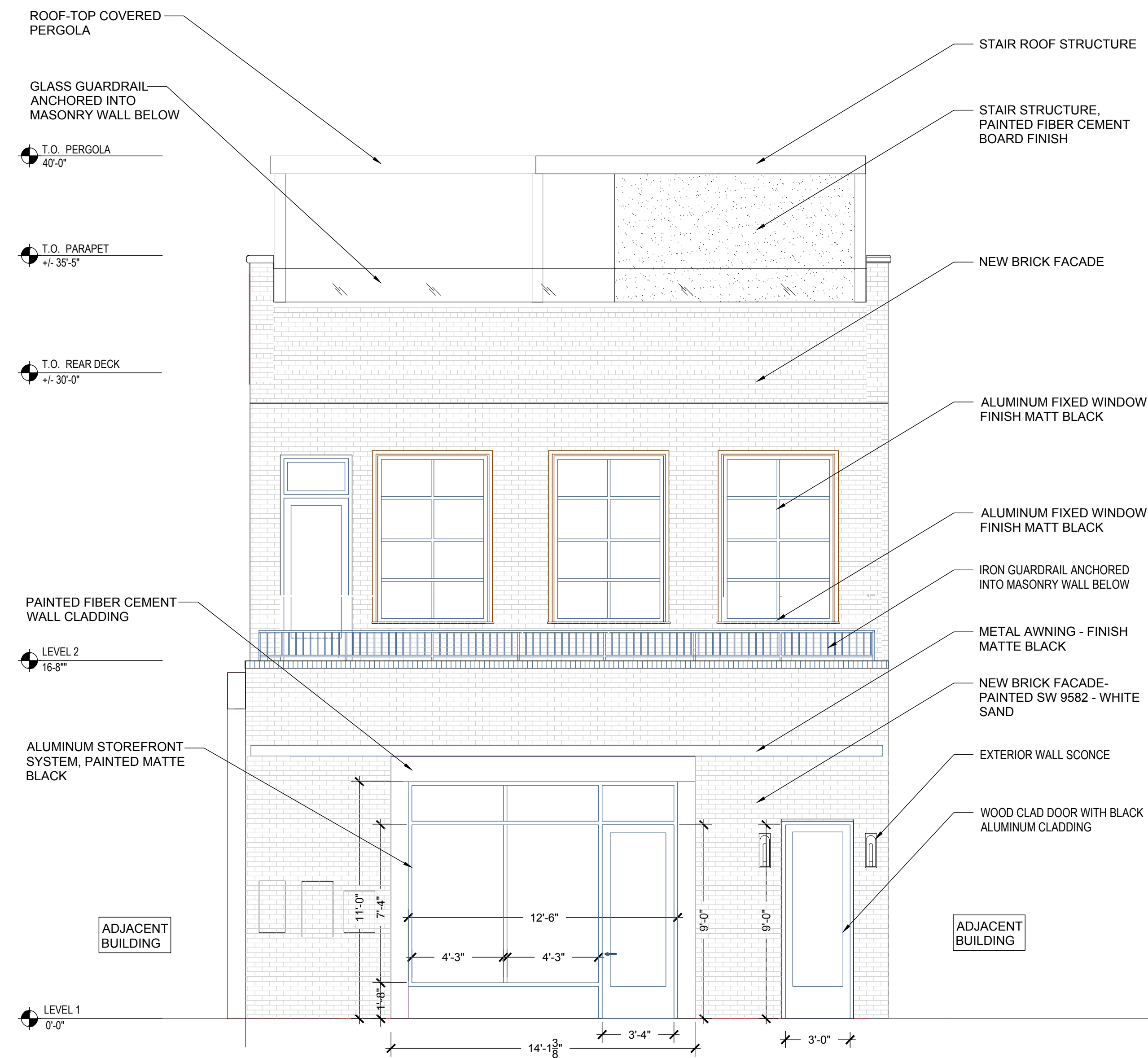
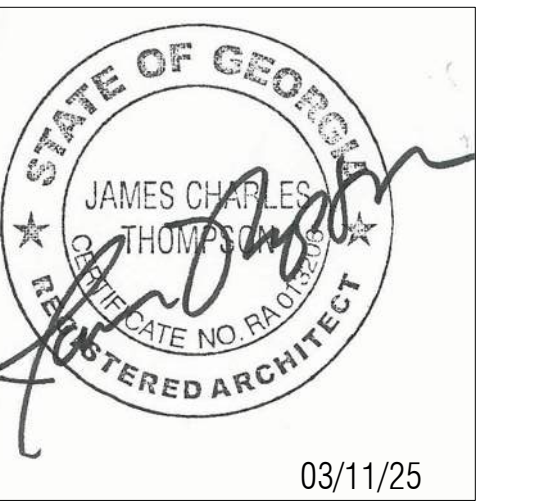
67 SOUTH PEACHTREE STREET, LLC

DRAWING RECORD

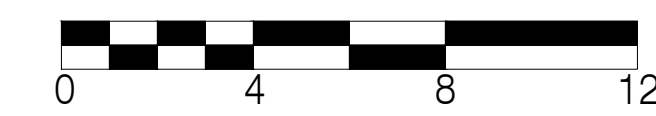
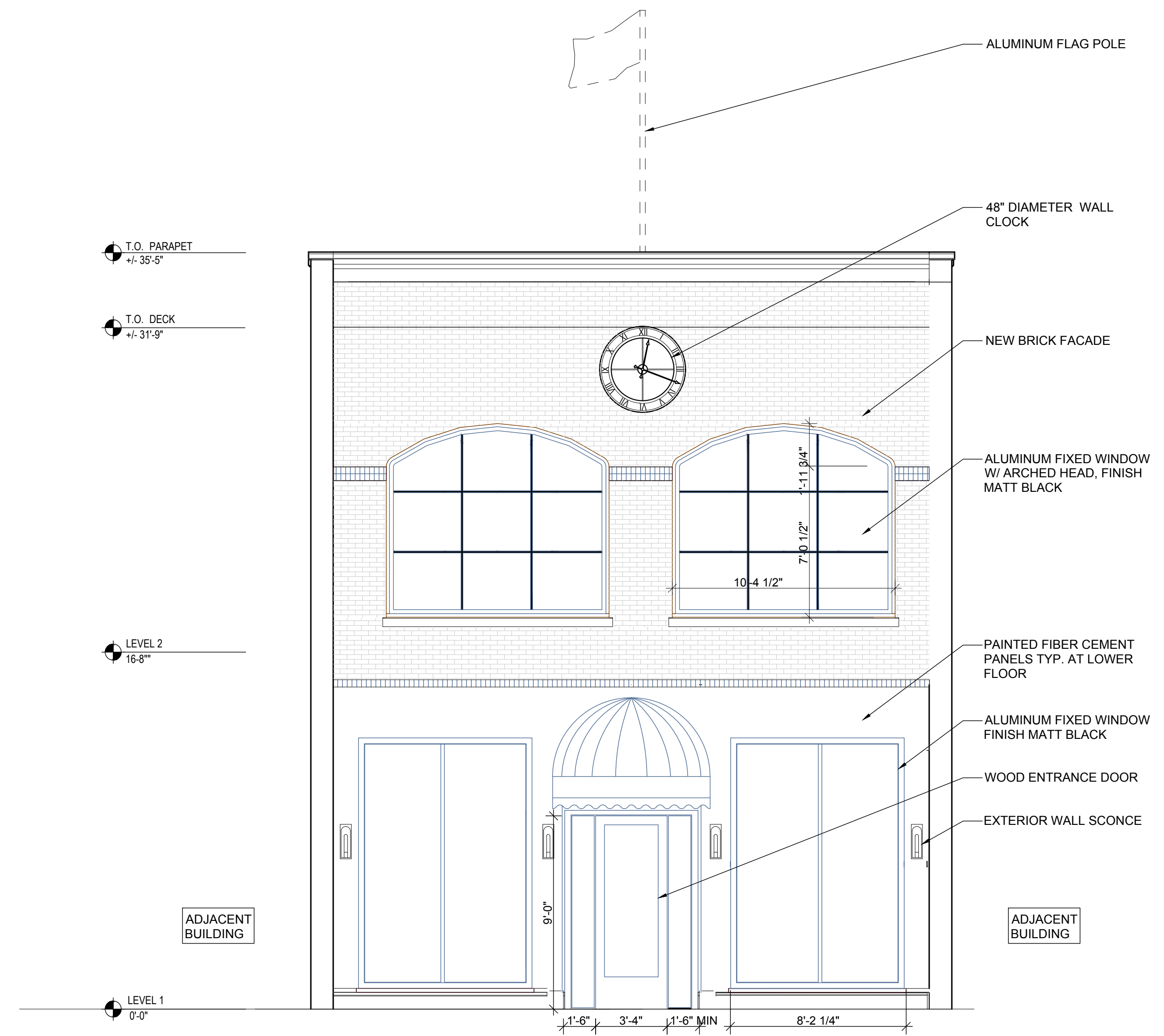
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2 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS

A-3.1

