

City of Norcross

*65 Lawrenceville Street
Norcross, GA 30071*



Meeting Agenda

**Tuesday, February 18, 2025
6:00 PM**

2nd Floor Conference Room
Architectural Review Board

Jeff Hopper, Chair

Cindy Flynn

Naim Harrison

Bill McLees

Barbara Grayson

- A. Call to Order**
PLEASE TURN OFF ALL CELL PHONES AND ELECTRONIC DEVICES
- B. Approval of Previous Meetings Minutes**
[Architectural Review Board - Architectural Review Board - Dec 17, 2024, 6:00 PM](#)
- C. Unfinished Business**
- D. New Business**
1. [25-7227](#) **COA2024-053 6905 Jimmy Carter Blvd**
Consideration of a Change to Previously Approved Elevations.

[Staff Report - COA2024-053](#)
2. [25-7245](#) **COA2023-023 155 Buchanan Street**
Modification to Existing Approved Elevations

[COA2023-023 Staff Report - Updated](#)
- E. ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA**
- F. Adjourn**

Signed by _____ Jeff Hopper, Chair

Signed by _____ , Leisy Julien, Planner

City of Norcross

65 Lawrenceville Street
Norcross, GA 30071



Meeting Minutes

Tuesday, December 17, 2024
6:00 PM

2nd Floor Conference Room
Architectural Review Board

Jeff Hopper, Chair

Cindy Flynn

Naim Harrison

Bill McLees

Barbara Grayson

Minutes Acceptance: Minutes of Dec 17, 2024 6:00 PM (Approval of Previous Meetings Minutes)

A. Call to Order

Architectural Review Board was called to order at 6:00 PM by Chair Jeff Hopper

Attendee Name	Title	Status	Arrived
Jeff Hopper	Chair	Present	
Cindy Flynn	Vice Chair	Present	
Naim Harrison	Board Member	Present	
Bill McLees	Board Member	Present	
Barbara Grayson	Board Member	Present	

B. Approval of Previous Meetings Minutes

Architectural Review Board - Architectural Review Board - Nov 19, 2024 6:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Naim Harrison, Board Member
SECONDER:	Bill McLees, Board Member
AYES:	Hopper, Flynn, Harrison, McLees, Grayson

C. Unfinished Business**D. New Business****1. 24-7203: 24-7203: COA 2024-047 442 North Peachtree Street**

Motion

The property owner was present to review the application. Cindy Flynn made a motion to approve the application with staff conditions per below. Naim Harrison seconded the motion, which passed unanimously with Jeff Hopper abstaining.

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

RESULT:	APPROVED WITH CONDITIONS [4 TO 0]
MOVER:	Cindy Flynn, Vice Chair
SECONDER:	Naim Harrison, Board Member
AYES:	Cindy Flynn, Naim Harrison, Bill McLees, Barbara Grayson
ABSTAIN:	Jeff Hopper

Minutes Acceptance: Minutes of Dec 17, 2024 6:00 PM (Approval of Previous Meetings Minutes)

2. **24-7204 COA2024-048 340 Sunset Drive**

Motion

Chairman Jeff Hopper went over the application. The applicant and homeowner were both present to answer questions from ARB members about the application. Jeff Hopper made a motion to approve the application with staff conditions per below. Barbra Grayson seconded the motion. The motion passed unanimously.

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Jeff Hopper, Chair
SECONDER:	Barbara Grayson, Board Member
AYES:	Hopper, Flynn, Harrison, McLees, Grayson

3. **24-7205: COA2024-049 5430 Buford Highway**

Motion

Chairman Jeff Hopper went over the application. The applicants were present to go over the application and to explain the reasoning behind the requested color changes. The previous approval was discussed as well as the current requested colors. Jeff Hopper made a motion to approve the application with staff conditions per below. Cindy Flynn seconded the motion. The motion passed unanimously.

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Jeff Hopper, Chair
SECONDER:	Cindy Flynn, Vice Chair
AYES:	Hopper, Flynn, Harrison, McLees, Grayson

4. 24-7206: COA2024-050 347 Sunset Drive

Motion

Chairman Jeff Hopper went over the application. The homeowner was present to discuss the application and to answer questions. Jeff Hopper motioned to approve the application with staff conditions per below. Cindy Flynn seconded the motion. The motion passed unanimously.

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Jeff Hopper, Chair
SECONDER:	Cindy Flynn, Vice Chair
AYES:	Hopper, Flynn, Harrison, McLees, Grayson

5. 24-7220: COA2024-051 346 Langford Drive

Chairman Jeff Hopper went over the application. The applicant arrived at the meeting a few minutes after the discussion began and was available to answer questions. Jeff Hopper made a motion to approve the applicant's submittal with staff conditions per below except that the gutters shall be black, columns and railings shall match the color SW 7069 Iron Ore, and the windows shall match the color SW 9577 Soft Suede. The motion was seconded by Barbara Grayson and approved unanimously.

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Jeff Hopper, Chair
SECONDER:	Barbara Grayson, Board Member
AYES:	Hopper, Flynn, Harrison, McLees, Grayson

6. 24-7207: RZ2024-007 136, 138, 134 & 141 Beutell St. & 87 Hunt Street
Motion

Chairman Jeff Hopper went over the application. The applicant was present to go over each elevation and to answer questions. Jeff Hopper made a motion to approve the application with the conditions listed below. The motion was seconded by Cindy Flynn and passed unanimously.

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. The subject homes shall be substantially similar in style and color to the elevations in the application as determined by the Community Development Director. Styles and colors shall be limited to the components shown in the elevations in this application.
3. Lot 25 shall have a band board on the left elevation.
4. Lot 31 shall have a brick water table on the left elevation.
5. Corner lot homes with brick on the front elevation shall have matching height brick on the side of the house adjacent to the street.
6. All front elevations of all homes shall have windows with mullions.
7. No elevation shall be the same as that of any adjacent home, including those on either side or directly across the street.
8. The HVAC equipment shall be appropriately screened from view from the right of way.
9. If shutters are used on any windows, they will be operable when feasible; and all shutters (inoperable and operable) must be appropriately scaled to cover the window opening per design standard 3.6.1.6.
10. The mail kiosk elevations shall be subject to approval by the Community Development Director.
11. A final Architectural Review Board inspection shall occur prior to release of the certificate of occupancy to confirm compliance with the above conditions.

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Jeff Hopper, Chair
SECONDER:	Cindy Flynn, Vice Chair
AYES:	Hopper, Flynn, Harrison, McLees, Grayson

E. ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA

F. Adjourn

Jeff Hopper made a motion to adjourn. The motion was seconded by Naim Harrison. The motion passed unanimously. Individuals in the audience present at the meeting expressed their concern about item #6 on the agenda, primarily citing concerns about stormwater and flooding. The Chairman explained that the application would next be going to the Planning and Zoning Board and that there would be an opportunity to express any concerns at that meeting. The importance of citizen participation in the public hearing process was expressed. The timeline and dates of the upcoming public hearings were shared with the audience. The meeting was closed at 7:43 PM.

Signed by _____ **Jeff Hopper, Chair**

Signed by _____ **Vivian Vakili, Director of
Community Development**



Department of Community Development

TO: Architectural Review Board
FROM: Jeff Hopper
DATE: February 18, 2025
SUBJECT: COA2024-053 6905 Jimmy Carter Blvd
CC:

Please review attached Staff Reports and supporting documents for submitted application.

Consideration of a Change to Previously Approved Elevations.

[Staff Report - COA2024-053](#)



Meeting Date: 1/21/2025 at 6:00 PM

Petition Number: COA2024-053

Project Type:

Commercial In Fill (mixed use)

Property Location:

6905 Jimmy Carter Blvd

Tax Parcel ID:

6275 209

Petitioner:

Michael Austin

Petitioner's Request:

Consideration of a Change to Previously Approved Elevations

Vicinity Map:



Attachment: COA2024-053 Agenda Packet (25-7227 : COA2024-053 6905 Jimmy Carter Blvd)

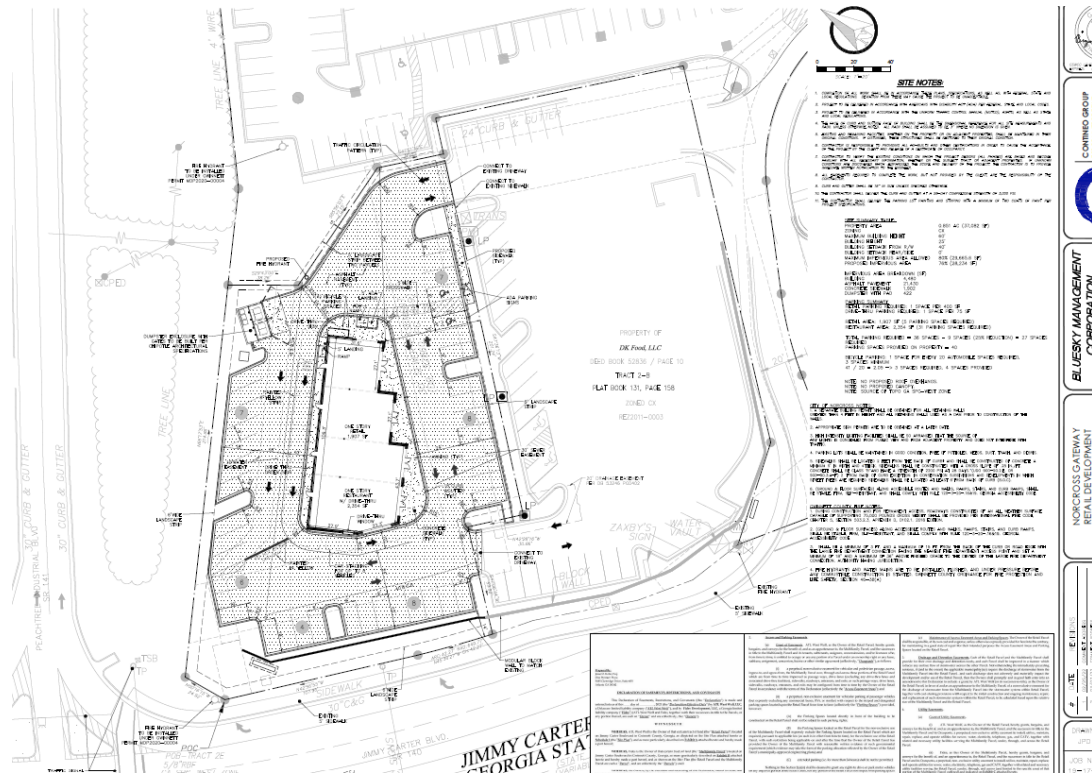
PROPERTY INFORMATION	
Property Location	6905 Jimmy Carter Blvd
Acreage:	Approximately 0.85 acres
Existing Lot Dimensions:	Corner Lot Frontage: Approximately 146' along Jimmy Carter, and 215' along Peachtree Industrial Depth: Approximately 265' right side adjacent to Zaxby's, 113' left side and 147' combined adjacent to The Perry Residences
Existing Building Dimensions:	N/A
Topography:	High Point: Northeast center Low Point: West corner
Elevation:	High Point: 1002 feet Low Point: 990 feet
Encumbrances:	N/A

Project Description

The applicant seeks to build a one-story, 4,429.97 sq. ft. commercial retail building with three suites, one of which contains a drive through window. This application proposes changes to the commercial portion of a mixed-use development originally approved in August of 2020 under application COA2020-0028.

SITE PLAN

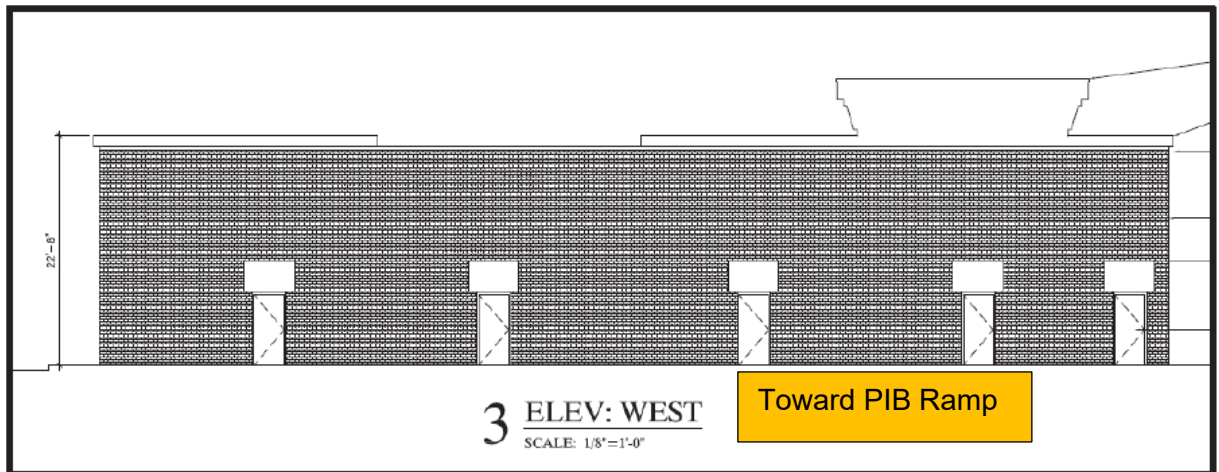
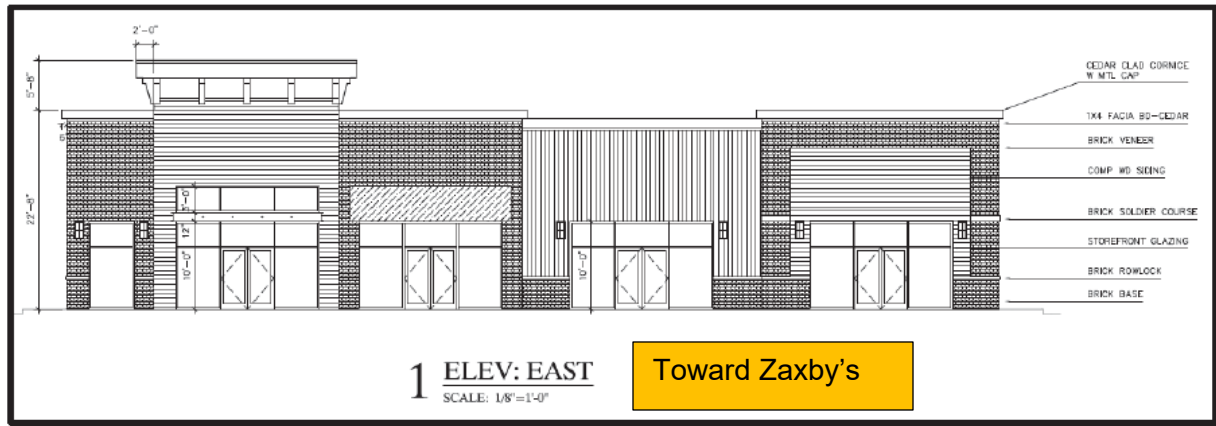
The applicant's site plan shows a proposed one-story, 4,429.97 sq. ft. commercial retail building with three suites, one of which contains a drive through window for a restaurant tenant. The traditional front (east) elevation faces Zaxby's while the traditional rear (west) elevation faces the Peachtree Industrial Blvd ramp. The proposed drive through window faces Jimmy Carter Blvd, on the left or south elevation, while the opposite side (north) elevation faces The Perry Residences.



Landscape Plan

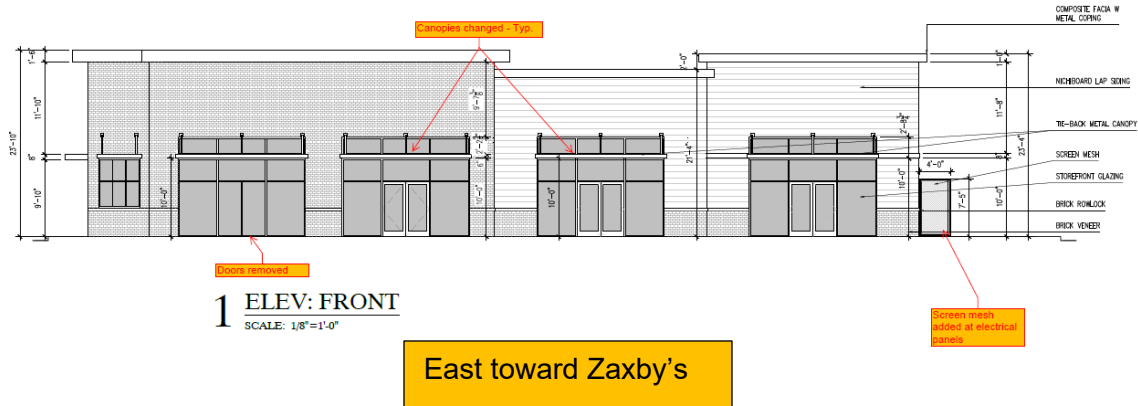
The applicant shows required landscaping strips within his site plan, though a detailed plan is not available. He will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance.

Previous Elevation Approval (East and West)

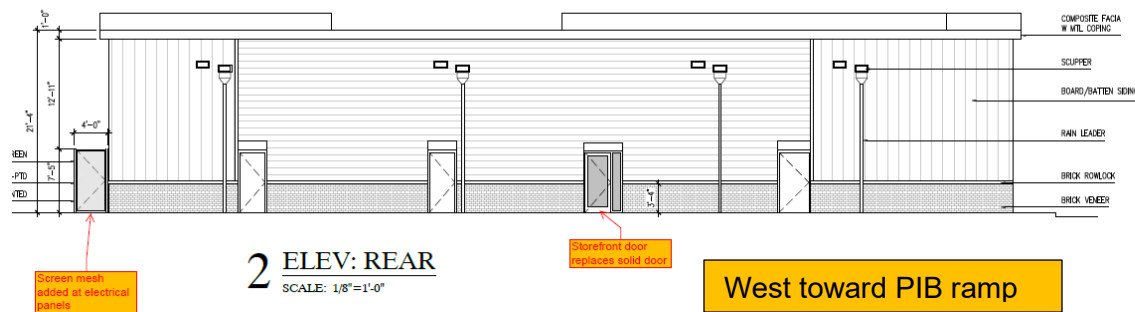


The commercial building previously proposed to employ a combination of brick, vertical and horizontal siding and glass to denote the retail entry areas facing Zaxby's. The rear elevation, which projects toward the Peachtree Industrial Blvd ramp, was proposed to be clad exclusively in brick. Some of the storefront features proposed to include either a sloped fabric or flat metal awning and a cedar cornice.

Proposed Updated Elevations (East and West)



The commercial building still proposes to face (East) the front towards Zaxby's with glass and flat canopies to denote the retail entry. Changes include employing a brick water table along the entire front and utilizing a brick front for the drive through restaurant on the end while utilizing horizontal lap siding along the rest of the front facing retail component above the brick water table.

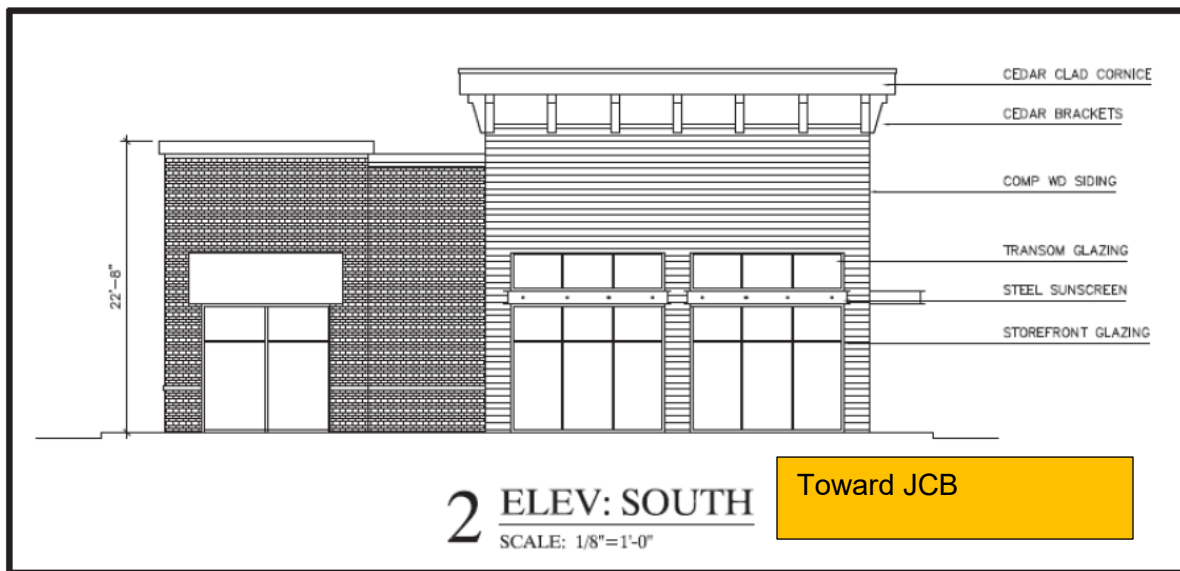
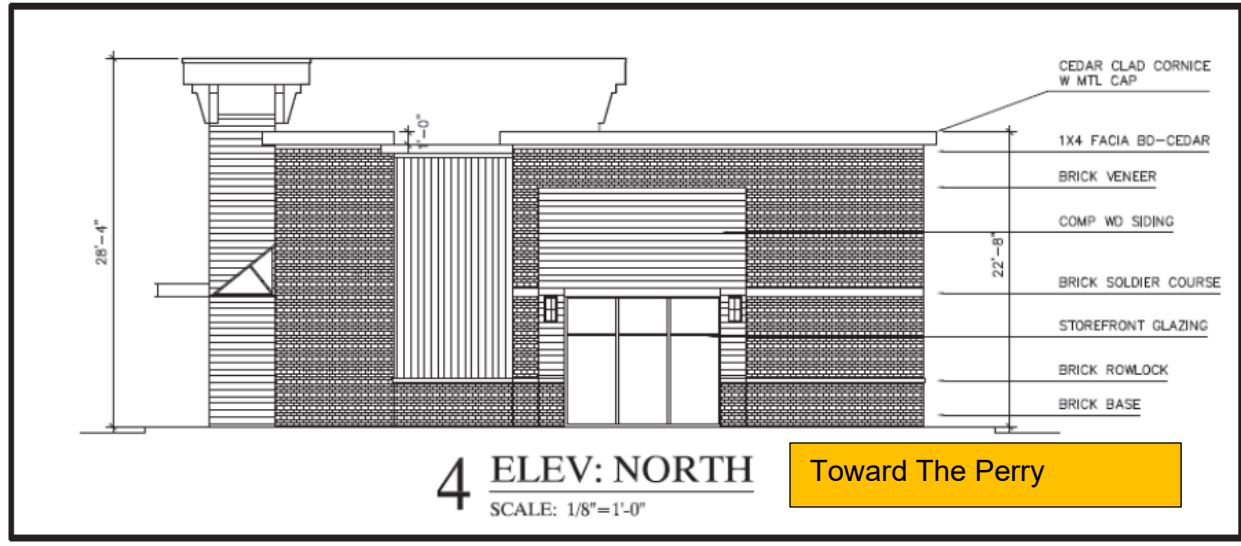


The rear elevation, which projects toward (West) the Peachtree Industrial Blvd ramp previously proposed to be clad exclusively in brick is now proposed to carry over the brick water table from the front and to use a combination of vertical and horizontal lap siding. Horizontal siding is for the middle and vertical siding for each end. Solid rear doors are proposed to be replaced with storefront doors in the rear.

Discussion Items: Should the applicant utilize a band board to help denote a break between the middle and top of the building to provide more visual interest and to break up the large and otherwise blank expanse on the rear or west elevation? Should these rear retail storefront

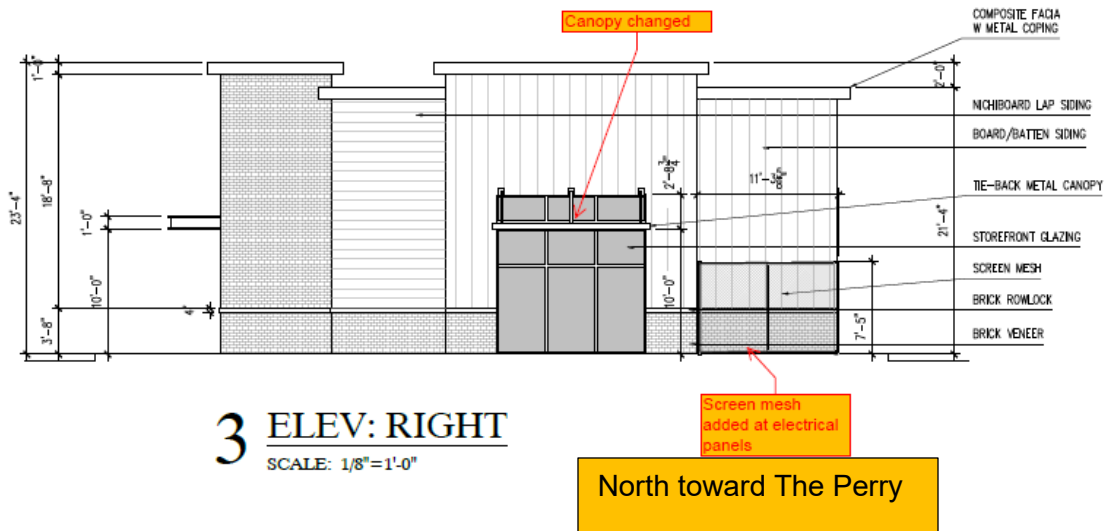
doors also employ canopies that match the front canopies when changing from solid to glass doors?

Previous Elevation Approval (North and South)

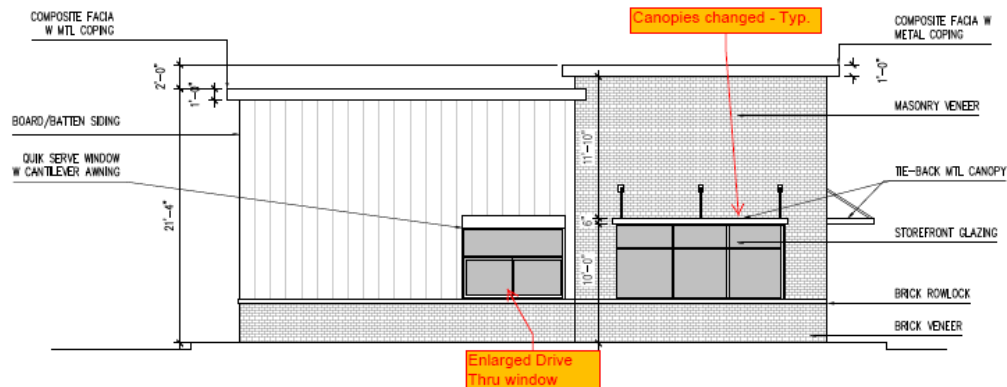


The commercial building previously proposed to employ a combination of brick, vertical and horizontal siding and glass along the sides which generally faced The Perry Residences and Jimmy Carter Blvd and employed a decorative cedar cornice and brackets.

Proposed Updated Elevations (North and South)



The right side or north facing elevation toward The Perry Residences proposes to continue the brick water table while employing a mixture of brick horizontal and vertical lap siding and retail windows that employ flat canopies. A composite fascia replaces the previously proposed cedar cornice.



4 ELEV: LEFT (DRIVE THRU)

SCALE: 1/8"=1'-0"

South toward JCB

The left side or south facing elevation toward Jimmy Carter Blvd proposes to continue the brick water table while employing a mixture of brick and vertical lap siding and retail windows, including a drive through window and includes canopies over the windows. A composite fascia replaces the previously proposed cedar clad cornice and cedar brackets.

Discussion Items: Should the applicant utilize a band board to help denote a break between the middle and top of the building to provide more visual interest and to break up the large and otherwise blank expanse on the sides? The previously proposed cedar clad cornice and cedar brackets provided much needed visual interest to this project and the current proposal appears to lack that visual interest now.

Materials and Colors

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Meridian Brick " Cavalry Gray"	Brick Veneer
Primary Façade:	Nichiboard Lap Siding, Benjamin Moore "Seapearl" OC-19	Horizontal Lap Siding
Primary Façade: Third		
Left Side:	Meridian Brick " Cavalry Gray"	Brick Veneer
Left Side: Second	Nichipanel Cedar Finish 16", Benjamin Moore "Gray Huskle" # 1473	Board and Batten Siding
Left Side: Third		
Left Side:		
Right Side:	Meridian Brick " Cavalry Gray"	Brick Veneer
Right Side: Second	Nichipanel Cedar Finish 16", Benjamin Moore "Gray Huskle" # 1473	Board and Batten Siding
Right Side:	Nichiboard Lap Siding, Benjamin Moore "Seapearl" OC-19	Horizontal Lap Siding
Right Side:		
Rear: First	Nichiboard Lap Siding	Horizontal Lap Siding
Rear: Second	Nichipanel Cedar Finish 16", Benjamin Moore "Gray Huskle" # 1473	Board and Batten Siding
Rear: Third	Meridian Brick " Cavalry Gray"	Brick Veneer
Rear: Basemnt		

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Meridian Brick "Cavalry Gray"	Brick Veneer
Garage Doors		
Trim		
Mortar	Argos "Savannah Ivory"	Mortar Cement
Gutters		
Corner Board		
Railings		
Windows	Vitro Solarben 70-Clear (Glass), Black Anodized or Factory Paint by Window Manufacturer (Mullion)	1" I.G.U. Clear
Window Sills	Meridian Brick "Cavalry Gray"	Brick Veneer
Window Muntin/Mulli	Vitro Solarben 70-Clear (Glass), Black Anodized or Factory Paint by Window Manufacturer (Mullion)	
Columns	Meridian Brick "Cavalry Gray"	
Other Architectural Features		
Other Architectural		

The original approved color palette was to employ a total of 3 colors: gray huskey, Benjamin Moore Seapearl OC-19 and Kendall Charcoal HC-166.

Kendall Charcoal is proposed to be replaced by Cavalry Gray for the brick with Argos Savannah Ivory for the mortar.

Recommendations

Should the ARB decide to grant approval, Staff recommends the following conditions:

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address:	Lot #	Tax Parcel ID:	
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name:	Phone:		
Address:	City:	State:	Zip Code:
APPLICANT			
Applicant Name:	Phone:		
Company Name:	Email:		
Address:	City:	State:	Zip Code:
DESCRIPTION OF PROJECT			
Project Type ☐ Residential ☒ Commercial ☐ Industrial ☐ Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months?			
Yes No			
If yes, please list the board and reference number:			

OWNER'S SIGNATURE			
Signature:	Date:		
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with https://eplansolution.com/norcrossga Hard copies of application materials will not be accepted.			

Attachment: COA2024-053 Agenda Packet (25-7227 : COA2024-053 6905 Jimmy Carter Blvd)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width:	Length:	Height:*
Area Dimensions:		
First Floor:	Second Floor:	Third Floor:
Basement**:	Front Porch:	Rear Porch:
Patio:	Garage:	
Primary Roof System: (Circle One)		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch:		
Secondary Roof Pitch:		
Additional Roof Pitch:		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: COA2024-053 Agenda Packet (25-7227 : COA2024-053 6905 Jimmy Carter Blvd)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First		
Primary Façade:		
Primary Façade: Third		
Left Side:		
Left Side: Second		
Left Side: Third		
Left Side:		
Right Side:		
Right Side: Second		
Right Side:	.	.
Right Side:		
Rear: First		
Rear: Second		
Rear: Third		
Rear: Basemnt		

Attachment: COA2024-053 Agenda Packet (25-7227 : COA2024-053 6905 Jimmy Carter Blvd)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027

65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry		
Garage Doors		
Trim		
Mortar		
Gutters		
Corner Board		
Railings		
Windows		
Window Sills		
Window Muntin/Mulli		
Columns		
Other Architectural Features		
Other Architectural		

Attachment: COA2024-053 Agenda Packet (25-7227 : COA2024-053 6905 Jimmy Carter Blvd)



Owner Affidavit

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

Section I. Land Ownership

I, _____, hereby attest to ownership of the property located at _____, Parcel ID# _____ for which this Application is submitted.
The Ownership, as recorded on the deed, is in the name of _____.

Section II. Type of Ownership

☐ Individual ☐ Corporation/LLC ☐ Partnership ☐ Government

Corporation/LLC/Partnership Name:

Secretary of State Registration Number:

Registered Agent Name:

Provide Names of all Officers/Members/General Partners (If applicable):

Registered Agent Address:

Registered Agent Phone #:

COMPLETE BY OWNER

As the owner of the above designated property for which this affidavit is submitted, I wish to allow _____ (applicant's name) to apply for a _____ for the address mentioned in Section I of this form. I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief.

NOTARY

Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.

Sworn and subscribed before me this _____ day of _____, 20_____.
Notary Public:

Name:

Address:

Seal:

City, State, Zip Code:

Email address:

Phoner Number:

Owner's signature:

Commission expires:

Attachment: COA2024-053 Agenda Packet (25-7227 : COA2024-053 6905 Jimmy Carter Blvd)

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Orange

On 7/16/2020 before me, CHARLES R. KENDALL, ^{NOTARY PUBLIC}, Notary Public, personally appeared MICHAEL AUSTIN

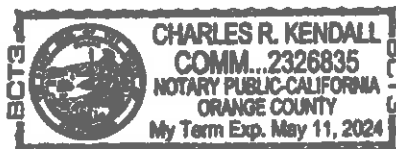
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/~~are~~ subscribed to the within instrument and acknowledged to me that he/~~she~~/~~they~~ executed the same in his/~~her~~/~~their~~ authorized capacity(~~ies~~), and that by his/~~her~~/~~their~~ signature(~~s~~) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under Penalty of Perjury under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS MY HAND AND OFFICIAL SEAL.

Charles R. Kendall

Signature of Notary Public



OPTIONAL INFORMATION

The acknowledgment contained within this document is in accordance with California law. Any certificate of acknowledgement performed within the State of California shall use the preceding wording pursuant to Civil Code section 1189. An acknowledgment cannot be affixed to a document sent by mail or otherwise delivered to a notary public, including electronic means, whereby the signer did not personally appear before the notary public, even if the signer is known by the notary public. In addition, the correct notarial wording can only be signed and sealed by a notary public. The seal and signature cannot be affixed to a document without the correct notarial wording.

DESCRIPTION OF ATTACHED DOCUMENT

OWNERSHIP AFFIDAVIT
AND DESIGNATION OF AGENT
(Title of document)

Number of Pages 3 (Including acknowledgment)

Document Date 7/16/2020



Ownership Affidavit & Designation of Agent

I. Ownership.

I, Michael Austin, hereby attest to ownership of the property described below:

Parcel I.D. Number(s) R 6275-016

Location address: 6885 Jimmy Carter Blvd

for which this Application is submitted.

The ownership, as recorded on the deed, is in the name of: ATL West Wolf LLC

Please complete the appropriate section below:

NOTE: The person signing under section IV Acknowledgement, must be listed below as an officer or partner.

☐ Individual

☒ Corporation/Limited Liability Company (LLC)

☐ Partnership

☐ Government Entity

Provide Names of Officers/Members:

Provide Names of General Partners:

Austin Family Trust

Secretary of State Registration Number: 07096221

Name/Address of Registered Agent: Paracorp Inc 453 Hardy Ives Lane
Lawrenceville Georgia 30045

II. Designation of Owner's Agent. (Leave blank if not applicable)

As the owner of the above designated property and the applicant for which this affidavit is submitted, I wish to designate the below named party as my agent in all matters pertaining to the location address. In authorizing the agent named below to represent me, or my company, I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief. (Note: Prior to the issuance of a building permit, the owner's agent must be the contractor listed on the permit application.)

Owner's Agent: Pate Design Group

Address: 1640 Powers Ferry Road Bldg 1642300 Marietta GA 30067

Contact Person: Kirby Pate

Telephone No.: 770 814 0885

III. Notice to Owner.

- A. All changes in Ownership & Applicant's Agent prior to issuance shall require new affidavit. If ownership changes the new owner assumes the obligations and the original applicant is released from responsibility for actions taken by others after the change in ownership.
- B. If the Owner intends the Designation of Applicant's Agent to be limited in any manner, please indicate the limitation below. (i.e., Limited to obtaining a certificate of concurrency for the parcel; limited to obtaining a land use compliance certificate; etc.)

IV. Acknowledgement.

• Individual

Signature

Print Name: _____
Address: _____
Phone #: _____

• Government Entity

Print Government Name

By: _____
Signature

Print Name: _____
Title: _____
Department: _____

• Corporation/LLC

ATL West Wolf LLC
Print Corporation/LLC Name

By: [Signature]
Signature

Print Name: Michael Bush
Its: Manager
Address: 9471 Irvine Center Dr
Irvine CA 92618
Phone #: 949 748 7444

SEE ATTACHED
CALIFORNIA ALL
PURPOSE ACKNOWLEDGMENT

• Partnership

Print Partnership Name

By: _____
Signature

Print Name: _____
Its: _____
Address: _____
Phone #: _____

NOTARY INFORMATION (Please use appropriate block.)

STATE OF GEORGIA
COUNTY OF _____

• Individual

Before me, this _____ day of _____, 20____, personally appeared _____ who executed the foregoing instrument, and acknowledged before me that same was executed for the purposes therein expressed.

• Government Entity

Before me, this _____ day of _____, 20____, personally appeared _____ as _____ and on behalf of _____, who executed the foregoing instrument, and acknowledged before me that same was executed for the purposes therein expressed.

• Corporation/LLC

Before me, this _____ day of _____, 20____, personally appeared _____ of _____ a _____ corporation/LLC, on behalf of the corporation/LLC, who executed the foregoing instrument and acknowledged before me that same was executed for the purposes therein expressed.

• Partnership

Before me, this _____ day of _____, 20____, personally appeared _____ partner/agent on behalf of _____ a partnership, who executed the foregoing instrument and acknowledged before me that same was executed for the purposes therein expressed.

Signature of Notary

NOTARY STAMP:

My commission expires: _____

Print Notary Name

Identification Method: _____ Personally known.
_____ Produced I.D. – Type: _____

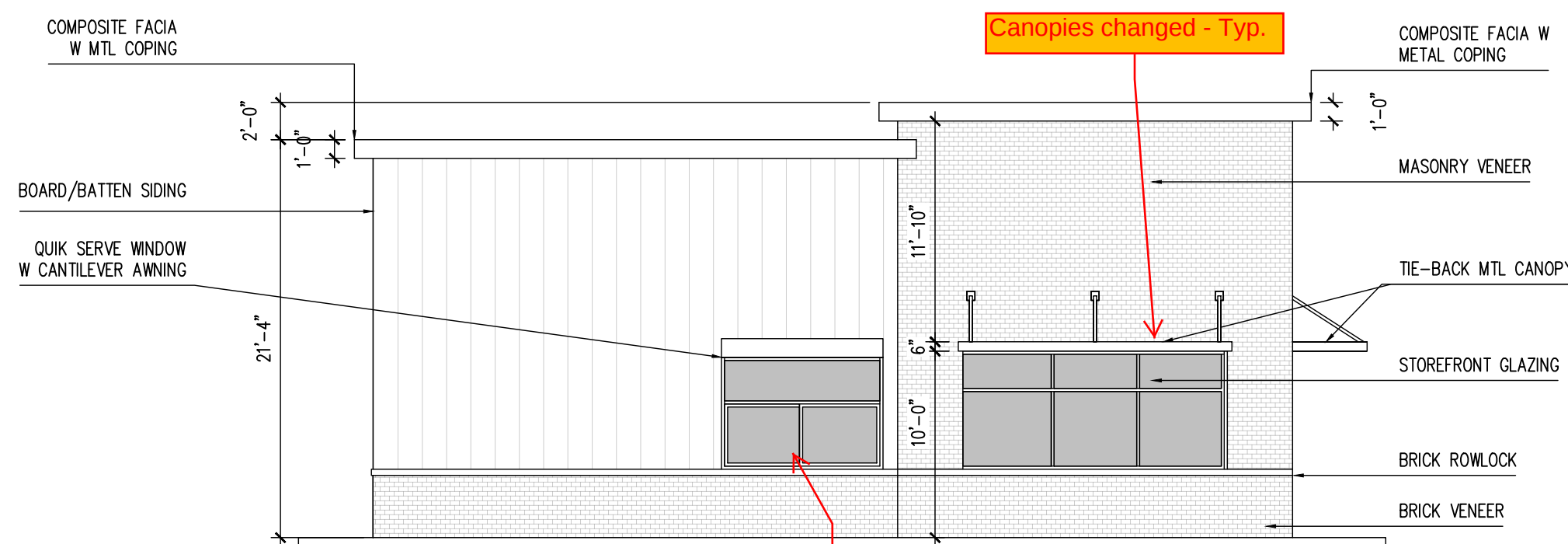
BLUE SKY
GATEWAY NORCROSS
RETAIL
6885 JIMMY CARTER BLVD
NORCROSS GA 30071

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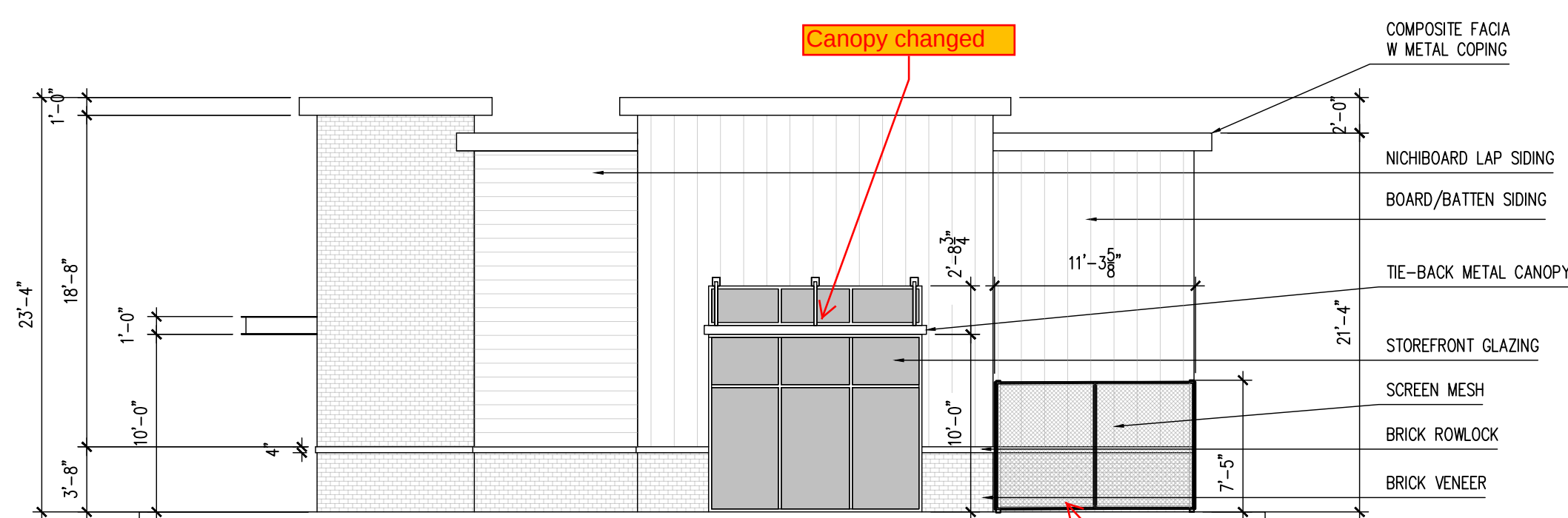
RETAIL ELEVATION

X of sheets

Packet Pg. 28



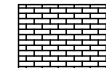
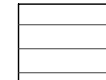
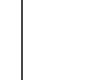
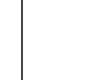
4 ELEV: LEFT (DRIVE THRU)



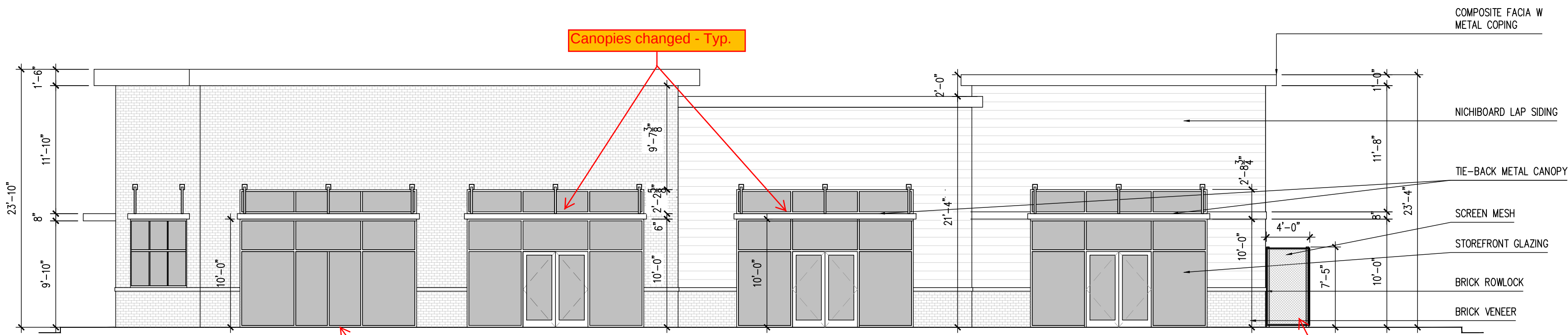
3 ELEV: RIGHT
SCALE: 1/8"=1'-0"



2 ELEV: REAR
SCALE: 1/8"=1'-0"

EXTERIOR MATERIALS LEGEND			
	BRICK VENEER MERIDIAN —"CAVALRY GRAY" MORTAR: ARGOS "SAVANNAH IVORY"		GLASS — VITRO SOLARBAN 70—CLEAR 1" I.G.U. CLEAR
	HORIZONTAL LAP SIDING NICHIBOARD 4" EXPOSURE — BENJAMIN MOORE "SEAPEARL" OC-19		STOREFRONT FRAME — BLACK ANODIZED OR FACTORY PAINT PER MANUFACTURER
	BOARD AND BATTEN SIDING NICHIPANEL CEDAR FINISH 16" WIDTH —BENJAMIN MOORE "GRAY HUSKIE" # 1473		FACIA — NICHIPANEL ~16" EXPOSURE SMOOTH —BENJAMIN MOORE "KENDALL CHARCOAL"
	API TIE-BACK CANOPY OR SIMILAR PRE MANUFACTURED — BENJAMIN MOORE "KENDALL CHARCOAL"		SOFFIT — NICHIIA— NICHII BOARD —BENJAMIN MOORE "KENDALL CHARCOAL"
			ROOF — DURO LAST —50 MIL "DURO TUFF"

SCUPPER/LEADERS:
BENJAMIN MOORE "KENDALL CHARCOAL"



1 ELEV: FRONT
SCALE: 1/8"=1'-0"

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Marietta GA 30067

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kirby@patedesigngroup.com

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[illegible]

Draw

Checked

Contract No.

Scale

Date _____

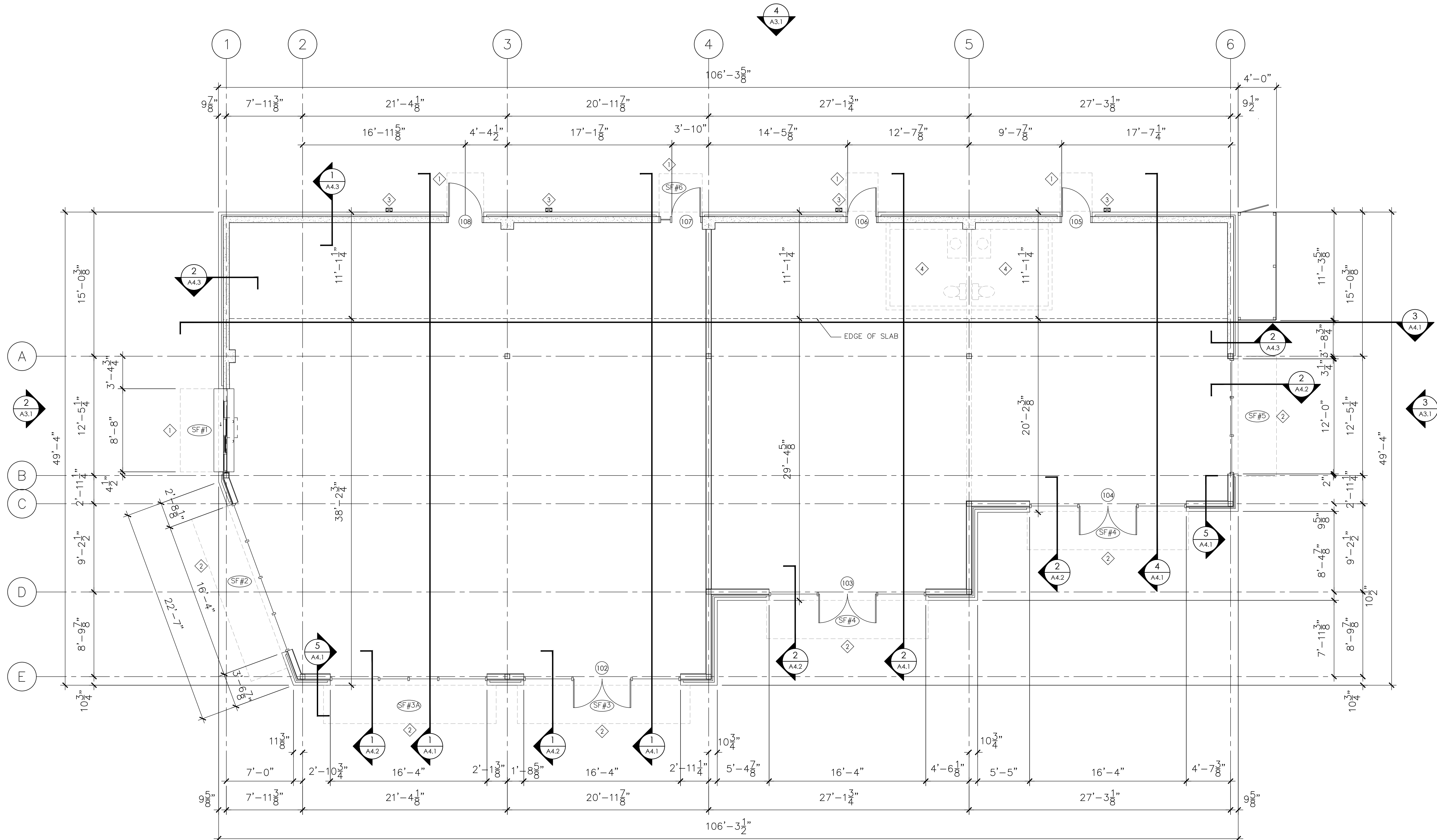
041020

102821

x of sheets

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Packet Pg. 29



NOTE: SEE A3.2 FOR STOREFRONT ELEVATION

1 FLOOR PLAN

SCALE: 1/16"=1'-0"

SCALE: 1/16"=1'-0'

DOOR SCHEDULE							
DOOR NO	DOOR TYPE			DOOR SIZE	FRAME TYPE		HDWR SET
	TYPE	MAT'L	LABEL		TYPE	MAT'L	
101				NOT USED			
102	SF-1	AL/GL	--	PR 3'-0" X 7'-0"	SF	--	1,6
103	SF-1	AL/GL	--	PR 3'-0" X 7'-0"	SF	--	1,6
104	SF-1	AL/GL	--	PR 3'-0" X 7'-0"	SF	--	1,6
105	A	HM	--	3'-0" X 7'-0"	F-1	HM	3,6
106	A	HM	--	3'-0" X 7'-0"	F-1	HM	3,6
107	A	HM	--	3'-0" X 7'-0"	F-1	HM	3,6
108	A	HM	--	3'-0" X 7'-0"	F-1	HM	3,6

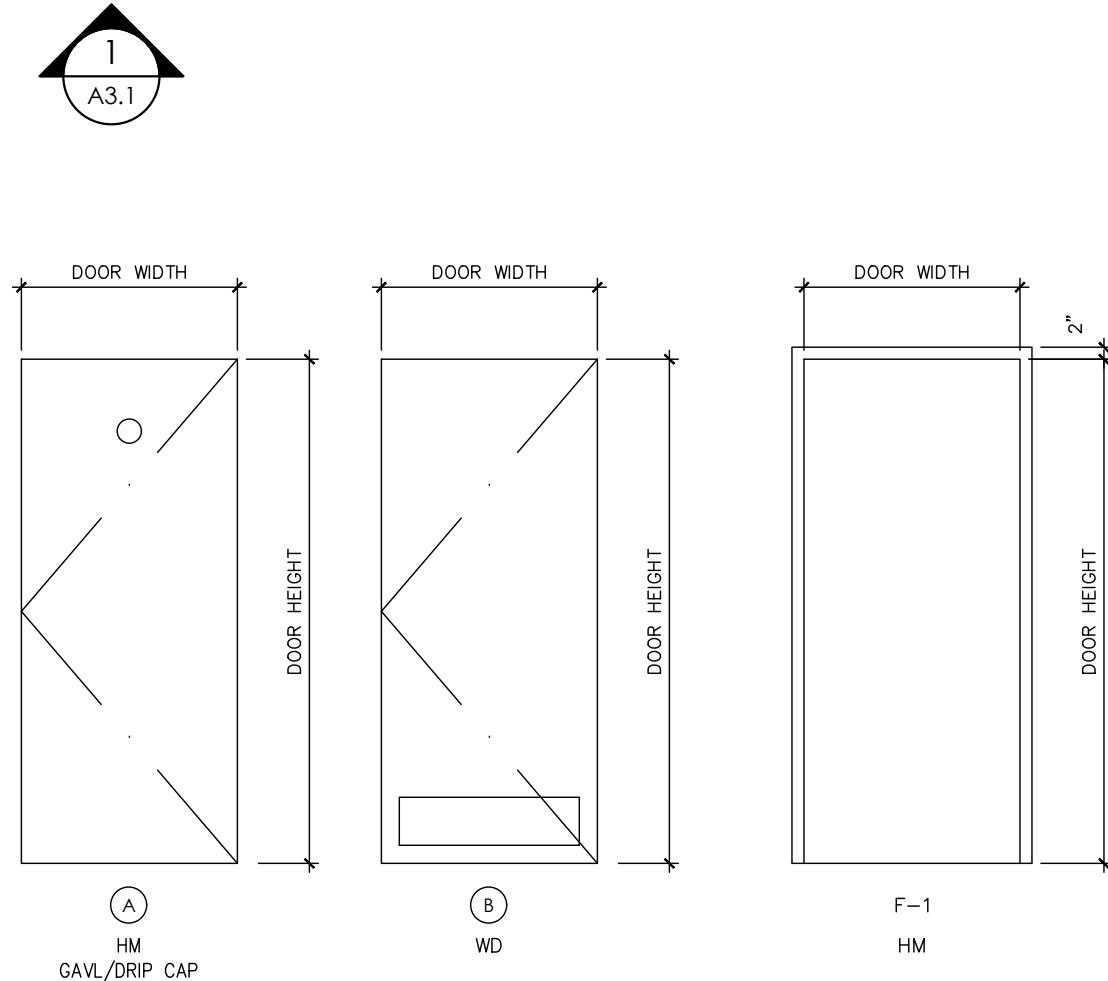
DOOR MATERIALS

SF=ALUMINUM GLASS STOREFRONT
WD= WOOD DOOR, STAINED
HM= PAINTED HOLLOW METAL
GL= GLASS
AL= ALUMINUM

HARDWARE

1 = ENTRANCE
2 = OFFICE
3 = STOCK/STORE
4 = PRIVACY
5 = PASSAGE
6 = CLOSER

NOTE:
HARDWARE TO BE BRUSHED
STAINLESS STEEL



WALL LEGEND

- 1 METAL CANOPY ABOVE
- 2 API TIE-BACK CANOPY OR SIMILAR ABOVE
- 3 SCUPPER AND RAIN LEADER
- 4 FUTURE RESTROOM

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NORCROSS GA 30071

[illegible]

REFLECTED
CEILING PLAN

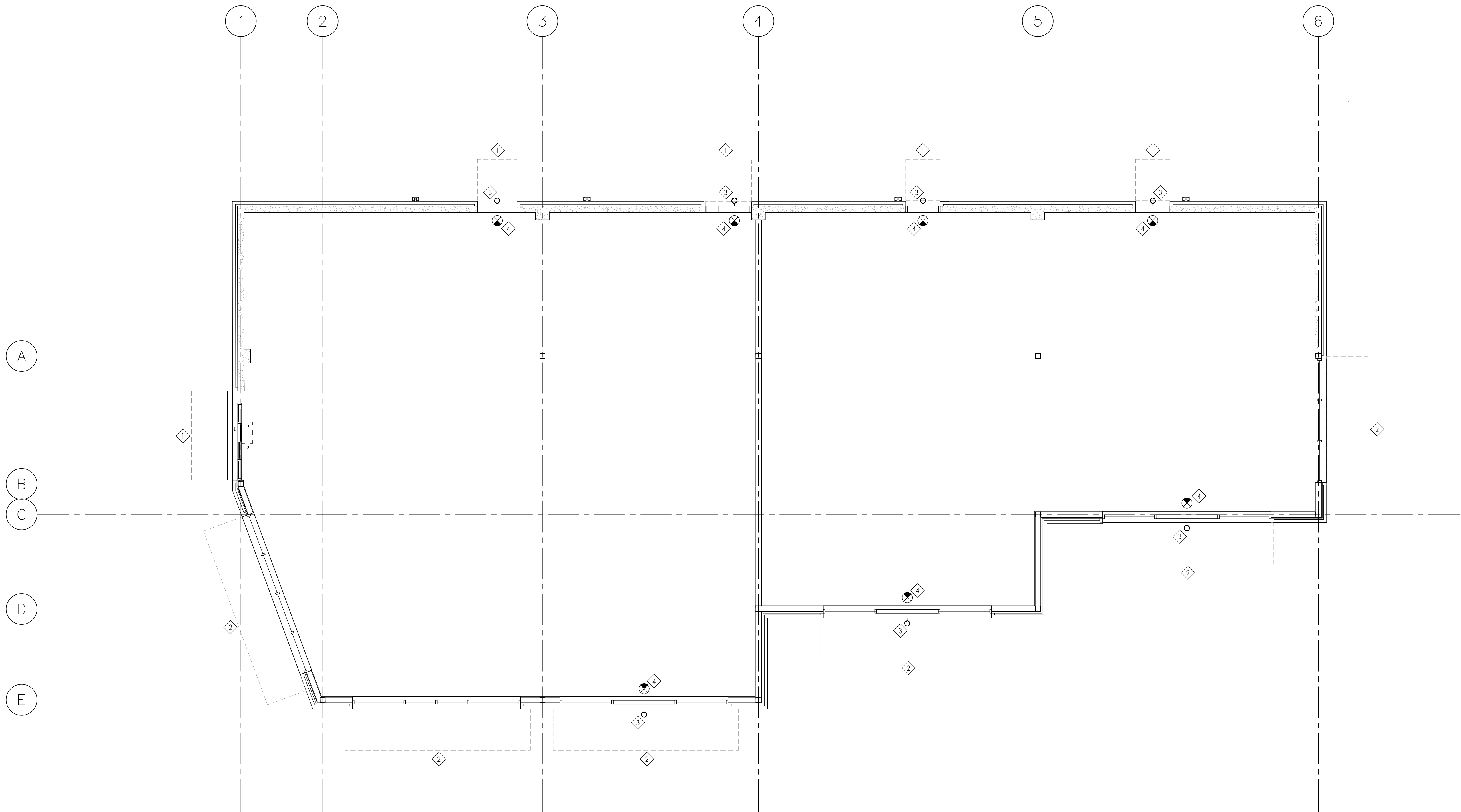
10282

A1.3

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Packet Pg. 30

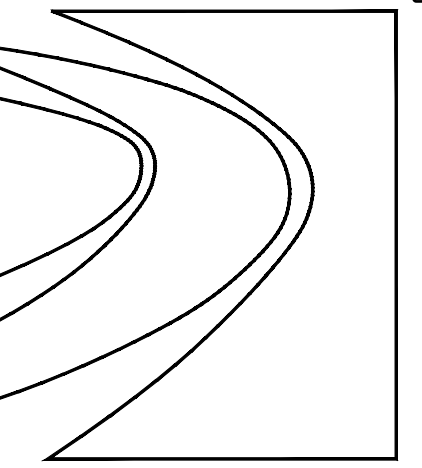


1 REFLECTED CEILING PLAN

SCALE: 1/16"=1'-0'

WALL LEGEND

- 1 METAL CANOPY ABOVE
- 2 API TIE-BACK CANOPY OR SIMILAR ABOVE
- 3 EXTERIOR LIGHT
- 4 EXIT SIGN



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Revisions:

[illegible]

ROOF
PLAN

Drawn

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Scale

Date

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A1.4

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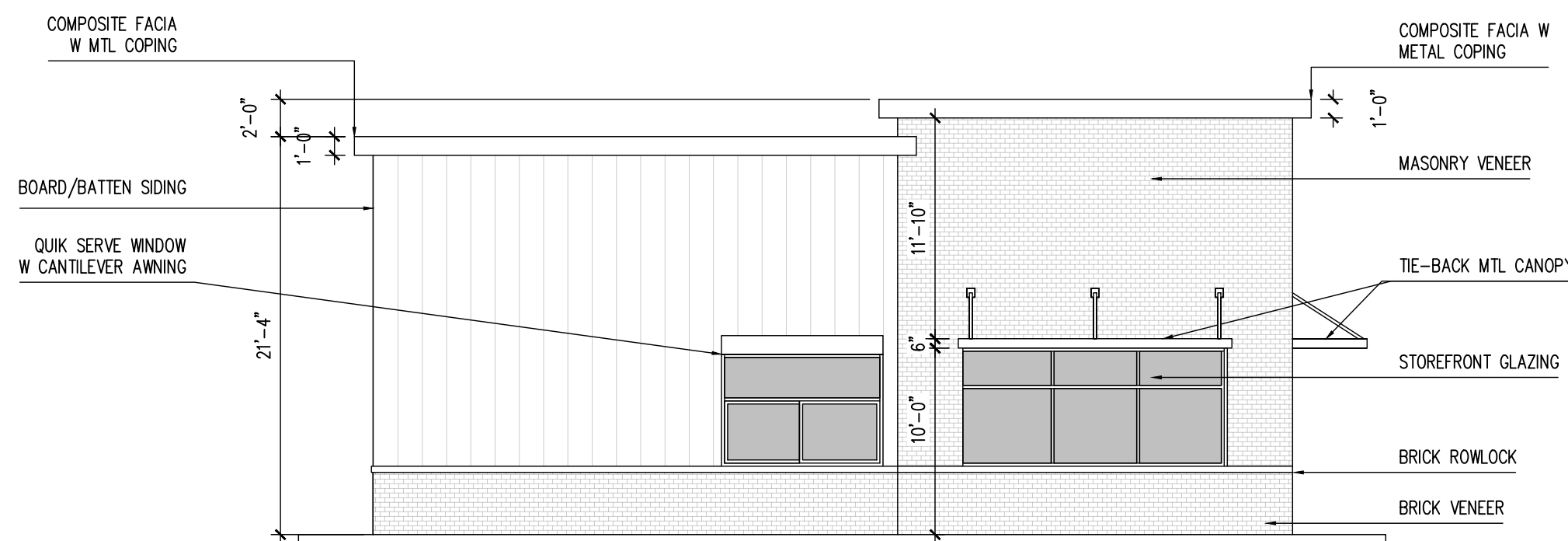
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RETAIL ELEVATION

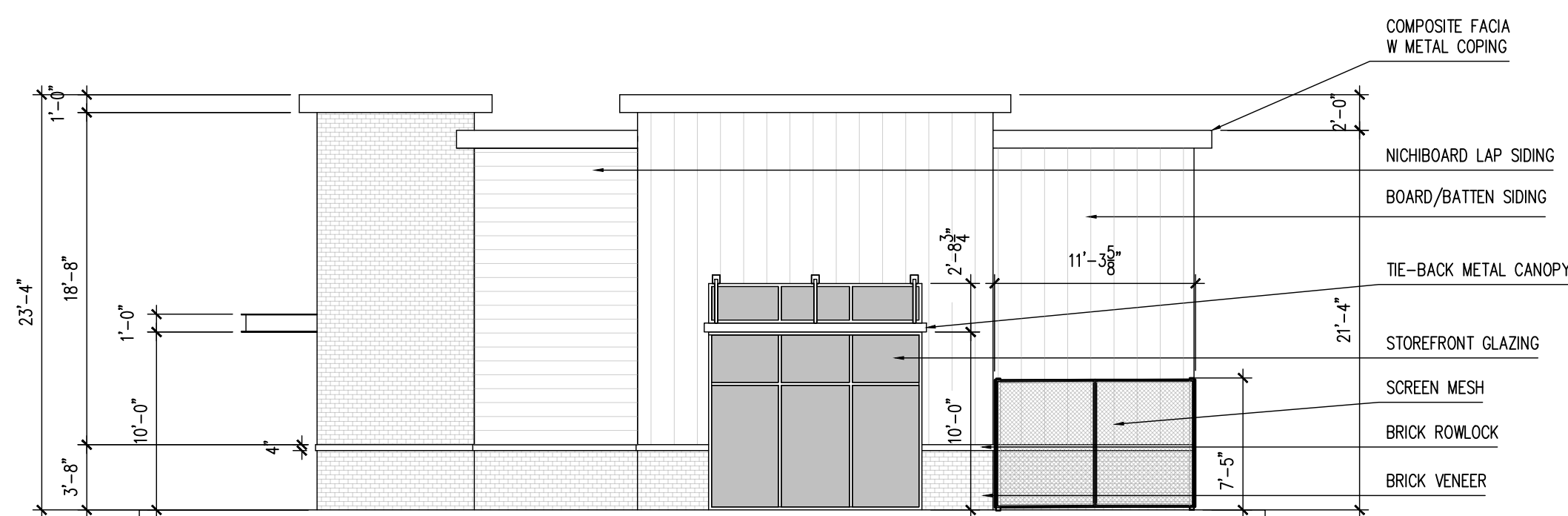
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Packet Pg. 32



4 ELEV: LEFT (DRIVE THRU)



3 ELEV: RIGHT

SCALE: 1/8"=1'-0"

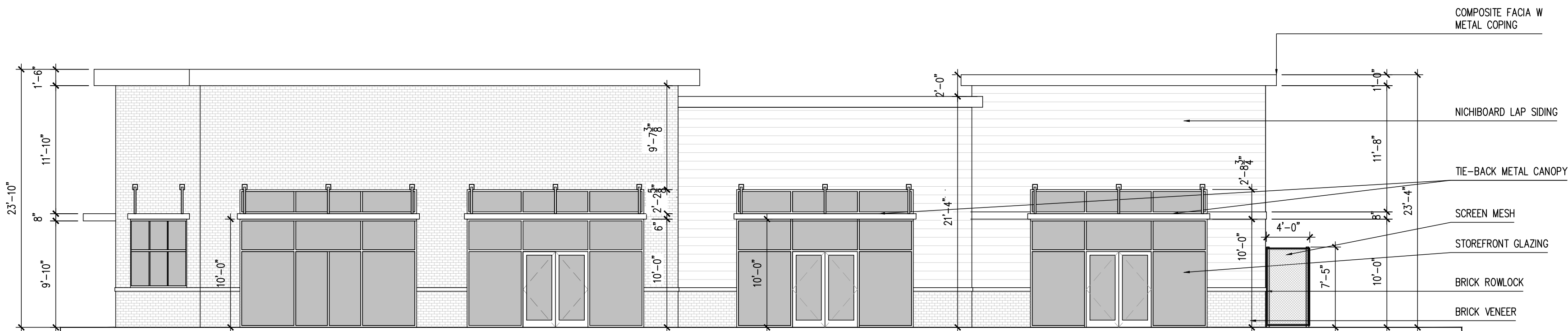


2 ELEV: REAR
SCALE: 1/8"=1'-0"

EXTERIOR MATERIALS LEGEND		
	BRICK VENEER MERIDIAN –"CAVALRY GRAY" MORTAR: ARGOS "SAVANNAH IVORY"	 GLASS – VITRO SOLARBAN 70–CLEAR 1" I.G.U. CLEAR
	HORIZONTAL LAP SIDING NICHIBOARD 4" EXPOSURE – BENJAMIN MOORE "SEASPEARL" OC-19	 STOREFRONT FRAME – BLACK ANODIZED OR FACTORY PAINT PER MANUFACTURER
	BOARD AND BATTEN SIDING NICHIPANEL CEDAR FINISH 16" WIDTH –BENJAMIN MOORE "GRAY HUSKIE" # 1473	 FACIA – NICHIPANEL ~16" EXPOSURE SMOOTH –BENJAMIN MOORE "KENDALL CHARCOAL"
	API TIE-BACK CANOPY OR SIMILAR PRE MANUFACTURED – BENJAMIN MOORE "KENDALL CHARCOAL"	 SOFFIT – NICHIIA– NICHII BOARD –BENJAMIN MOORE "KENDALL CHARCOAL"
		 ROOF – DURO LAST –50 MIL "DURO TUFF"

NOTE:
SEALANTS:
TREMCO - MATCH TO APPLIED SURFACES.

SCUPPER/LEADERS:
BENJAMIN MOORE "KENDALL CHARCOAL"



1 ELEV: FRONT
SCALE: 1/8"=1'-0"

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NORCROSS GA 30071

Attachment: COA2024-053 Agenda Packet (25-7227 : COA2024-053 6905 Jimmy Carter Blvd)

Revisions:

[illegible]

EXTERIOR WINDOW ELEVATIONS AND DETAILS

Drawn

Checked

Contract No.

Scale

Date _____

041020

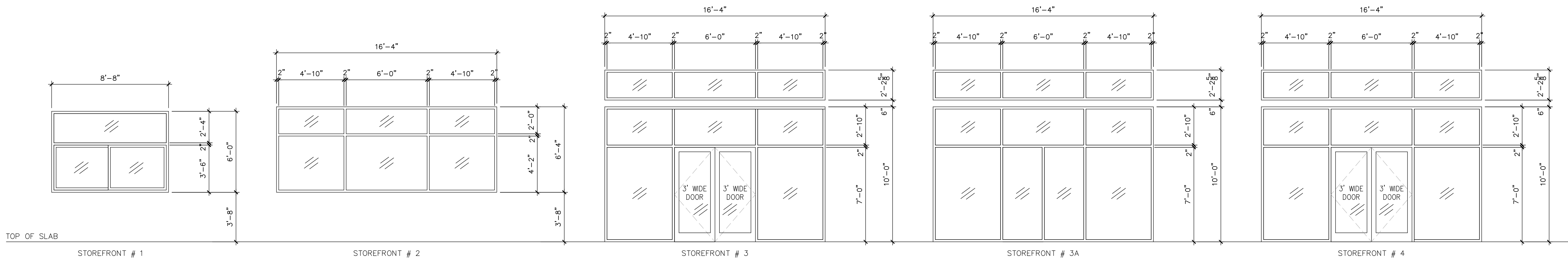
Last Rev.

102821

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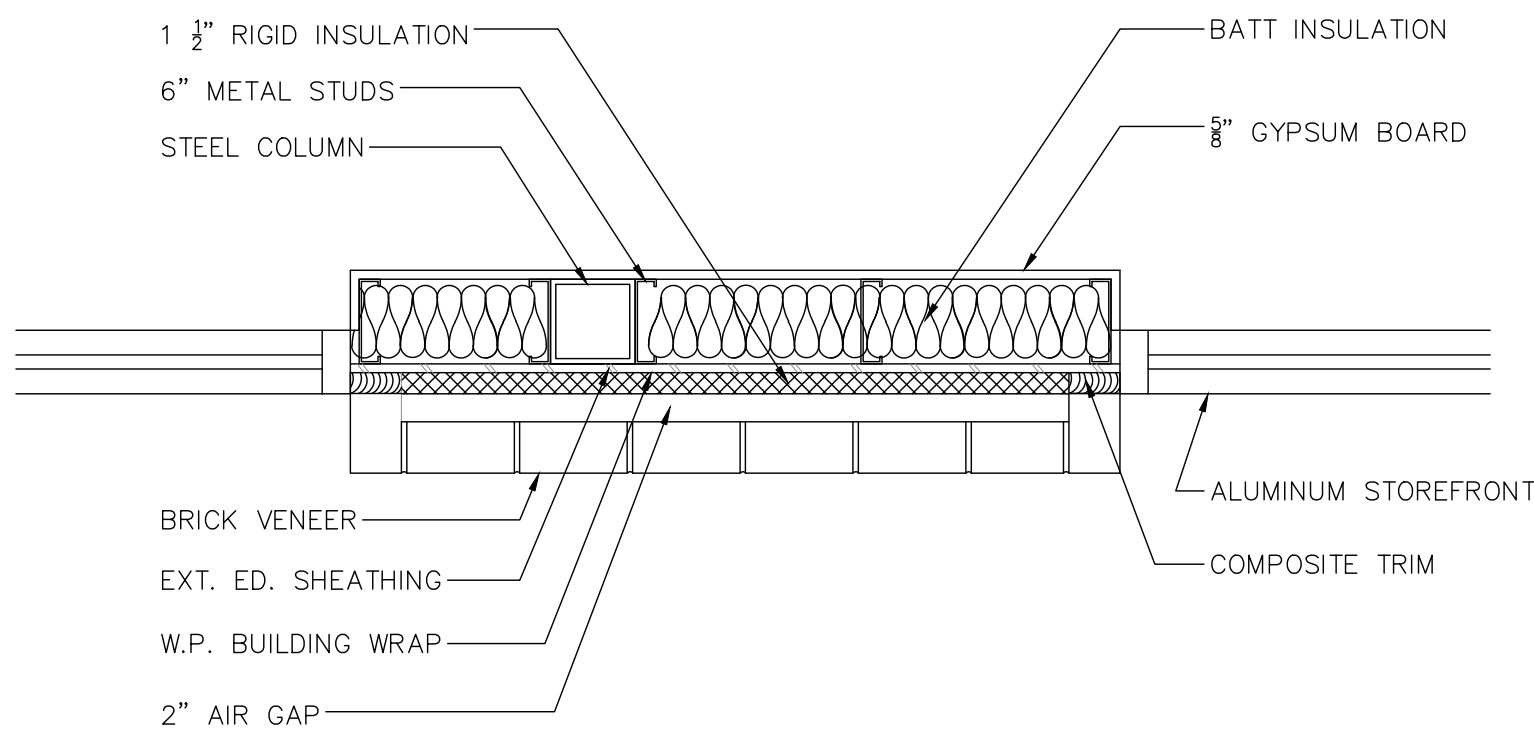
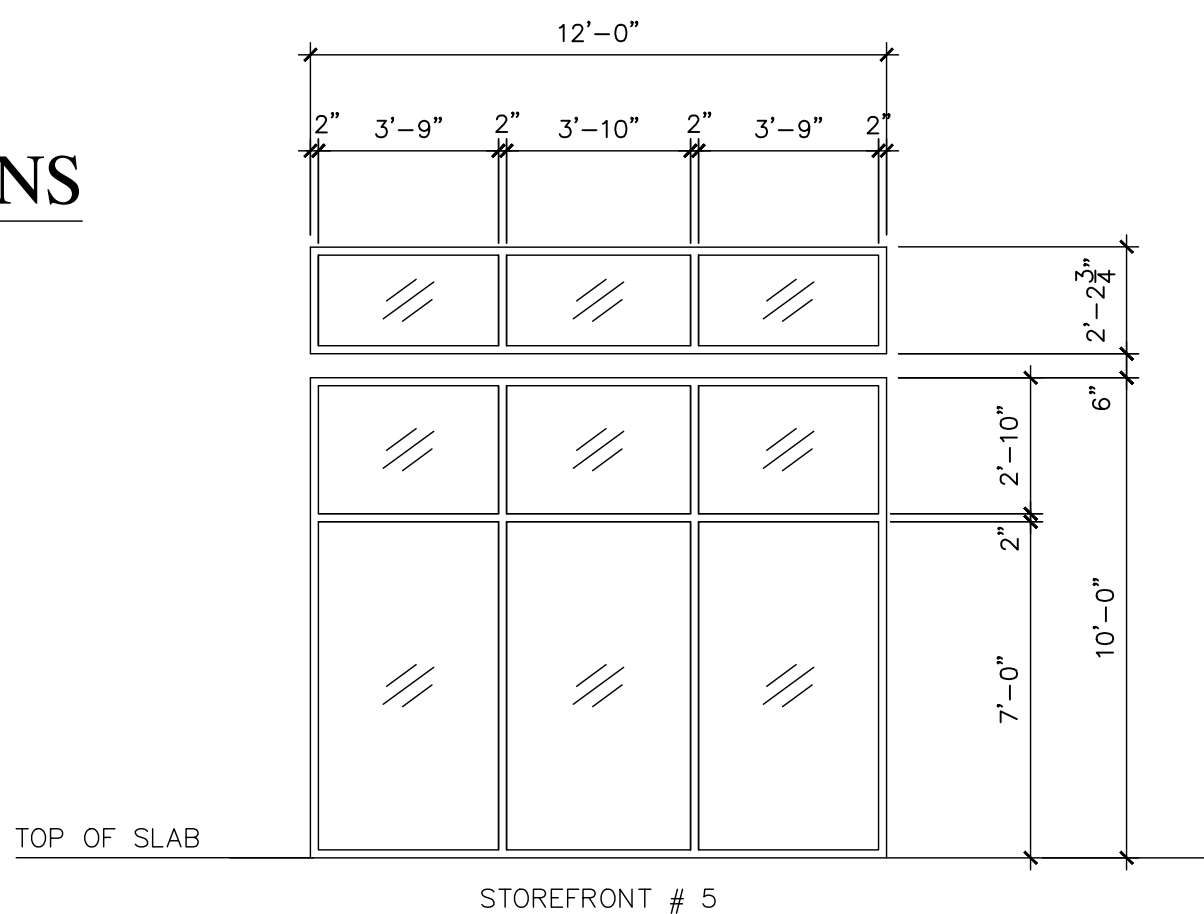
Packet Pg. 33



STOREFRONT TO BE NATURAL ANODIZED ALUMINUM.
YKK YES 45 TU
GLASS TO BE AGC ENERGY SELECT 28.

1 STOREFRONT ELEVATIONS

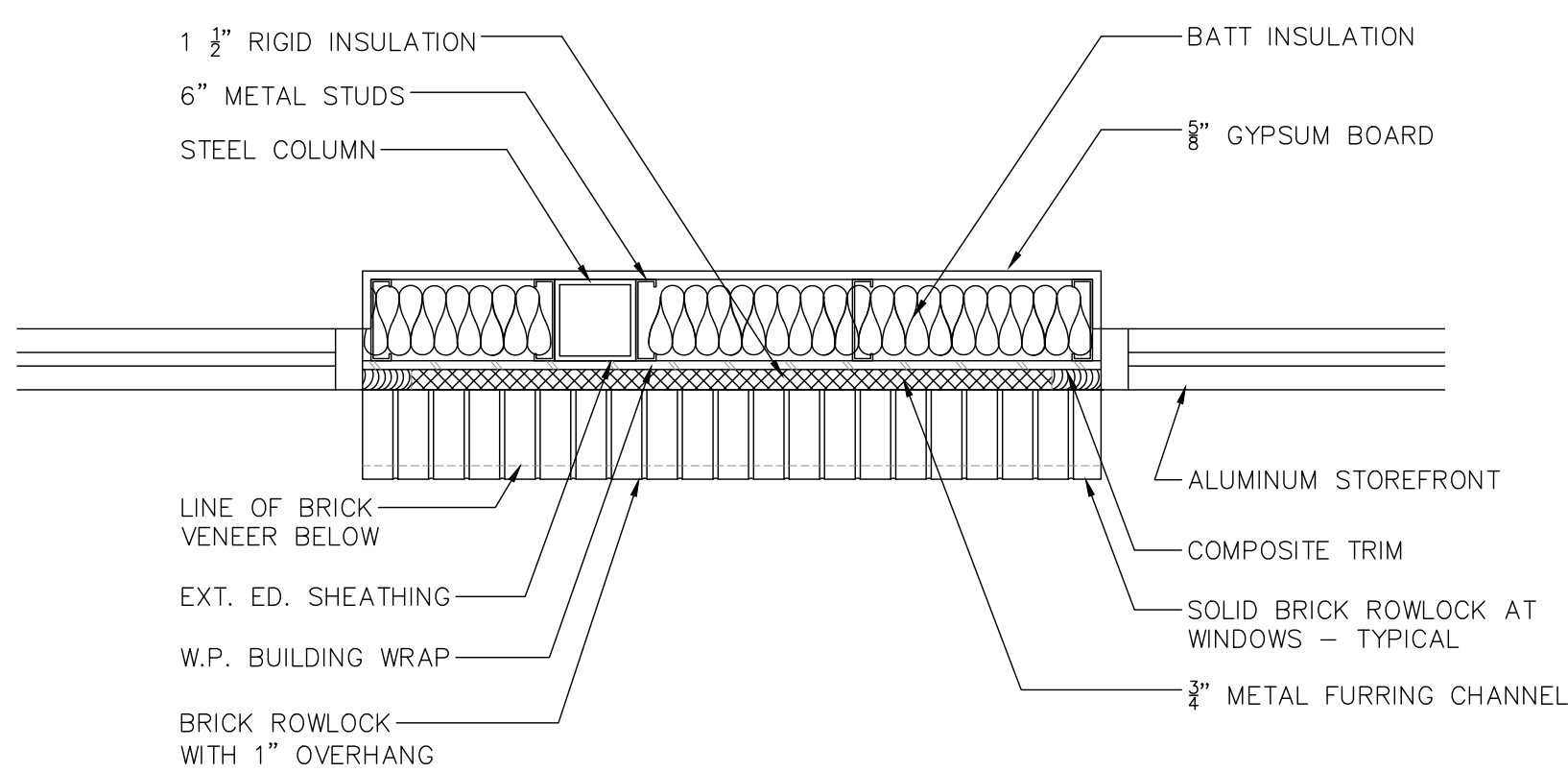
SCALE: 1/4"=1'-0"



2 DETAIL

SCALE: 1"=1'-0"

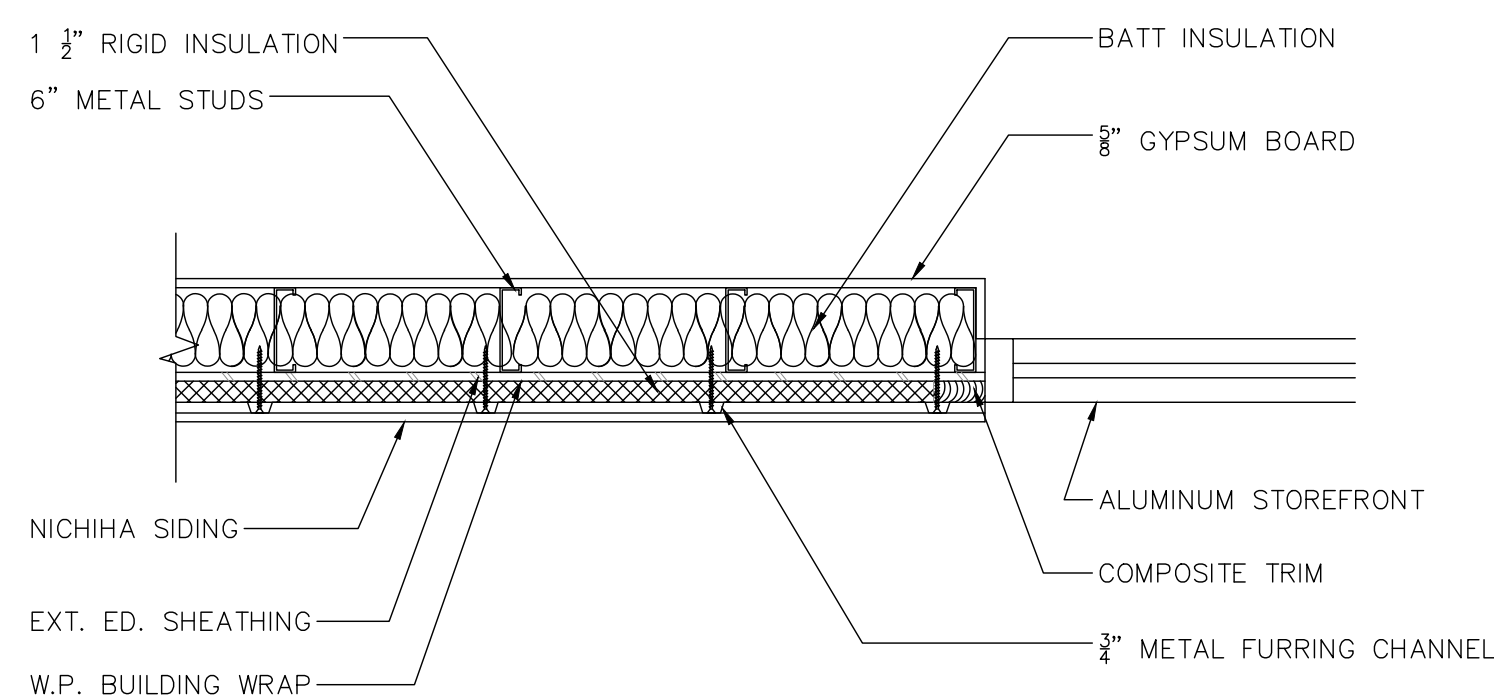
SCALE: 1"=1'-0"



3 DETAIL

SCALE: 1"=1'-0"

SCALE: 1"=1'-0"



4 DETAIL

SCALE: 1"=1'-0"

SCALE: 1"=1'-0"

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Attachment: COA2024-053 Agenda Packet (25-7227 : COA2024-053 6905 Jimmy Carter Blvd)

[illegible]

BUILDING SECTIONS AND DETAILS

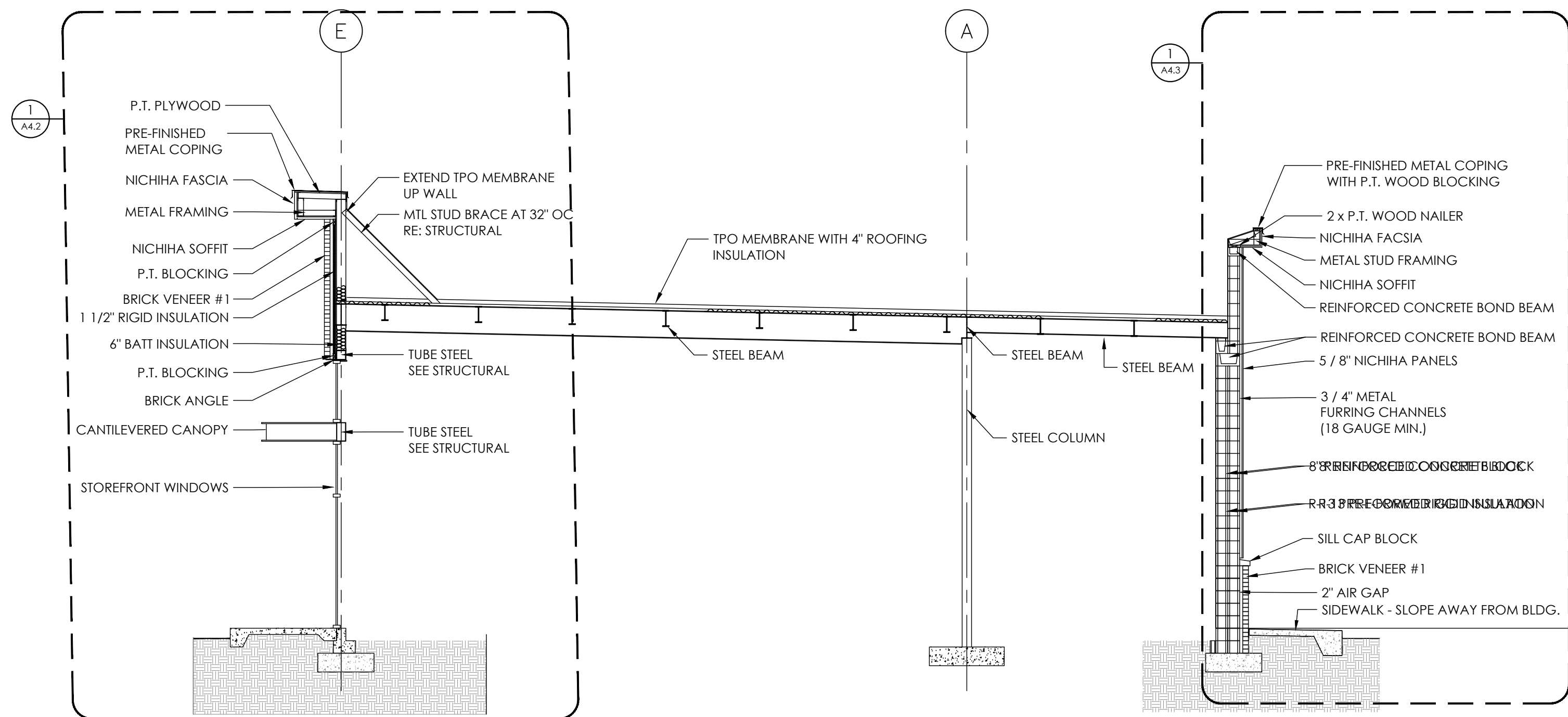
02.23.2022
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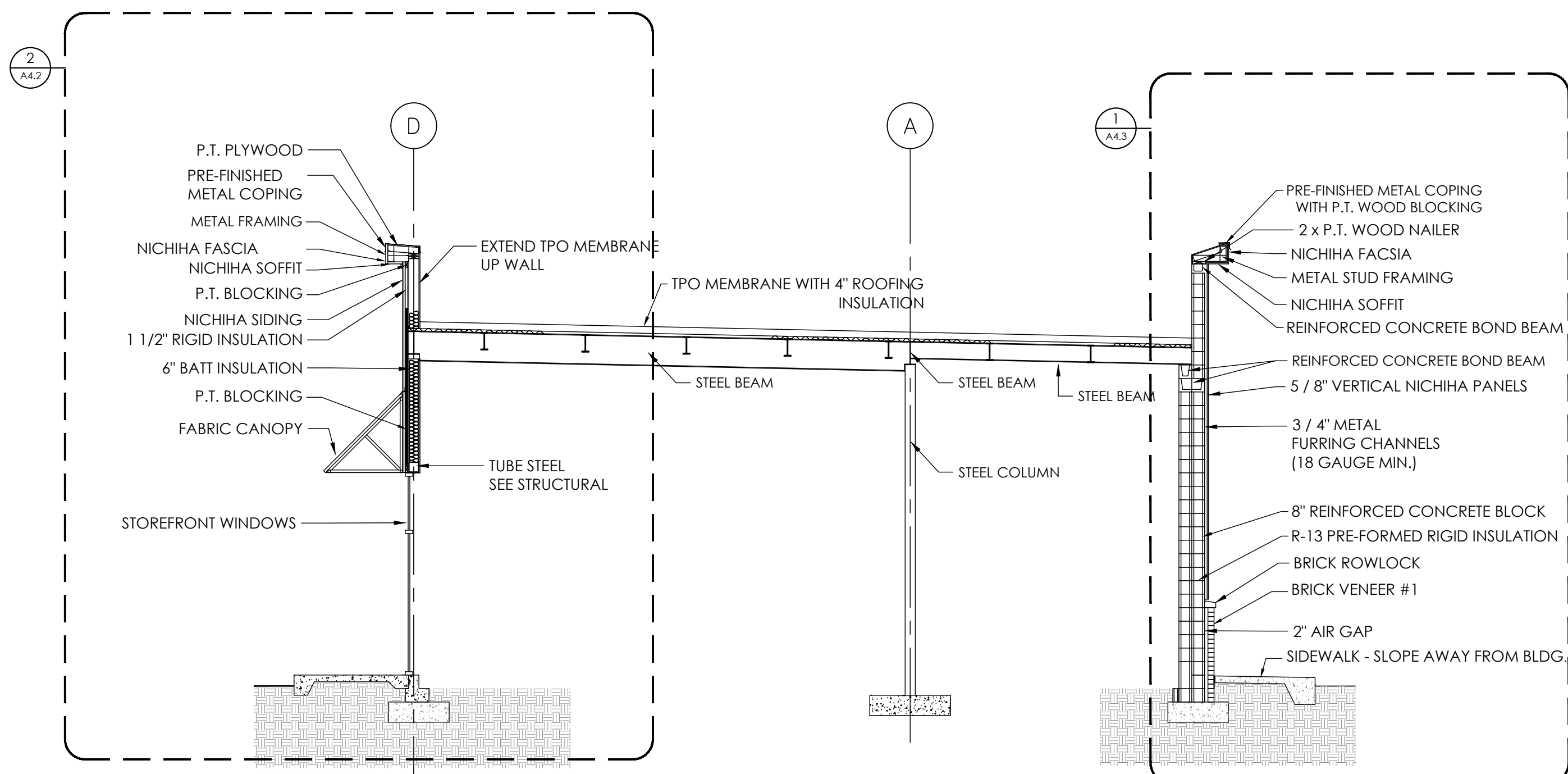
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Packet Pg. 34



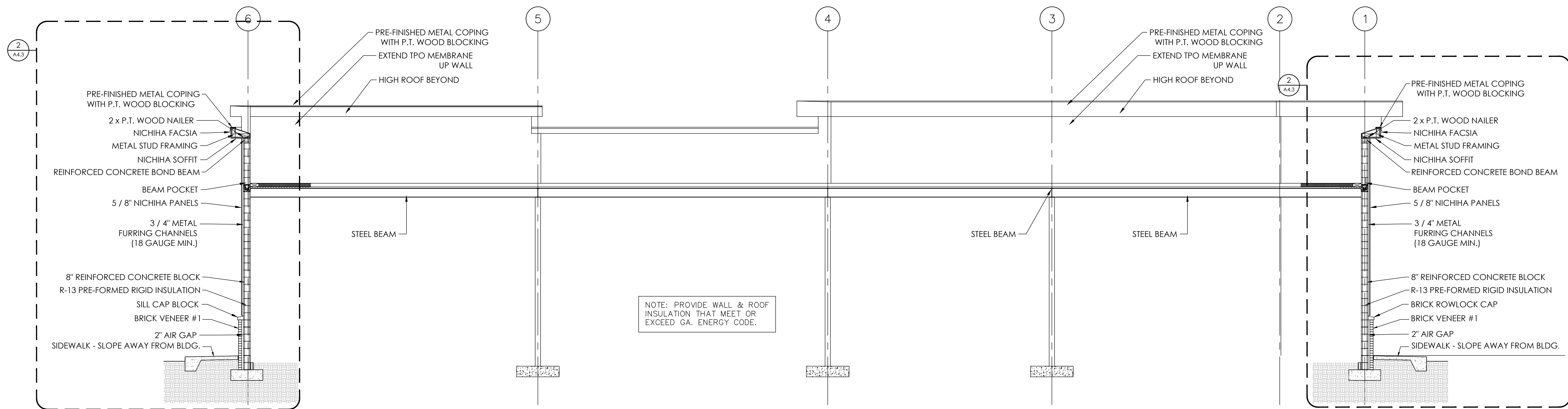
1 BUILDING SECTION

SCALE: 3/16"=1'-0"



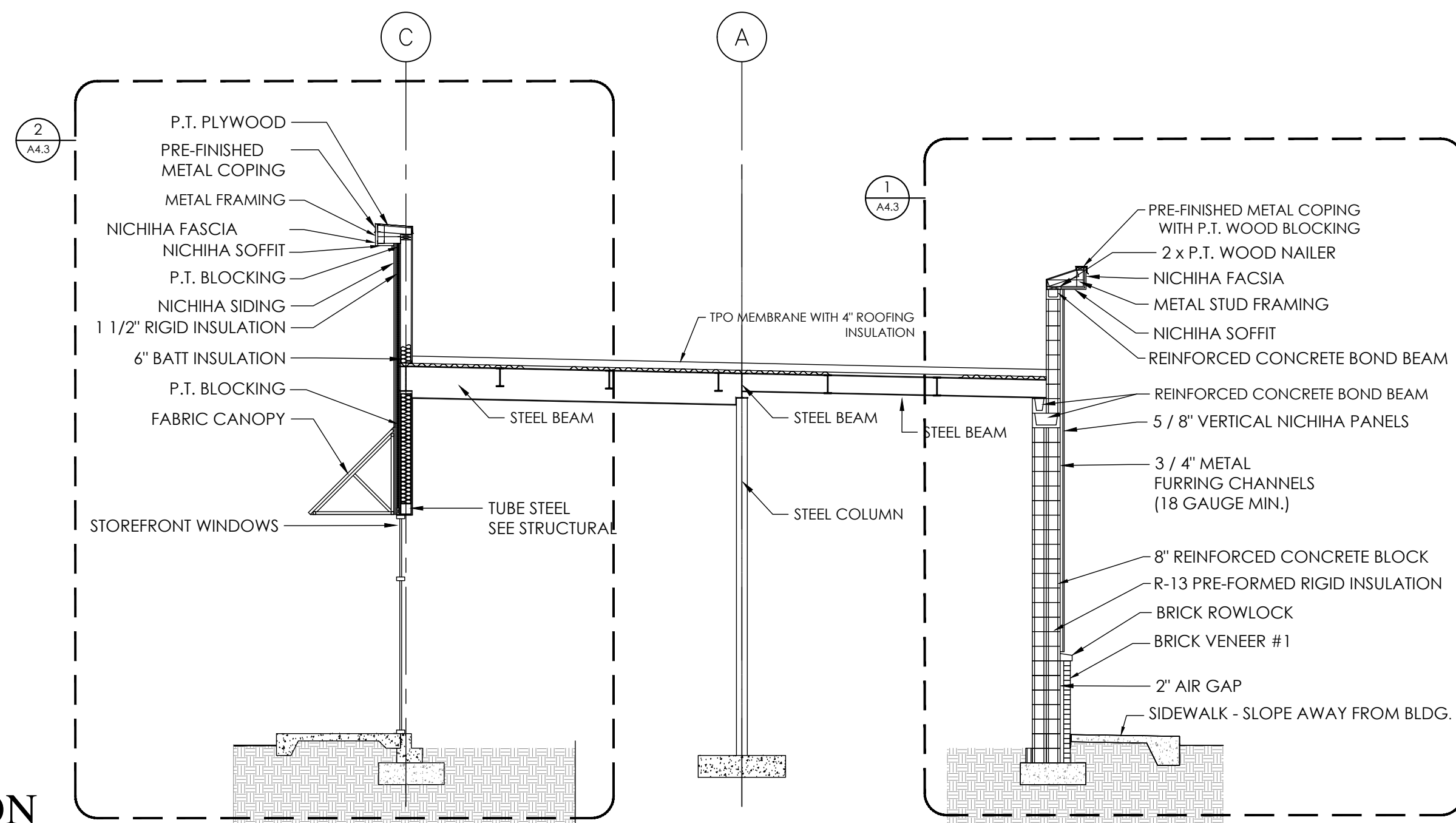
2 BUILDING SECTION

SCALE: 3/16"=1'-0"



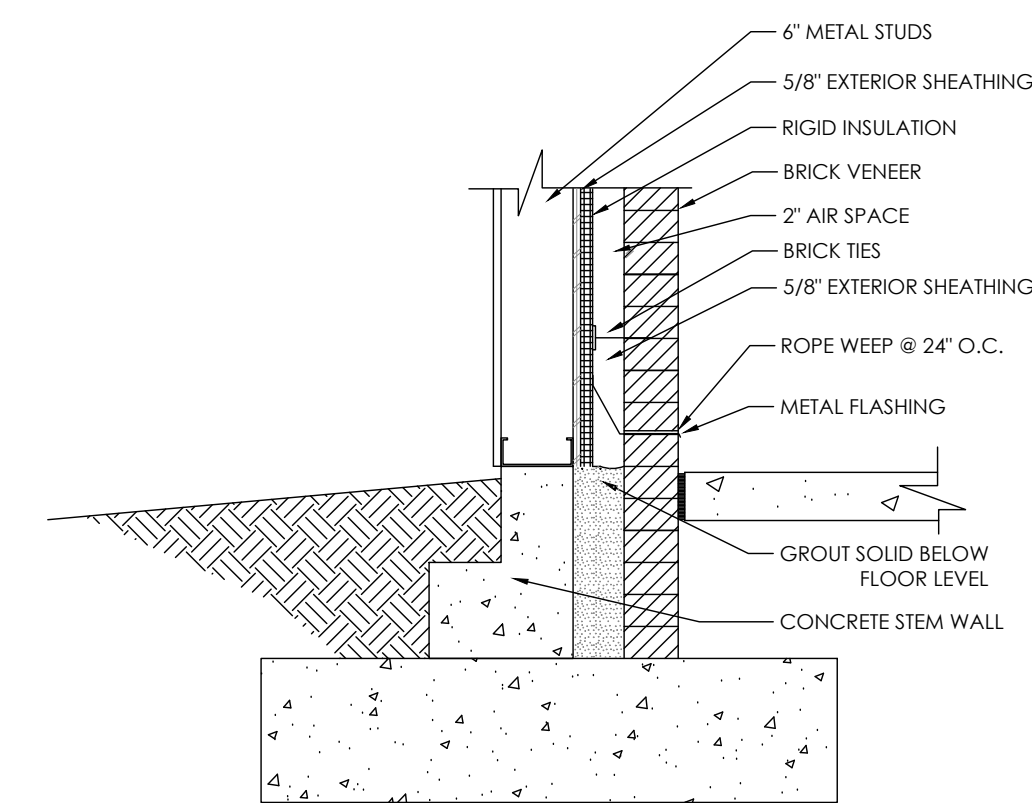
3 BUILDING SECTION

SCALE: 3/16"=1'-0"



4 BUILDING SECTION

SCALE: 3/16"=1'-0"



5 SECTION AT EXTERIOR WALL

SCALE: 3/4"=1'-0"

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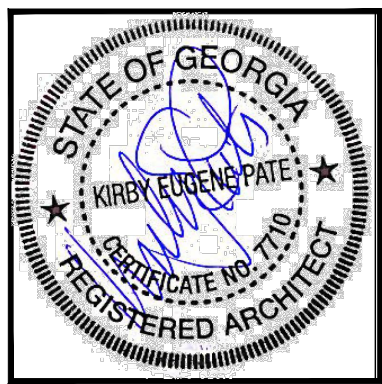
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WALL SECTIONS

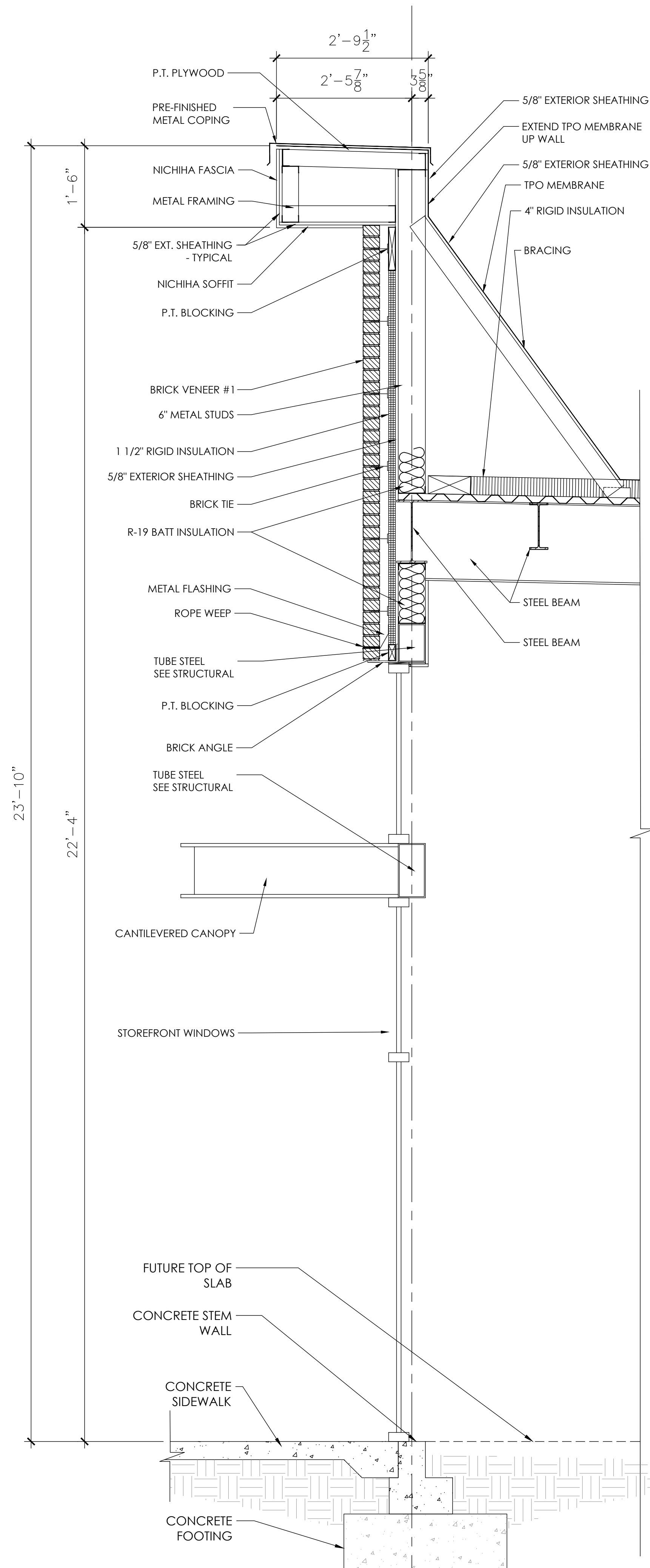
02.23.2022
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A4.2

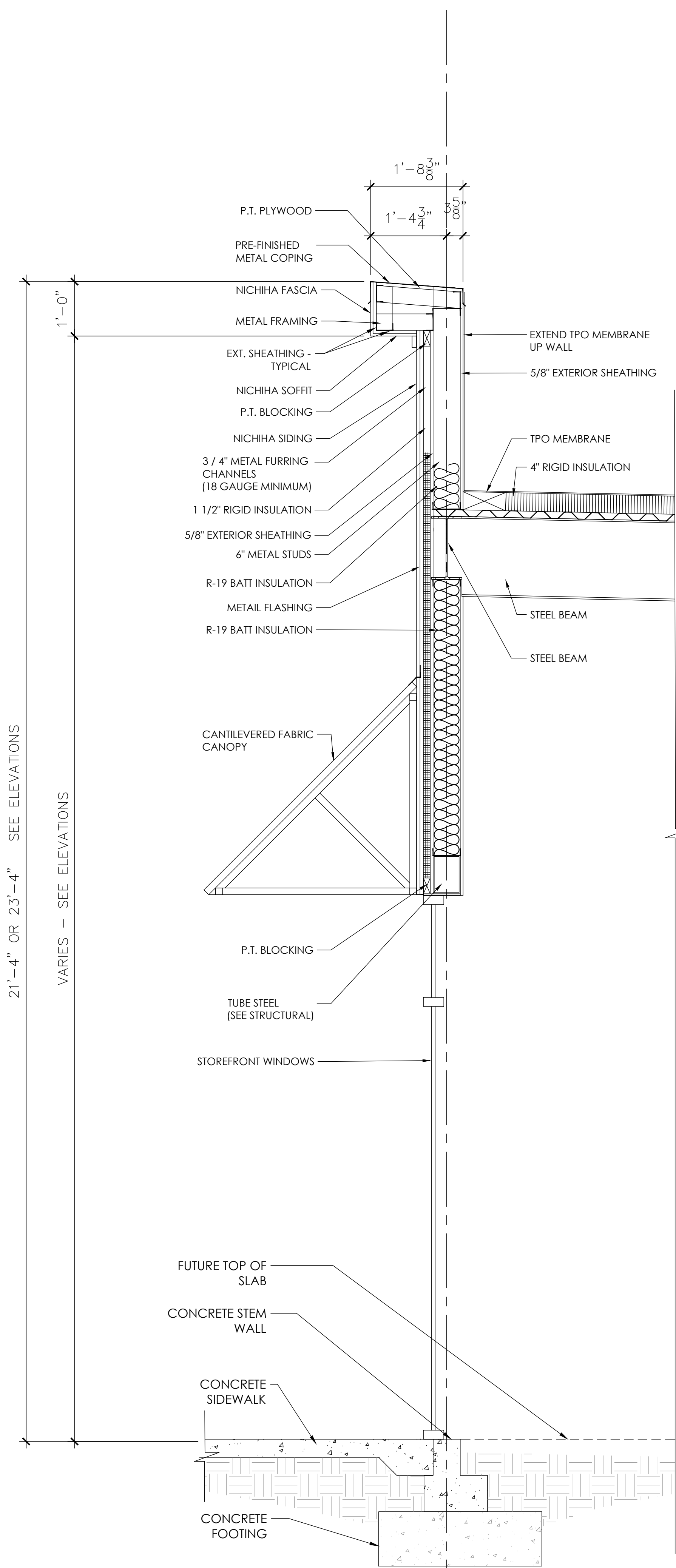
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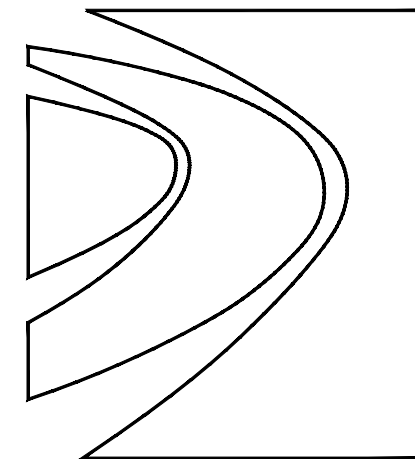
1 WALL SECTION

SCALE: 3/4"=1'-0"



2 WALL SECTION

SCALE: 3/4"=1'-0"



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Revisions:

[illegible]

WALL SECTIONS

Drawn

Check

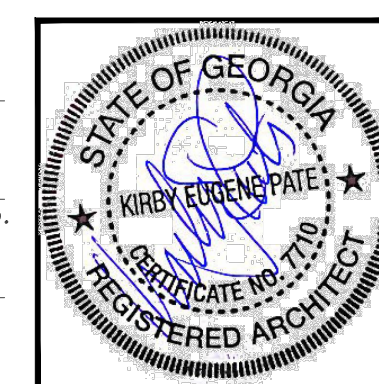
Contract No.

Scale

Date

02.23.2022

Last Rev.

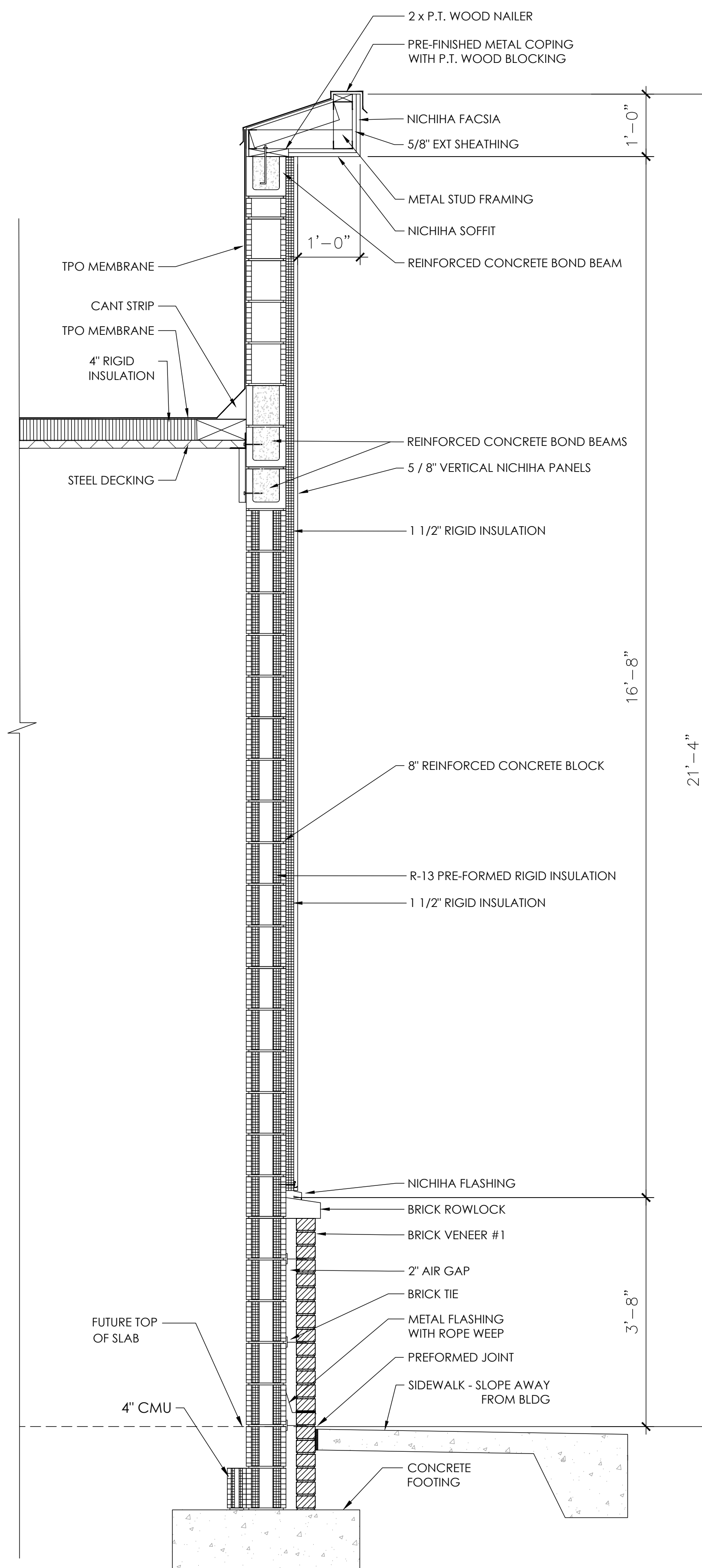
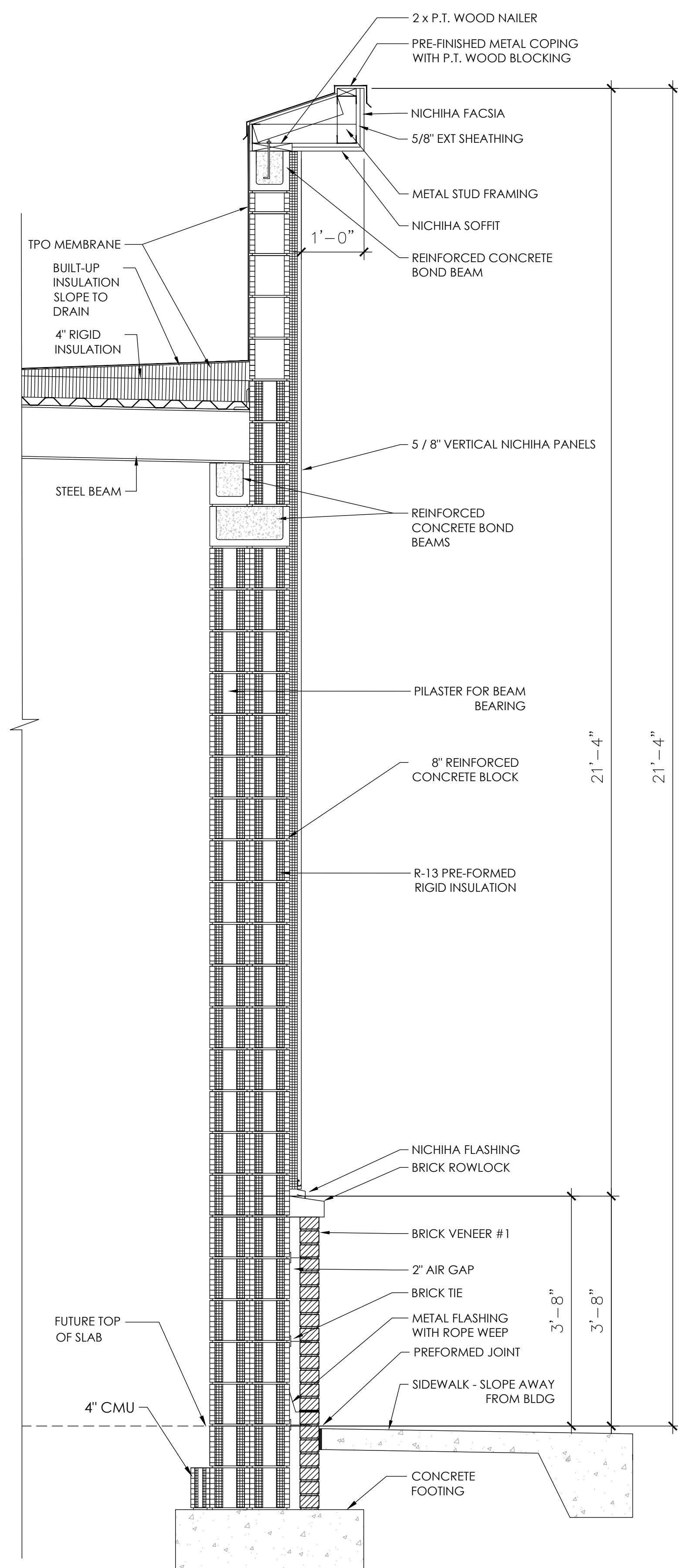


A4.3

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Packet Pg. 36





Department of Community Development

TO: Architectural Review Board
FROM: Jeff Hopper
DATE: February 18, 2025
SUBJECT: COA2023-023 155 Buchanan Street
CC:

Please review attached Staff Reports and supporting documents for submitted application.

Modification to Existing Approved Elevations

[COA2023-023 Staff Report - Updated](#)



Meeting Date: 2/18/2024 at 6:00 PM

Petition Number: COA2023-023 - **Revision**

Project Type:

Residential

Property Location:

155 Buchanan Street

Tax Parcel ID:

6254 619

Petitioner:

Stan Howington

Petitioner's Request:

Modification to Existing Approved Elevations

Vicinity Map:



Attachment: COA2023-023 Staff Report - Updated (25-7245 : COA2023-023 155 Buchanan Street)

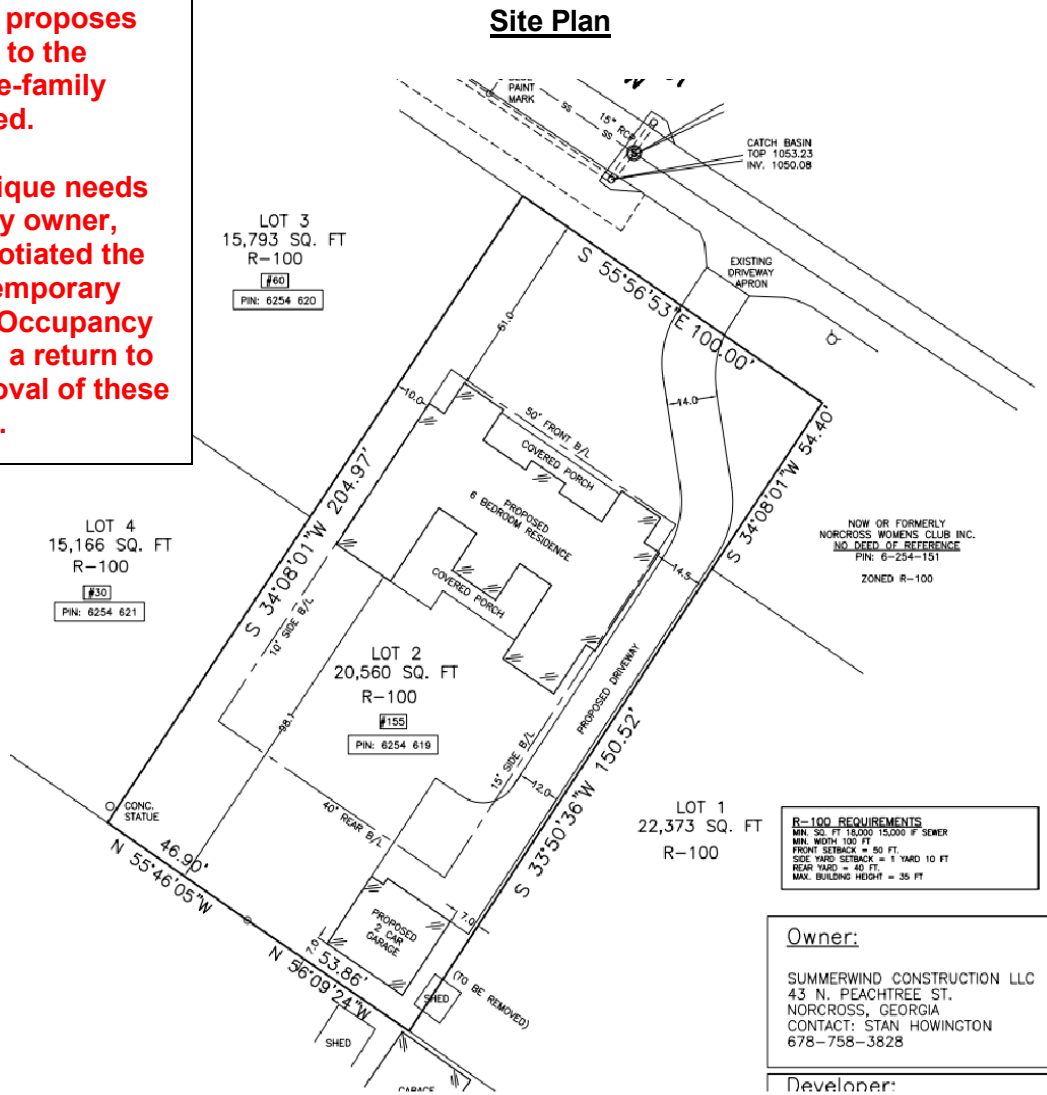
PROPERTY INFORMATION	
Property Location	155 Buchanan Street
Acreage:	Approximately 0.47
Existing Lot Dimensions:	Frontage: Approximately 100' along Buchanan Street
Topography:	High Point: Southeast corner Low Point: Northwest corner
Elevation:	High Point: 1076 feet Low Point: 1060 feet
Encumbrances:	N/A

Project Description

The applicant seeks to build a single-family home on a basement.

The applicant proposes modifications to the existing single-family home approved.

Due to the unique needs of the property owner, City Staff negotiated the release of a temporary Certificate of Occupancy predicated on a return to ARB for approval of these modifications.



List of Changes Made to Proposed Plans:

Front Elevation:

- Columns dimensions changed from 10" to 8"
- Corner Boards dimensions changed from 6" to 4.5"

Left Side Elevation:

- Added Portico
- Board and Batten to match right side (no horizontal siding on gable) - This will be corrected.

Right Side Elevation:

- Board and Batten to match left side (no horizontal siding on gable) - This will be corrected.

Rear Elevation:

- Twin Windows instead of Triple windows
- Triple Windows on the right side were removed completely. Trees and greenery will be planted in this area.

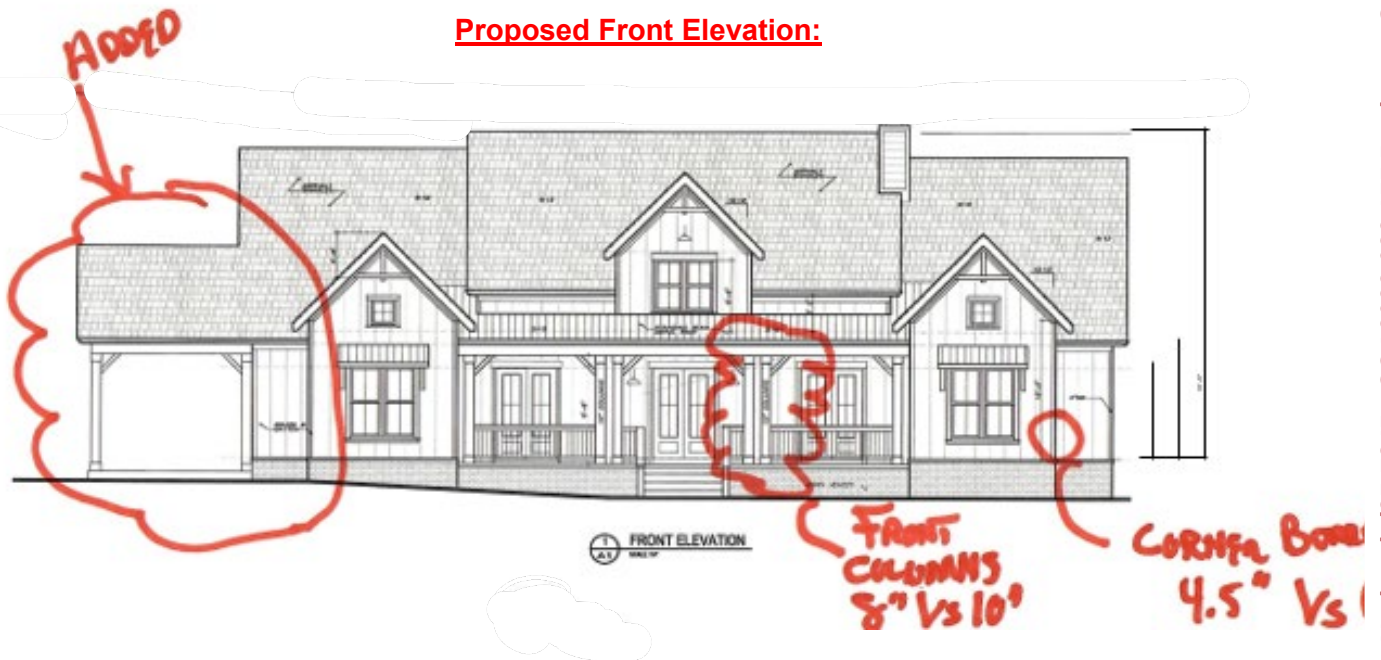
Approved Front Elevation:



Attachment: COA2023-023 Staff Report - Updated (25-7245 : COA2023-023 155 Buchanan Street)

Adding Portico (front View)
 Reducing column size from 10" to 8"
 Reducing Corner Boards from 6" to 4.5"

Proposed Front Elevation:



Approved Right Elevation:

The right-side elevation has brick on the basement level horizontal siding on the second floor and gable, and decorative board and batten.

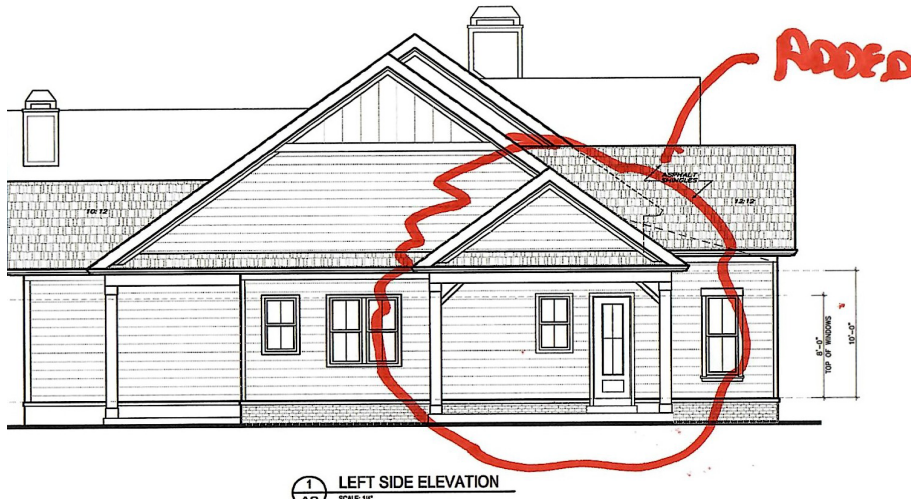
**Proposed Right Elevation:**

Approved Left Elevation:

This elevation has the same materials as the front elevation. Horizontal lap siding, brick water table, and board and batten.

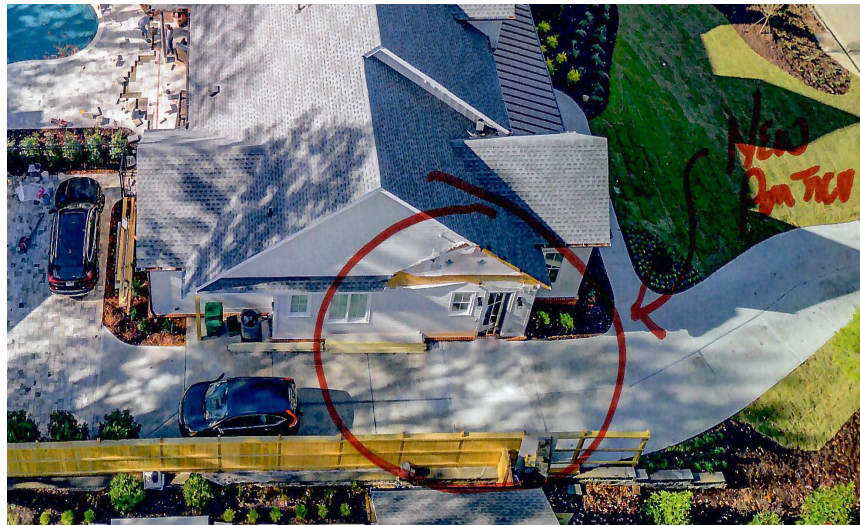


1 LEFT SIDE ELEVATION
A1 SCALE: 1/4"

Proposed Left Elevation:

1 LEFT SIDE ELEVATION
A1 SCALE: 1/4"

Add portico
Note: Variance likely
needed for setback for
portico (ZBA to handle)

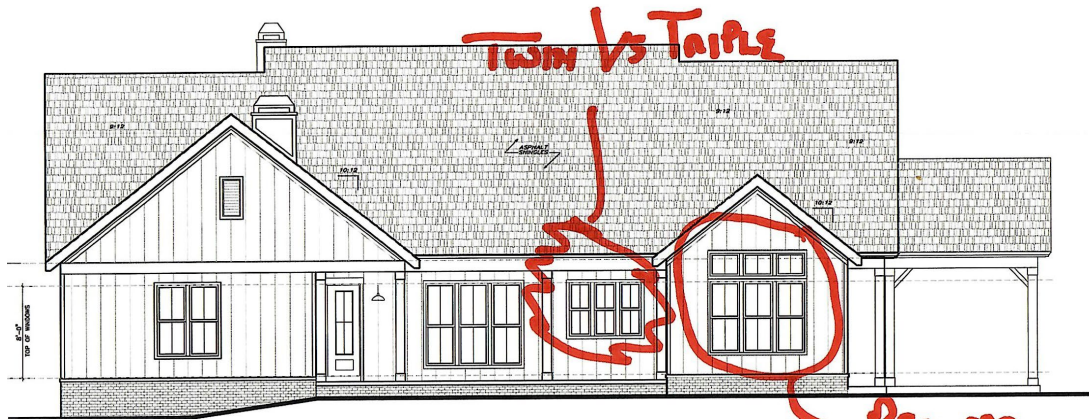


Approved Rear Elevation:

This elevation has board and batten, brick water table, and two over two windows.



2 REAR ELEVATION
A.1 SCALE 1/8"

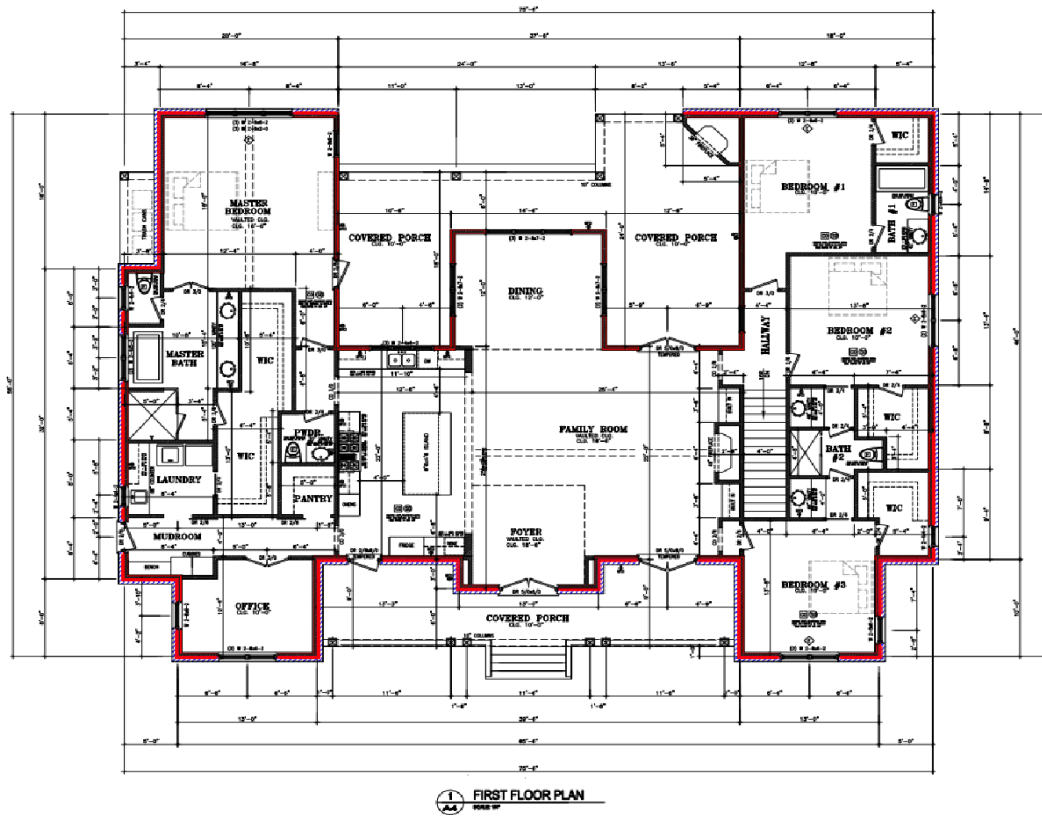
Proposed Rear Elevation:

2 REAR ELEVATION
A.2 SCALE 1/8"

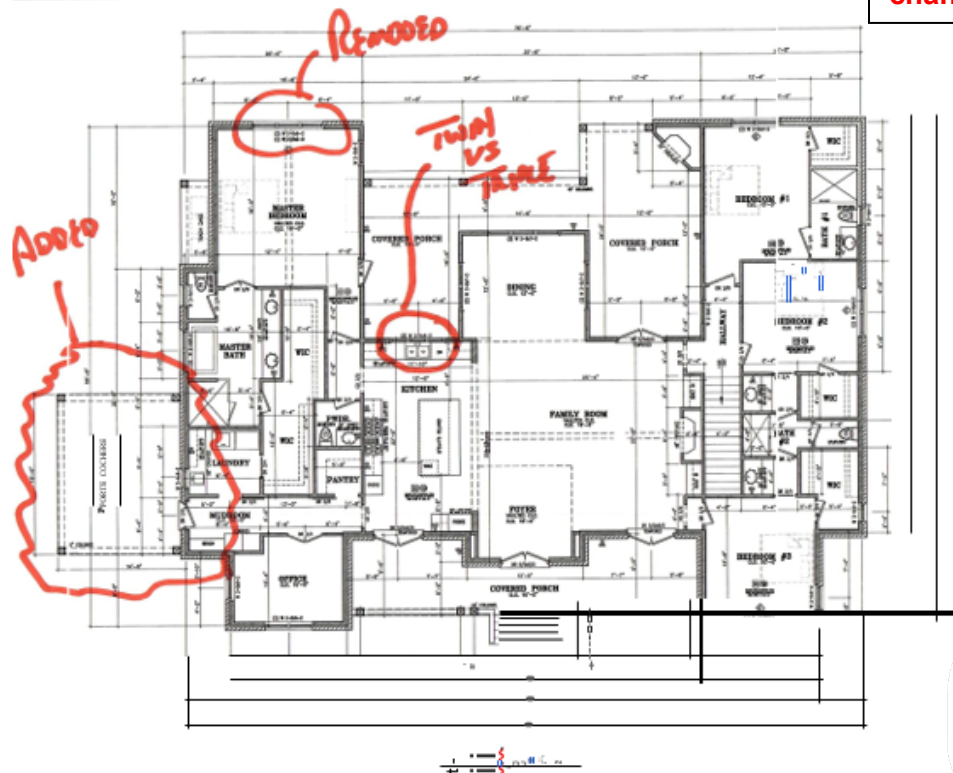
TRAILER IS GOING ON
THIS WITH GREENFRY



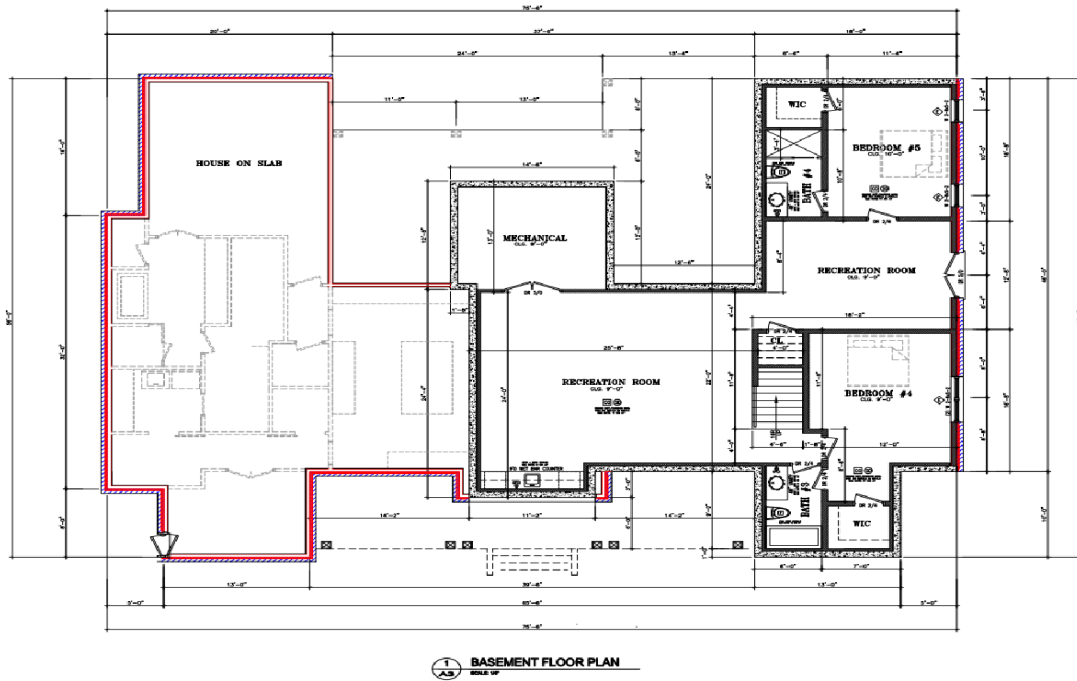
City of Norcross Architectural Review Board Meeting for Feb 18th at 6:00 PM

Approved First Floor PlanProposed First Floor Plan

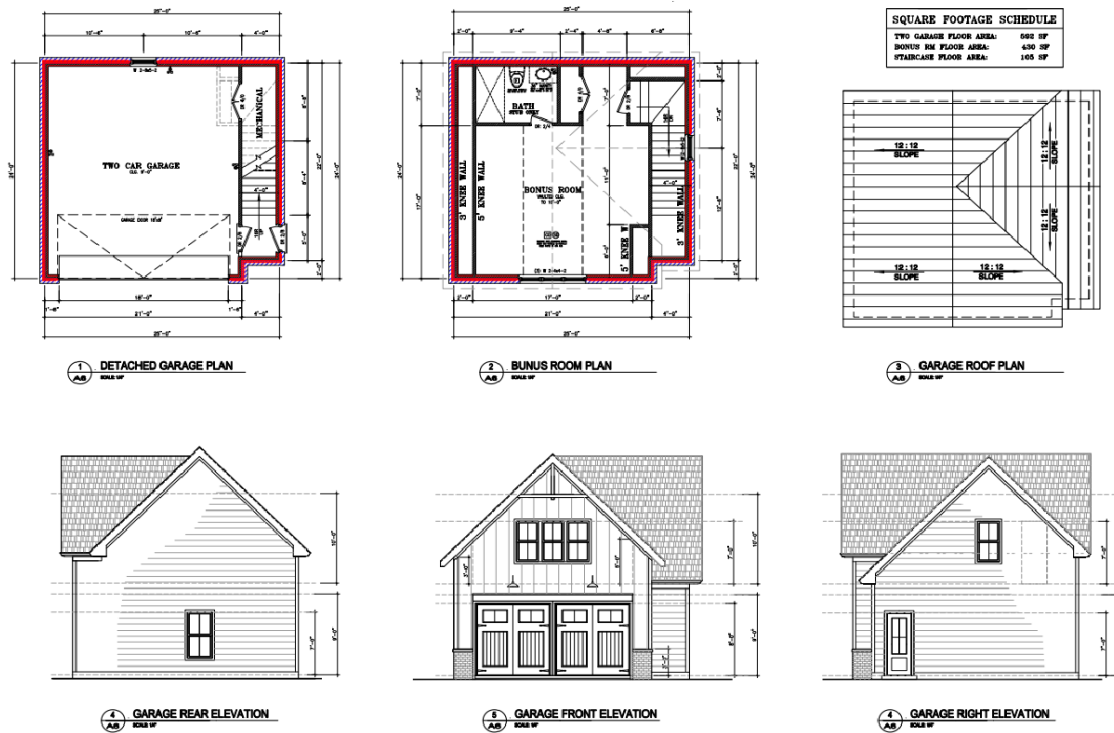
Interior Floor plan
reflects exterior
changes

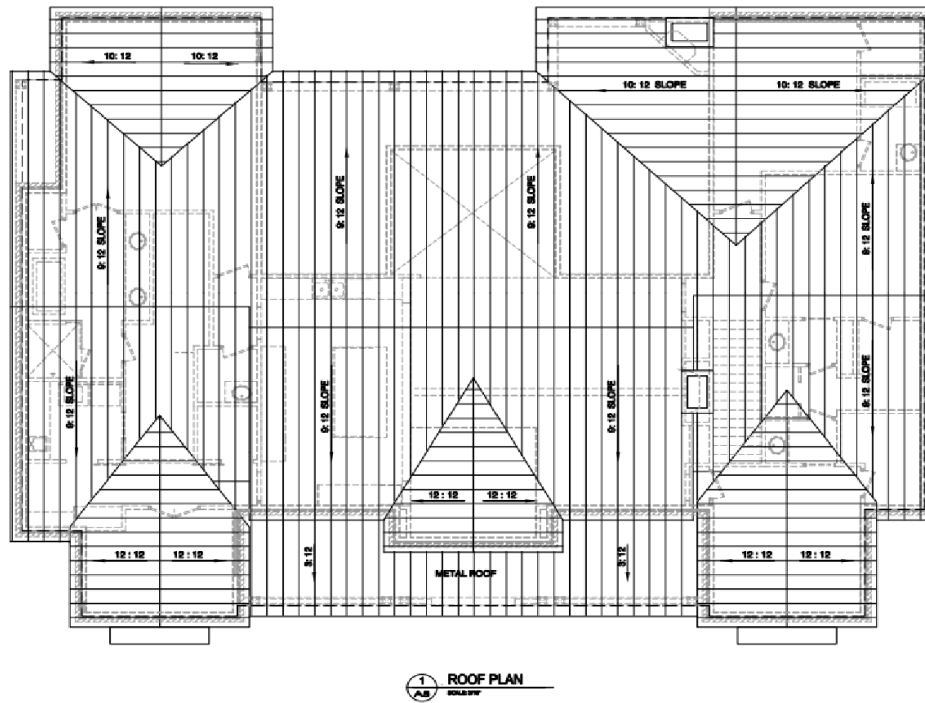


Basement Plan

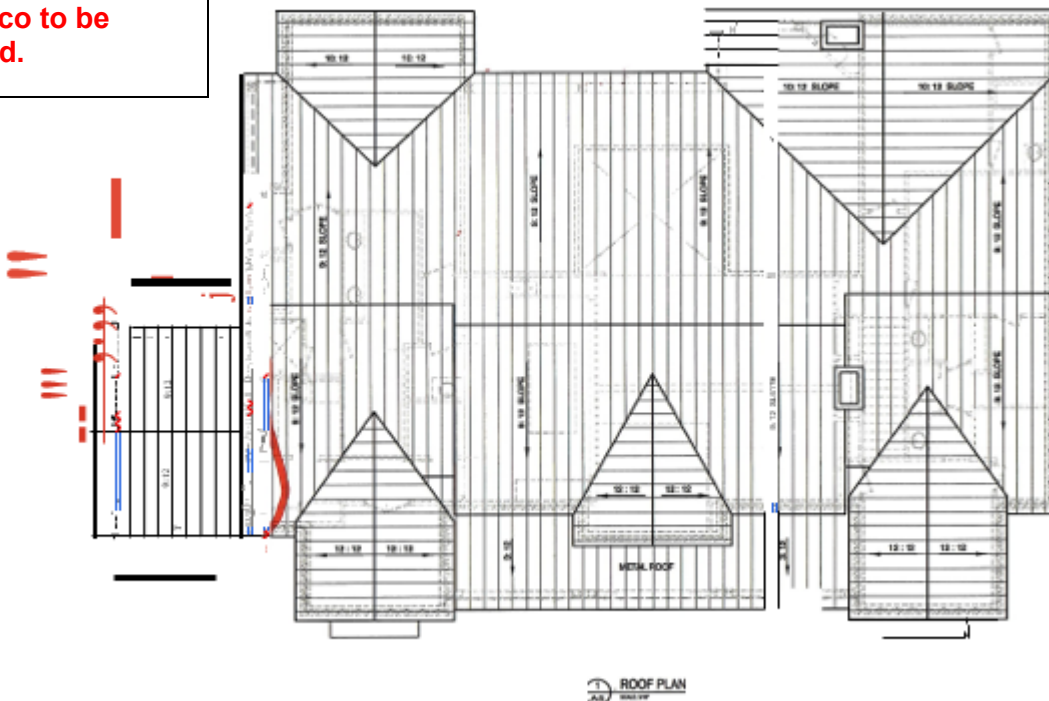


Detached Garage:



Approved Roof PlanProposed Roof Plan

Proposed Roof Plan includes Portico to be added.



ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First		Brick, B&B
Primary Façade:		
Primary Façade: Third		
Left Side:		Brick, siding, B&B
Left Side: Second		Siding
Left Side: Third		B&B
Left Side:		
Right Side:		Brick Terrace level
Right Side: Second		Siding
Right Side:		Gable, B&B , siding
Right Side:		
Rear: First		B&B
Rear: Second		B&B
Rear: Third		
Rear: Basemnt		Brick

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Cherokee brick Kennesaw	Brick
Garage Doors	Benjamin Moore oc-52 Gray Owl	Metal, carriage
Trim	Benjamin Moore oc-29 Floral White	Hardie
Mortar	Coosa Ivory Buff	
Gutters	Linen spectra metal	aluminum
Corner Board	Benjamin Moore oc-29 Floral White	Hardie
Railings		
Windows	Benjamin Moore oc-29 Floral White	wood
Window Sills	Benjamin Moore oc-29 Floral White	
Window Muntin/Mulli	Benjamin Moore oc-29 Floral White	
Columns	Benjamin Moore oc-29 Floral White	
Other Architectural Features	Benjamin Moore oc-30 Gray Misty	roofing
Other Architectural	Benjamin Moore oc-30 Gray Misty	siding hardie

Recommendations

Staff recommends the approval of the submitted application subject to the following conditions:

1. Siding on gable must be removed and replaced by Board and Batten. Board and Batten must match color and style on all elevations.
2. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
3. Any changes from the Architectural Review Board approved component shall follow established procedures and may require additional public hearings.
4. A final Architectural Review Board inspection shall occur prior to release of the certificate of occupancy to confirm compliance with the above conditions.