

City of Norcross

*65 Lawrenceville Street
Norcross, GA 30071*



Meeting Agenda

**Tuesday, April 15, 2025
6:00 PM**

2nd Floor Conference Room Architectural Review Board

Jeff Hopper, Chair

Cindy Flynn

Naim Harrison

Bill McLees

Barbara Grayson

- A. Call to Order**
PLEASE TURN OFF ALL CELL PHONES AND ELECTRONIC DEVICES
- B. Approval of Previous Meetings Minutes**
 - a. [Architectural Review Board - February 18, 2025, 6:00 PM](#)
- C. Unfinished Business**
- D. New Business**
 - 1. [25-7286](#) **COA2025-004 372 Lawrenceville St**
Approval of Townhome Elevations
[Staff Report COA2025-004](#)
[COA application](#)
- E. ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA**
- F. Adjourn**

Signed by _____ Jeff Hopper, Chair

Signed by _____ , LeDarius Scott, Senior
Planner

City of Norcross

65 Lawrenceville Street
Norcross, GA 30071



Meeting Minutes

Tuesday, February 18, 2025
6:00 PM

2nd Floor Conference Room
Architectural Review Board

Jeff Hopper, Chair

Cindy Flynn

Naim Harrison

Bill McLees

Barbara Grayson

Minutes Acceptance: Minutes of Feb 18, 2025 6:00 PM (Approval of Previous Meetings Minutes)

A. Call to Order

Architectural Review Board was called to order at 6:00 PM by

Attendee Name	Title	Status	Arrived
Jeff Hopper	Chair	Present	
Cindy Flynn	Vice Chair	Absent	
Naim Harrison	Board Member	Present	
Bill McLees	Board Member	Absent	
Barbara Grayson	Board Member	Present	

B. Approval of Previous Meetings Minutes

a. Architectural Review Board - Architectural Review Board - Dec 17, 2024, 6:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Barbara Grayson, Board Member
SECONDER:	Naim Harrison, Board Member
AYES:	Jeff Hopper, Naim Harrison, Barbara Grayson
ABSENT:	Cindy Flynn, Bill McLees

C. Unfinished Business**D. New Business**

1. 25-7227: **COA2024-053 6905 Jimmy Carter Blvd**

Staff Report - COA2024-053

A resident (first name Jim) spoke in opposition to the revised elevations but more specifically the location of the drive-thru window and how he didn't think the City wanted a drive-thru facing Jimmy Carter was the first thing that should be seen when entering the City. Board members deliberated on the new elevations, comparing them to the previously approved elevations which proposed much more detailed and varied architectural elements. Recommendation was made to approve the architectural design presented by the original application submitted and approved during the August 2020 ARB meeting (COA 2020-0028) along with staff recommendations.

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Jeff Hopper, Chair
SECONDER:	Barbara Grayson, Board Member
AYES:	Jeff Hopper, Naim Harrison, Barbara Grayson
ABSENT:	Cindy Flynn, Bill McLees

2. 25-7245: **COA2023-023 155 Buchanan Street**

COA2023-023 Staff Report - Updated

- i. Stan Howington spoke before the Board to go over the proposed modifications to the existing home that differed from the original submitted and approved exterior features.
- ii. Board members discussed the changes to the original design compared to the as built. The design of the proposed portico was questioned as detailed elevations were not specified.

Recommendation was made to approve the as-built modifications with the following conditions:

- 8x8 columns on the front elevation.
- 4.5" corner boards.
- Portico design with 8x8 columns on left elevation.
- Changes to basement windows on right elevation.
- Replacement of triple windows with siding on the right side of the rear elevation.
- Replacement of triple windows with double windows within the middle of the rear elevation.
- A detailed elevation and construction specs for the portico required to be uploaded to ARB application file.

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Jeff Hopper, Chair
SECONDER:	Barbara Grayson, Board Member
AYES:	Jeff Hopper, Naim Harrison, Barbara Grayson
ABSENT:	Cindy Flynn, Bill McLees

E. ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA

F. Adjourn

Jeff Hopper motioned to adjourn the meeting at 7:30 pm, seconded by Barbara Grayson. The vote was unanimously approved.

Signed by _____ Jeff Hopper, Chair

Attest by _____ LeDarius Scott, Senior Planner

Minutes Acceptance: Minutes of Feb 18, 2025 6:00 PM (Approval of Previous Meetings Minutes)



Department of Community Development

TO: Architectural Review Board
FROM: Jeff Hopper
DATE: April 15, 2025
SUBJECT: Coa2025-004 372 Lawrenceville St
CC:

Please review attached Staff Reports and supporting documents for submitted application.

Approval of Townhome Elevations

[Staff Report COA2025-004](#)

[COA application](#)



Meeting Date: 4/15/2025 at 6:00 PM

Petition Number: COA2025-004

Project Type:

Townhome Development

Property Location:

372 Lawrenceville Street

Tax Parcel ID:

6242 006

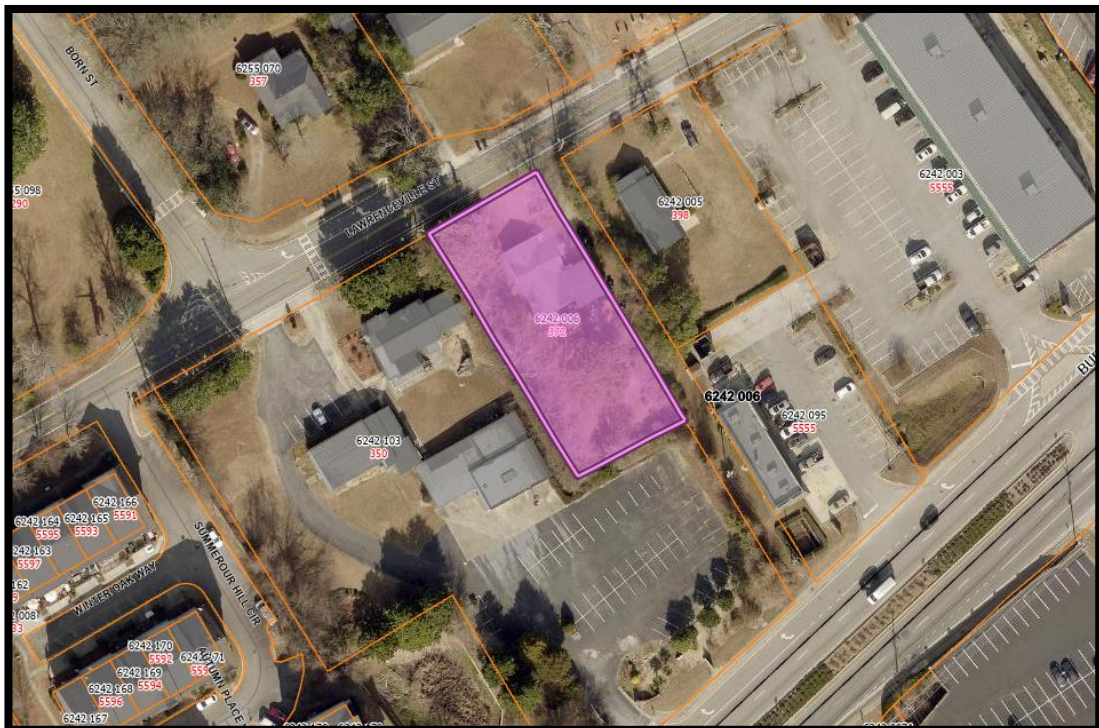
Petitioner:

Adrienne Holmes

Petitioner's Request:

Approval of Townhome Elevations

Vicinity Map:



City of Norcross Architectural Review Board Meeting for April 15, 2025, at 6:00 PM

Attachment: Staff Report COA2025-004 (25-7286 : COA2025-004 372 Lawrenceville St)

PROPERTY INFORMATION	
Property Location	372 Lawrenceville Street
Acreage:	Approximately 0.37 Acres
Existing Lot Dimensions:	Lot frontage along Lawrenceville Street: 83.04 feet Lot Depth: 193.30
Existing Building Dimensions:	N/A
Topography:	High Point: Northeast corner Low Point: Southeast corner
Elevation:	High Point: 1024 feet Low Point: 1014 feet
Encumbrances:	N/A

Project Description

The applicant seeks to build three (3), two-story townhomes on 0.37-acre lot which is currently zoned BH, Buford Highway, which permits residential townhouse developments. The townhomes proposed square footages will be approximately 3,200 square feet and greater. Stormwater management will be provided in the rear yard of the subject property.

Site Plan

The applicant's site plan shows three (3) proposed townhome units. The City Engineer has requested a five (5') foot dedication of right of way. There will be one (1) curb cut which provides adequate driveway space, accommodating a turnaround on-site prevents future residents from having to back out into Lawrenceville Street. The front building line setback will be 30 feet, 10 of which will approved administratively by the Community Development Director per the Unified Development Code, which allows a maximum front setback of 20 feet for the BH zoning district.

The front elevation will consist of Oyster Grey for the brick façade color and the hardie/lap siding will be Keystone Grey. All three (3) townhomes will feature front loading garages.

Discussion Items for Proposed Front Elevation: 1. What will the color of the front doors be? 2. What will the color and materials of the awnings be? 3. What will the color and materials of the garage doors be?

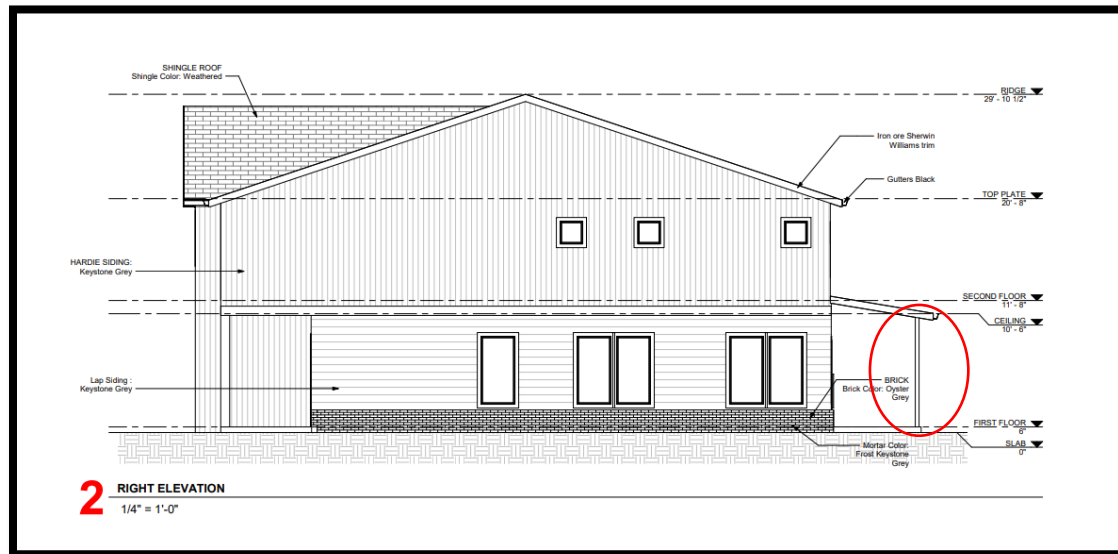
Proposed Rear Elevation



The rear elevation will consist of hardie siding and lap siding that will be Keystone Grey. The brick water table will be Oyster Grey. All three (3) townhomes will feature a contiguous rear patio defined by a single support post.

Discussion Items for Proposed Rear Elevation: 1. What will the color of the rear doors be? 2. What will the color of the window trims be?

Proposed Right Elevation



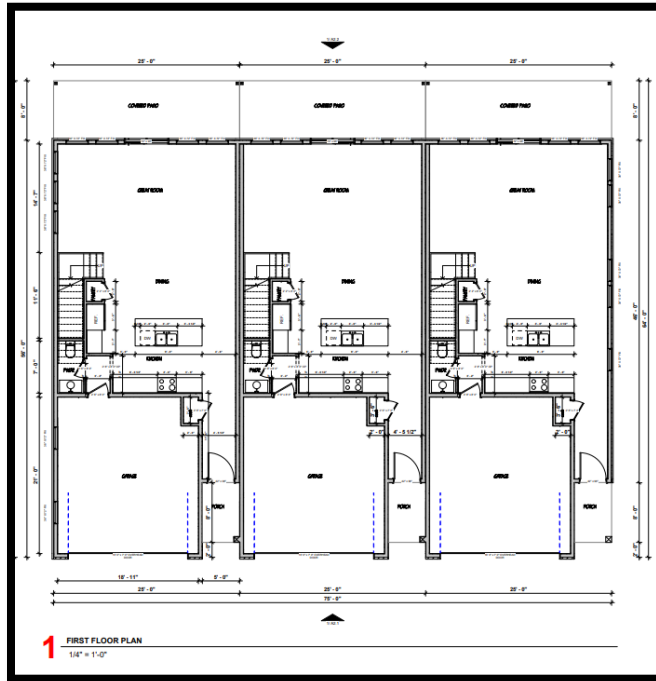
Proposed Left Elevation



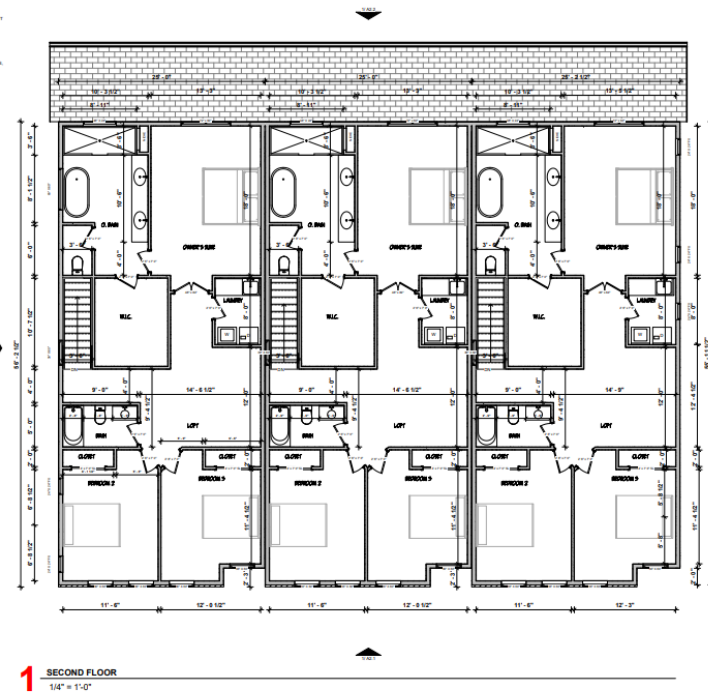
Side elevations will consist of Keystone Grey for both the hardie siding and lap siding. The brick color presented on the water tables is Oyster Grey and the mortar color is Frost Keystone Grey.

Discussion Item for Left and Right Elevation: What color will the posts circled in red above be?

First Floor Plan



Second Floor Plan



Applicable Building Standards:

3.5.1.25 All construction shall include a combination of architectural treatment of brick or stone masonry, stucco, wood, or other durable materials.

3.5.3.1 All residential construction shall include a combination of architectural treatments, such as brick or stone masonry, stucco, wood, or other durable materials. If masonry materials are used a minimum of (3) three facades must use the masonry material.

3.5.3.2 The reveal (exposed portion) of siding will be a minimum of four inches and shall not exceed six (6) inches.

Materials and Colors



Attachment: Staff Report COA2025-004 (25-7286 : COA2025-004 372 Lawrenceville St)



Discussion Items: 1. Will there be a privacy fence between unit patios? 2. There appears to be side separation (circled in red above) on the left and right-side elevations presented above, what color will they be?

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Chateau	Brick
Primary Façade:	Chateau	Brick
Primary Façade: Third		
Left Side:	SW 9577	Lap siding/Brick
Left Side: Second	SW 9577	Batten board
Left Side: Third		
Left Side:		
Right Side:	SW 9577	Lap siding/Brick
Right Side: Second	SW 9577	Batten board
Right Side:		
Right Side:		
Rear: First	SW 9577	Lap siding/Brick
Rear: Second	SW 9577	Batten board
Rear: Third		
Rear: Basemnt		

Discussion Items: 1. What color will the window features have?

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Cherokee/Chateau	Brick/Hardi PLank
Garage Doors	SW 9577	Metal
Trim	SW 7069	Hardi
Mortar	Tan/Frost	Hardi
Gutters	Bronze	6 inch metal gutters
Corner Board	SW 9577	Hardi board
Railings	None	None
Windows	MI Vinyl	No grids
Window Sills	MI Vinyl	No grids
Window Muntin/Mulli	MI Vinyl	No grids
Columns	MI Vinyl	No grids
Other Architectural Features	None	
Other Architectural	None	

Recommendations

Should the ARB decide to grant approval, Staff recommends the following conditions:

1. The lap siding reveal shall be between four and six inches in width.
2. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
3. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
4. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address:	Lot #	Tax Parcel ID:	
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name:	Phone:		
Address:	City:	State:	Zip Code:
APPLICANT			
Applicant Name:	Phone:		
Company Name:	Email:		
Address:	City:	State:	Zip Code:
DESCRIPTION OF PROJECT			
Project Type ☐ Residential ☐ Commercial ☐ Industrial ☐ Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months? Yes No If yes, please list the board and reference number: _____			
OWNER'S SIGNATURE			
Signature: <i>adrienne holmes</i>		Date:	
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with https://eplansolution.com/norcrossga Hard copies of application materials will not be accepted.			

Attachment: COA application (25-7286 : COA2025-004 372 Lawrenceville St)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width:	Length:	Height:*
Area Dimensions:		
First Floor:	Second Floor:	Third Floor:
Basement**:	Front Porch:	Rear Porch:
Patio:	Garage:	
Primary Roof System: (Circle One)		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch:		
Secondary Roof Pitch:		
Additional Roof Pitch:		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

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ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First		
Primary Façade:		
Primary Façade: Third		
Left Side:		
Left Side: Second		
Left Side: Third		
Left Side:		
Right Side:		
Right Side: Second		
Right Side:		
Right Side:		
Rear: First		
Rear: Second		
Rear: Third		
Rear: Basemnt		

Attachment: COA application (25-7286 : COA2025-004 372 Lawrenceville St)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry		
Garage Doors		
Trim		
Mortar		
Gutters		
Corner Board		
Railings		
Windows		
Window Sills		
Window Muntin/Mulli		
Columns		
Other Architectural Features		
Other Architectural		

Attachment: COA application (25-7286 : COA2025-004 372 Lawrenceville St)



Owner Affidavit

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

Section I. Land Ownership

I, [REDACTED], hereby attest to ownership of the property located at [REDACTED], Parcel ID# [REDACTED] for which this Application is submitted. The Ownership, as recorded on the deed, is in the name of [REDACTED].

Section II. Type of Ownership

☒ Individual ☐ Corporation/LLC ☐ Partnership ☐ Government

Corporation/LLC/Partnership Name:

Secretary of State Registration Number:

Registered Agent Name:

Provide Names of all Officers/Members/General Partners (If applicable):

Registered Agent Address:

Registered Agent Phone #:

COMPLETE BY OWNER

As the owner of the above designated property for which this affidavit is submitted, I wish to allow _____ (applicant's name) to apply for a _____ for the address mentioned in Section I of this form. I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief.

NOTARY

Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.

Sworn and subscribed before me this 3 day of March, 2025.

Notary Public: R Holmes

Name: Adrienne Holmes

Seal:

Address: 135 Kelly Street

City, State, Zip Code: Norcross Ga 30071

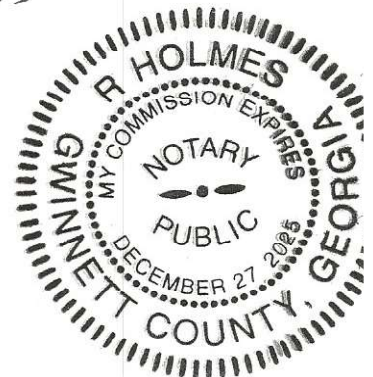
Email address: adrienne.holmes@yahoo.com

Phoner Number: 678414-9863

Commission expires: 12-27-25

Owner's signature:

Adrienne Holmes



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