

# City of Norcross

*65 Lawrenceville Street  
Norcross, GA 30071*



## Meeting Agenda

**Tuesday, July 15, 2025  
6:00 PM**

**2nd Floor Conference Room**  
**Architectural Review Board**

*Jeff Hopper, Chair*

*Bill McLees*

*Barbara Grayson*

*Naim Harrison*

*Hugh Cooper*

**A. Call to Order**  
PLEASE TURN OFF ALL CELL PHONES AND ELECTRONIC DEVICES

**B. Approval of Previous Meeting Minutes**

[Architectural Review Board - Architectural Review Board - Jun 17, 2025, 6:00 PM](#)

**C. Unfinished Business**

**D. New Business**

1. [25-7376](#)      **COA2025-020 421 Dogwood Circle**

Consideration of a roof over an existing rear deck and a garage enclosure to create living space on the main floor.

[COA2025-020 Staff Report](#)

[COA2025-020 Application](#)

2. [25-7377](#)      **Coa2025-021 5265 Wexford Lane**

Construction of a residential duplex.

[COA2025-021 Staff Report](#)

[COA2025-021 Application](#)

3. [25-7378](#)      **COA2025-026 5689 Western Hills Drive**

Consideration of a roof mounted photovoltaic/solar panel system.

[COA2025-026 Staff Report](#)

[COA2025-026 Application](#)

4. [25-7379](#)      **COA2025-029 West Peachtree Street**

Consideration of 21 cottage style homes for a planned residential community.

[COA2025-029 Staff Report](#)

[COA2025-029 Application](#)

- 5. [25-7380](#)      **COA2025-030 3395 Medlock Bridge Road**  
Consideration of an enclosed front porch, new doorway, and portico, and building color.

[COA2025-030 Staff Report](#)

[COA2025-030 Application](#)

- 6. [25-7381](#)      **COA2025-031 148 North Peachtree Street**  
Consideration of a proposed garage door, window modification, door modification, and staircase modification to a previously approved COA application (COA2022-020), and the exterior paint color.

[COA2025-031 Staff Report](#)

[COA2025-031 Application](#)

- 7. [25-7382](#)      **COA2025-032 75 Williams Street**  
Consideration of enclosing a screened porch into conditioned space.

[COA2025-032 Staff Report](#)

[COA2025-032 Application](#)

**E.    ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA**

**F.    Adjourn**

Signed by \_\_\_\_\_ **Jeff Hopper, Chair**

Signed by \_\_\_\_\_ , **LeDarius Scott, Senior Planner**

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## Meeting Minutes

Tuesday, June 17, 2025  
6:00 PM

2nd Floor Conference Room  
**Architectural Review Board**

*Jeff Hopper, Chair*  
*Bill McLees*  
*Barbara Grayson*  
*Naim Harrison*  
*Hugh Cooper*

Minutes Acceptance: Minutes of Jun 17, 2025 6:00 PM (Approval of Previous Meetings Minutes)

**A. Call to Order**

Architectural Review Board was called to order at 6:02 PM by Chair Jeff Hopper

Attendee Name	Title	Status	Arrived
Jeff Hopper	Chair	Present	
Bill McLees	Board Member	Present	
Barbara Grayson	Board Member	Present	
Naim Harrison	Board Member	Absent	
Hugh Cooper	Board Member	Absent	

**B. Approval of Previous Meeting Minutes**

Architectural Review Board - Architectural Review Board - May 20, 2025, 6:00 PM

<b>RESULT:</b>	<b>ACCEPTED [UNANIMOUS]</b>
<b>MOVER:</b>	Jeff Hopper, Chair
<b>SECONDER:</b>	Barbara Grayson, Board Member
<b>AYES:</b>	Jeff Hopper, Bill McLees, Barbara Grayson
<b>ABSENT:</b>	Naim Harrison, Hugh Cooper

**COA2025-009, COA2025-016, COA2025-18, COA2025-024:**

- Staff recommended that these four (4) cases be tabled until additional plans are provided.
- Motion made by: Jeff Hopper/Seconder: Barbara Grayson/Vote:3-0

**COA2025-021:**

- Staff requested that this case be tabled to July 15<sup>th</sup>, 2025, ARB meeting
- Motion made by: Barbara Grayson/Seconder: Bill McLees/Vote:3-0

**C. Unfinished Business**

1. **25-7330: COA2025-009 2301 Marshes Glenn Dr**

<b>RESULT:</b>	<b>TABLED INDEFINITELY [UNANIMOUS]</b>
<b>MOVER:</b>	Jeff Hopper, Chair
<b>SECONDER:</b>	Barbara Grayson, Board Member
<b>AYES:</b>	Jeff Hopper, Bill McLees, Barbara Grayson
<b>ABSENT:</b>	Naim Harrison, Hugh Cooper

**D. New Business**

1. **25-7366: COA2025-019 444 West Peachtree Street**

Discussion: The conversation focused on the proposed plaster/cinder block material and its aging properties over time. Rear elevation discussion was centered around the 2<sup>nd</sup> floor level and the need for windows and trim. ARB settled on the base of the building being plaster.

**Motion**

**A motion to approve application COA2025-019, additions to an existing place of worship  
With the following conditions:**

1. Exterior Siding to be painted brick.
2. Metal railing on front porch and right elevation to match dark trim.

Minutes Acceptance: Minutes of Jun 17, 2025 6:00 PM (Approval of Previous Meetings Minutes)

3. Front elevation to have plaster base.
4. Rear elevation: Faux windows to match upper-level side elevation windows in dimension and placement utilizing a herring bone pattern with trim.
5. Roof to be standing seam metal and match column paint color.
6. Items to be submitted for admin approval:
  - Column paint color
  - Front porch light fixture
  - Front porch doors
7. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
8. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
9. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

Note: The 3d model that was displayed on the phone should be part of the submittal documents.

<b>RESULT:</b>	<b>APPROVED WITH CONDITIONS [UNANIMOUS]</b>
<b>MOVER:</b>	Jeff Hopper, Chair
<b>SECONDER:</b>	Bill McLees, Board Member
<b>AYES:</b>	Jeff Hopper, Bill McLees, Barbara Grayson
<b>ABSENT:</b>	Naim Harrison, Hugh Cooper

2. 25-7367: **COA2025-023 2971 Queens Court**

Discussion: A brief discussion was had about the proposed porch's color and architectural elements.

Motion

A motion to approve application **COA2025-023**, Extension of an existing front porch with the following conditions:

1. Standing seam black metal roof.
2. Black metal railing.
3. Soffit material for front porch ceiling.
4. Front door submittal for administrative approval.
5. The applicant is reminded that this approval assumes general conformance with the

Minutes Acceptance: Minutes of Jun 17, 2025 6:00 PM (Approval of Previous Meetings Minutes)

adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.

- 6. Any changes from the Architectural Review Board-approved component shall require ARB approval at another public hearing.
- 7. An architectural inspection shall occur prior to the release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

<b>RESULT:</b>	<b>APPROVED WITH CONDITIONS [UNANIMOUS]</b>
<b>MOVER:</b>	Jeff Hopper, Chair
<b>SECONDER:</b>	Barbara Grayson, Board Member
<b>AYES:</b>	Jeff Hopper, Bill McLees, Barbara Grayson
<b>ABSENT:</b>	Naim Harrison, Hugh Cooper

**E. ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA**

**F. Adjourn**

Jeff Hopper motioned to adjourn the meeting, seconded by Barbara Grayson, the vote was unanimous 3-0. The meeting was closed at 7:00 PM.

Signed by \_\_\_\_\_ **Jeff Hopper, Chair**

Signed by \_\_\_\_\_ , **LeDarius Scott, Senior Planner**

Minutes Acceptance: Minutes of Jun 17, 2025 6:00 PM (Approval of Previous Meetings Minutes)



**Department of Community Development**

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TO: Architectural Review Board  
FROM: LeDarius Scott  
DATE: July 15, 2025  
SUBJECT: COA2025-020 421 Dogwood Circle  
CC:

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*Please review attached Staff Reports and supporting documents for submitted application.*

Consideration of a roof over an existing rear deck and a garage enclosure to create living space on the main floor.

[COA2025-020 Staff Report](#)

[COA2025-020 Application](#)



Meeting Date: 7/15/2025 at 6:00 PM

Petition Number: COA2025-020

Project Type:	Deck and Garage Enclosure
Property Location:	421 Dogwood Circle
Tax Parcel ID:	6273 012
Petitioner:	Bethany and JT Thoms
Petitioner's Request:	Consideration of a roof over an existing rear deck and a garage enclosure to create living space on the main floor

Vicinity Map:



Attachment: COA2025-020 Staff Report (25-7376 : COA2025-020 421 Dogwood Circle)

PROPERTY INFORMATION	
<b>Property Location</b>	421 Dogwood Circle
<b>Acreage:</b>	Approximately 0.67 Acres
<b>Existing Lot Dimensions:</b>	Lot frontage along Dogwood Circle: 144.94 feet Lot Depth: 200 feet
<b>Existing Building Dimensions:</b>	N/A
<b>Topography:</b>	High Point: 1062 Low Point: 1050
<b>Elevation:</b>	High Point: Eastside Low Point: Northwest corner
<b>Encumbrances:</b>	N/A

**Project Description**

The applicant seeks to add a roof over an existing rear deck and to enclose an existing garage into living space on the main floor. The proposed scope of work is taking place along the rear and right side of the existing home. The proposed roof will match the home's existing roof. On 6-26-2025 the applicant submitted updated plans showing a proposed exterior fireplace since the interior fireplace is now being removed. Those plans have been added to the end this analysis for further review.

**Site Plan and Floor Plan**

The site plan shows the existing conditions of the subject property which includes the existing single-family residence along with the existing rear deck. With the proposed modifications, the site would remain compliant with the R100 lot development standards, specifically building setbacks and the impervious coverage maximum.

The proposed floor plan shows the interior layout of the residence, which shows the conversion of the existing garage into a bedroom along with the addition of a roof over the existing deck/porch.

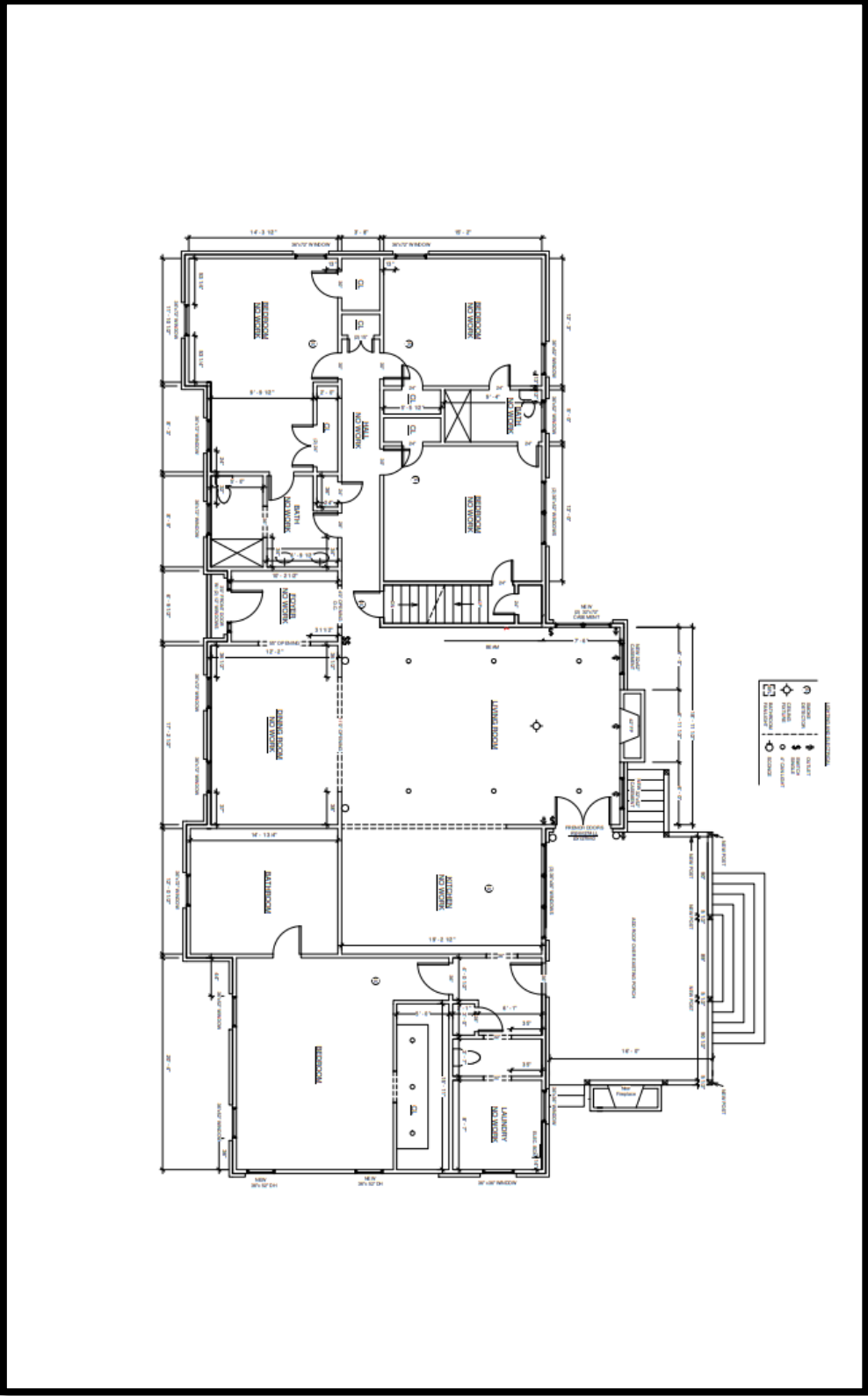
**Landscape Plan**

The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance if applicable.

Attachment: COA2025-020 Staff Report (25-7376 : COA2025-020 421 Dogwood Circle)



Proposed Floor Plan  
(Revised on 6-26 to show  
exterior fireplace)



Attachment: COA2025-020 Staff Report (25-7376 : COA2025-020 421 Dogwood Circle)

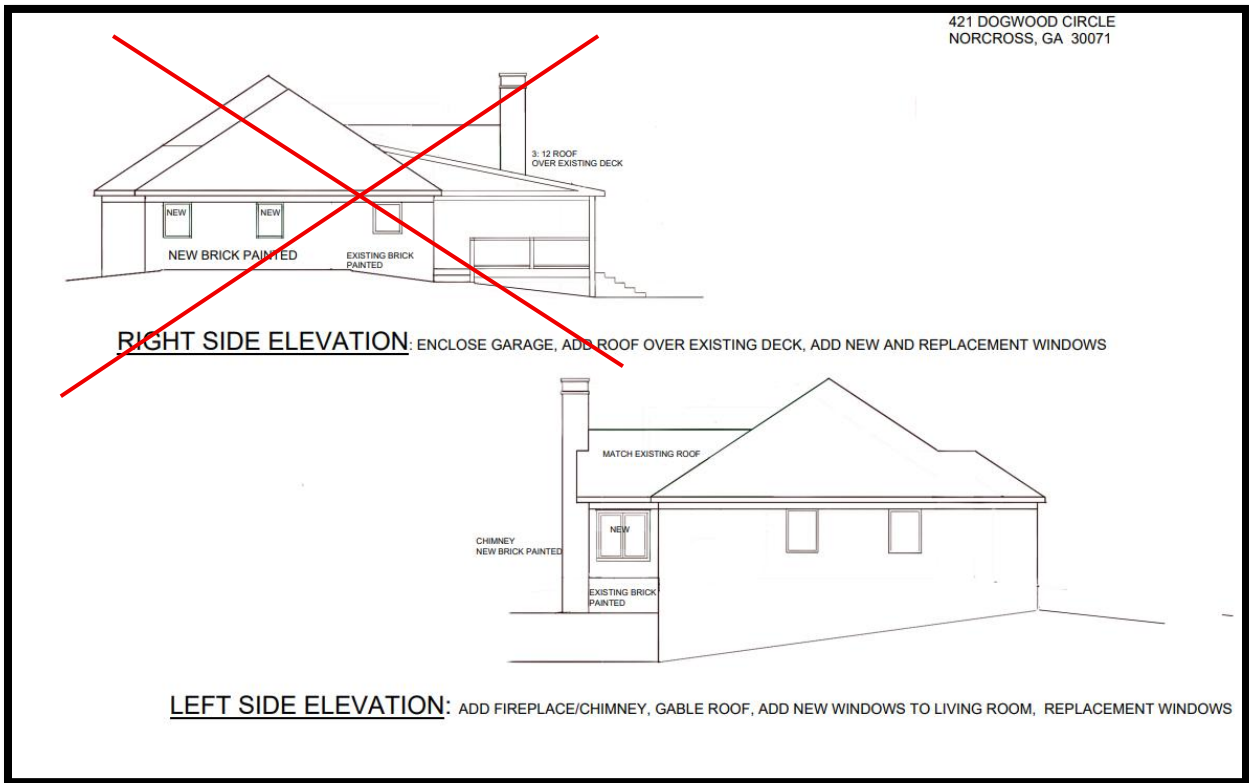
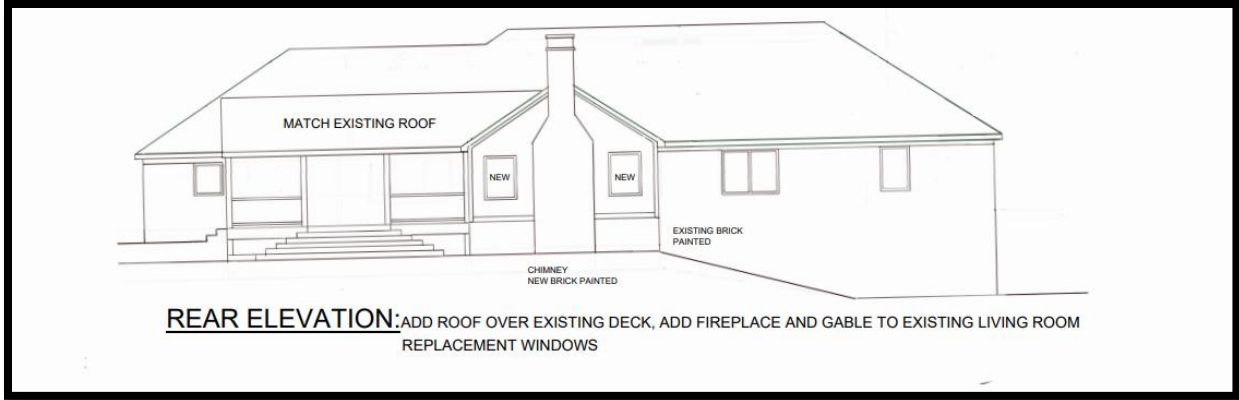
Existing Rear Conditions



Existing Right Side

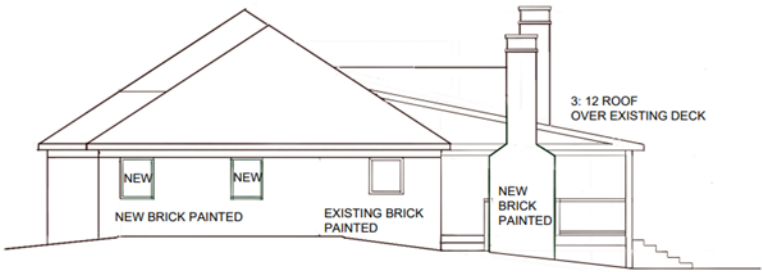
EXISTING RIGHT SIDE





Attachment: COA2025-020 Staff Report (25-7376 : COA2025-020 421 Dogwood Circle)

THOMS RESIDENCE  
421 DOGWOOD CIRCLE  
NORCROSS, GA 30071



Revised Right Side  
Elevation showing  
Fireplace

**RIGHT SIDE ELEVATION:** ENCLOSE GARAGE, ADD ROOF OVER EXISTING DECK, NEW EXTERIOR FIREPLACE,  
ADD NEW AND REPLACEMENT WINDOWS

Attachment: COA2025-020 Staff Report (25-7376 : COA2025-020 421 Dogwood Circle)



TWO EXTERIOR SCONCES ON EITHER SIDE OF SIDE DOOR FROM LIVING ROOM TO PORCH

Capital Lighting Bradford 20 3/4" Black 2-Light Outdoor Wall Light



Soft Chamois  
OC-13

COLOR OF BRICK, SIDING AND TRIM  
BENJAMIN MOORE



Gull Gray\*  
007

COLOR OF WINDOWS  
SIERRA PACIFIC CLAD



MATCH EXISTING ROOF

EXISTING FRONT DOOR COLOR TO REMAIN  
SHERWIN WILLIAMS ROSEMARY 6187



## Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	BM SOFT CHAMOIS OC 13	existing brick and trim already painted
Primary Façade:	WINDOWS: GULL GRAY	windows
Primary Façade: Third		
Left Side:	BM SOFT CHAMOIS OC 13	existing brick already painted
Left Side: Second		
Left Side: Third		
Left Side:	WINDOWS: GULL GRAY	windows
Right Side:	BM SOFT CHAMOIS OC 13	existing brick already painted
Right Side: Second		
Right Side:	BM SOFT CHAMOIS OC 13	New brick to match existing will be painted to match
Right Side:	TRIM:BM SOFT CHAMOIS OC 13 WINDOWS: GULL GRAY	windows and trim
Rear: First	BM SOFT CHAMOIS OC 13 3 WINDOWS: GULL GRAY	existing brick and trim already painted windows and trim
Rear: Second		
Rear: Third		
Rear: Basemnt	BM SOFT CHAMOIS OC 13	existing brick already painted

REVISED JAN 2025

3

Attachment: COA2025-020 Staff Report (25-7376 : COA2025-020 421 Dogwood Circle)



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COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	BM SOFT CHAMOIS OC 13	EXISTING BRICK
Garage Doors		
Trim	BM SOFT CHAMOIS OC 13	FIBER CEMENT BOARD, WOOD AND PVC EXISTING
Mortar	BM SOFT CHAMOIS OC 13	
Gutters	BRONZE	EXISTING
Corner Board		
Railings	BM SOFT CHAMOIS OC 13	
Windows	WINDOWS: GULL GRAY	ALUMINIUM CLAD
Window Sills	WINDOWS: GULL GRAY	ALUMINIUM CLAD
Window Muntin/Mulli	WINDOWS: GULL GRAY	ALUMINIUM CLAD
Columns		
Other Architectural Features		
Other Architectural		

REVISED JAN 2025

4

Attachment: COA2025-020 Staff Report (25-7376 : COA2025-020 421 Dogwood Circle)

**Applicable Building Standards:**

N/A

**Recommendations**

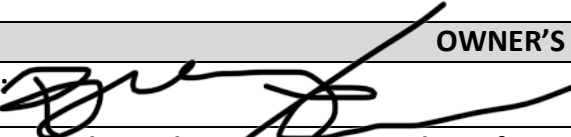
Should the ARB decide to grant approval, Staff recommends the following conditions:

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
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JOB LOCATION			
Job Site Address: 421 DOGWOOD CIRCLE	Lot # 1 BLOCK G LAND LOT 276 6TH DISTRICT	Tax Parcel ID: R6273 012	
LANDOWNER OF RECORD			
<b>If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.</b>			
Name: BETHANY AND JT THOMS	Phone: 678-755-1673 & 706-247-5203		
Address: 421 DOGWOOD CIRCLE	City: NORCROSS	State: GA	Zip Code: 30071
APPLICANT			
Applicant Name: BETHANY AND JT THOMS	Phone: 678-755-1673		
Company Name:	Email: bethanythoms@gmail.com contactjtthoms@gmail.com		
Address: 421 DOGWOOD CIRCLE	City: NORCROSS	State: GA	Zip Code: 30071
DESCRIPTION OF PROJECT			
<b>Project Type</b> <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:			
ADDITION OF ROOF OVER EXISTING REAR DECK ENCLOSE GARAGE TO CREATE LIVING SPACE ON THE MAIN FLOOR			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please list the board and reference number: _____			
OWNER'S SIGNATURE			
Signature: 	Date: 5/23/25		
<b>NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <a href="https://eplansolution.com/norcrossga">https://eplansolution.com/norcrossga</a> Hard copies of application materials will not be accepted.</b>			

Attachment: COA2025-020 Application (25-7376 : COA2025-020 421 Dogwood Circle)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width: 35 feet	Length: 86 feet	Height:* from grade front door 20'
Area Dimensions:		
First Floor: 2498 sf	Second Floor: unfinished	Third Floor:
Basement**: 1249 sf	Front Porch:	Rear Porch:
Patio:	Garage: 576 sf	
Primary Roof System: (Circle One)		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch: 8:12		
Secondary Roof Pitch: 8:12		
Additional Roof Pitch: 3:12		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: COA2025-020 Application (25-7376 : COA2025-020 421 Dogwood Circle)



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Columns		
Other Architectural Features		
Other Architectural		

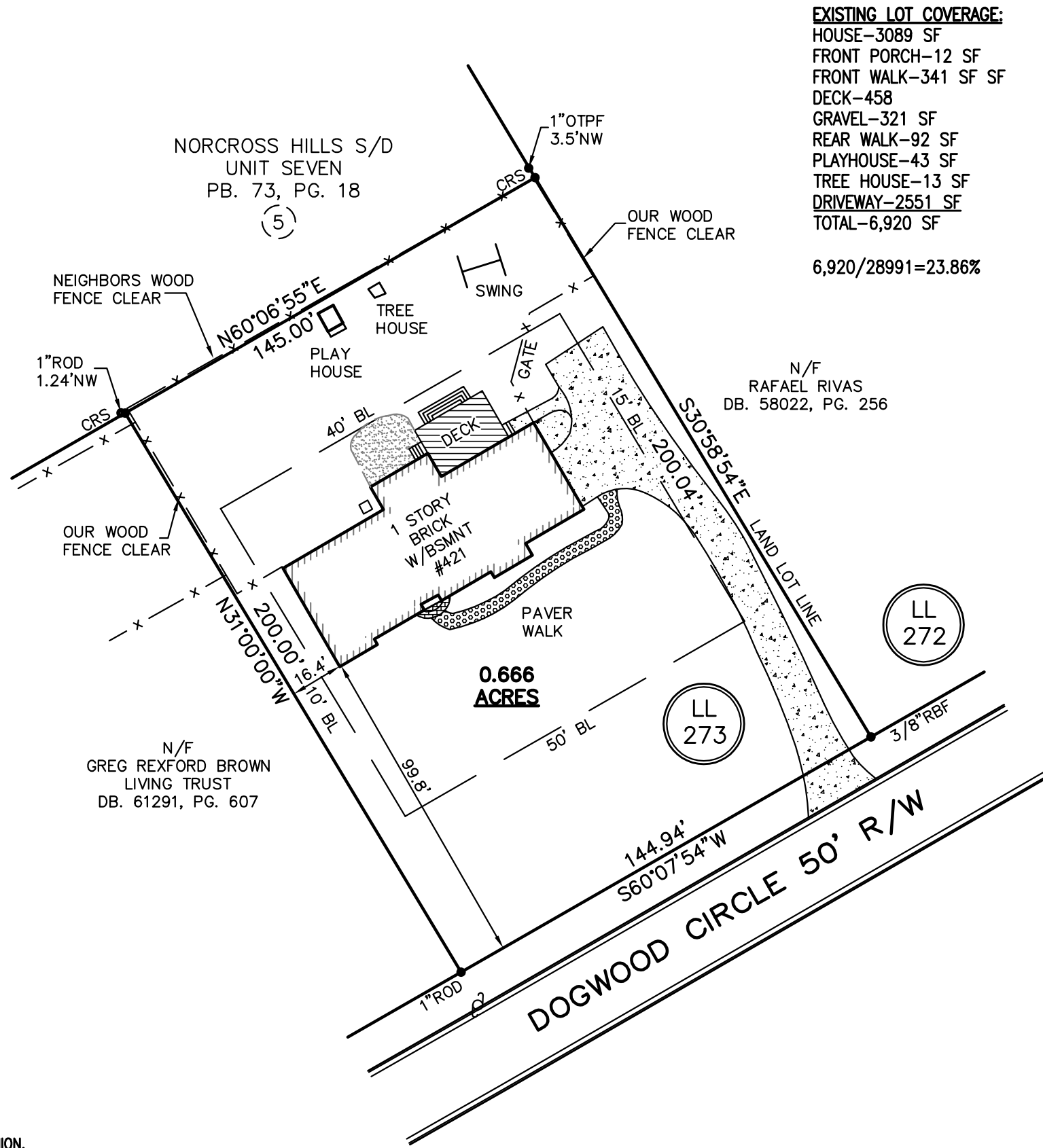
Attachment: COA2025-020 Application (25-7376 : COA2025-020 421 Dogwood Circle)

**LEGEND**

- RBF REBAR FOUND (1/2" REBAR)
- CRS CAPPED REBAR SET (1/2" REBAR)
- CRBF CAPPED REBAR FOUND
- OTF OPEN TOP FOUND
- CTF CRIMP TOP FOUND
- ☆ LIGHT POLE
- BL BUILDING LINE
- C.L.F CHAIN LINK FENCE
- R/W RIGHT-OF-WAY
- TPED PHONE PEDASTAL
- CATV CABLE BOX
- WM WATER METER
- PB TRANSFORMER
- U/E UTILITY EASEMENT
- (12.34'D) DEED DISTANCE
- 12.34'(M) MEASURED DISTANCE
- DE DRAINAGE EASEMENT
- SSE SEWER EASEMENT
- HW HEADWALL
- JB JUNCTION BOX
- CB CATCH BASIN
- YI YARD INLET
- P PORCH
- PI PEDASTAL INLET



NOTE: THE PUBLIC RECORDS REFERENCED HEREON REFLECT ONLY THOSE RECORDS NECESSARY TO ESTABLISH THE BOUNDARIES SHOWN HEREON, AND REFERENCE TO THE SAME DOES NOT AND IS NOT INTENDED TO CONSTITUTE A TITLE SEARCH OR OPINION. EASEMENTS OR OTHER ENCUMBRANCES MAY EXIST ON PUBLIC RECORD BUT NOT BE SHOWN HEREON.



**EXISTING LOT COVERAGE:**  
 HOUSE-3089 SF  
 FRONT PORCH-12 SF  
 FRONT WALK-341 SF SF  
 DECK-458  
 GRAVEL-321 SF  
 REAR WALK-92 SF  
 PLAYHOUSE-43 SF  
 TREE HOUSE-13 SF  
 DRIVEWAY-2551 SF  
 TOTAL-6,920 SF

6,920/28991=23.86%

**GENERAL NOTES**

THIS PLAT HAS BEEN CALCULATED FOR CLOSURE BY LATITUDES AND DEPARTURES AND IS FOUND ACCURATE TO WITHIN ONE FOOT IN 214,276 FEET.

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 10,000± FEET AND AN ANGULAR ERROR OF 02" PER ANGLE POINT AND WAS ADJUSTED USING COMPASS RULE.

A NIKON - TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.

FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE OR STRUCTURE.

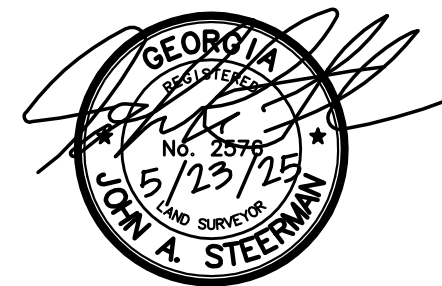
CERTIFICATION IS MADE TO PERSON(S) NAMED ON THIS PLAT AND IS NOT TRANSFERABLE TO OTHERS.

UTILITIES SHOWN ARE LOCATIONS OF GROUND IDENTIFIABLE ITEMS. ADDITIONAL UTILITES MAY EXIST ABOVE OR BELOW GROUND. THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR THE COMPLETENESS OF THIS DATA.

THIS PROPERTY IS SUBJECT TO ALL RIGHT OF WAYS AND EASEMENTS SHOWN OR NOT SHOWN, RECORDED OR UNRECORDED

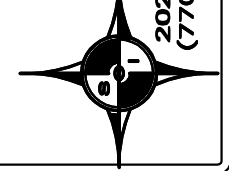
**FLOOD NOTE:**

BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE WITHIN A FEMA/FIRM SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 13135C0082G DATED 3/4/13



IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW.

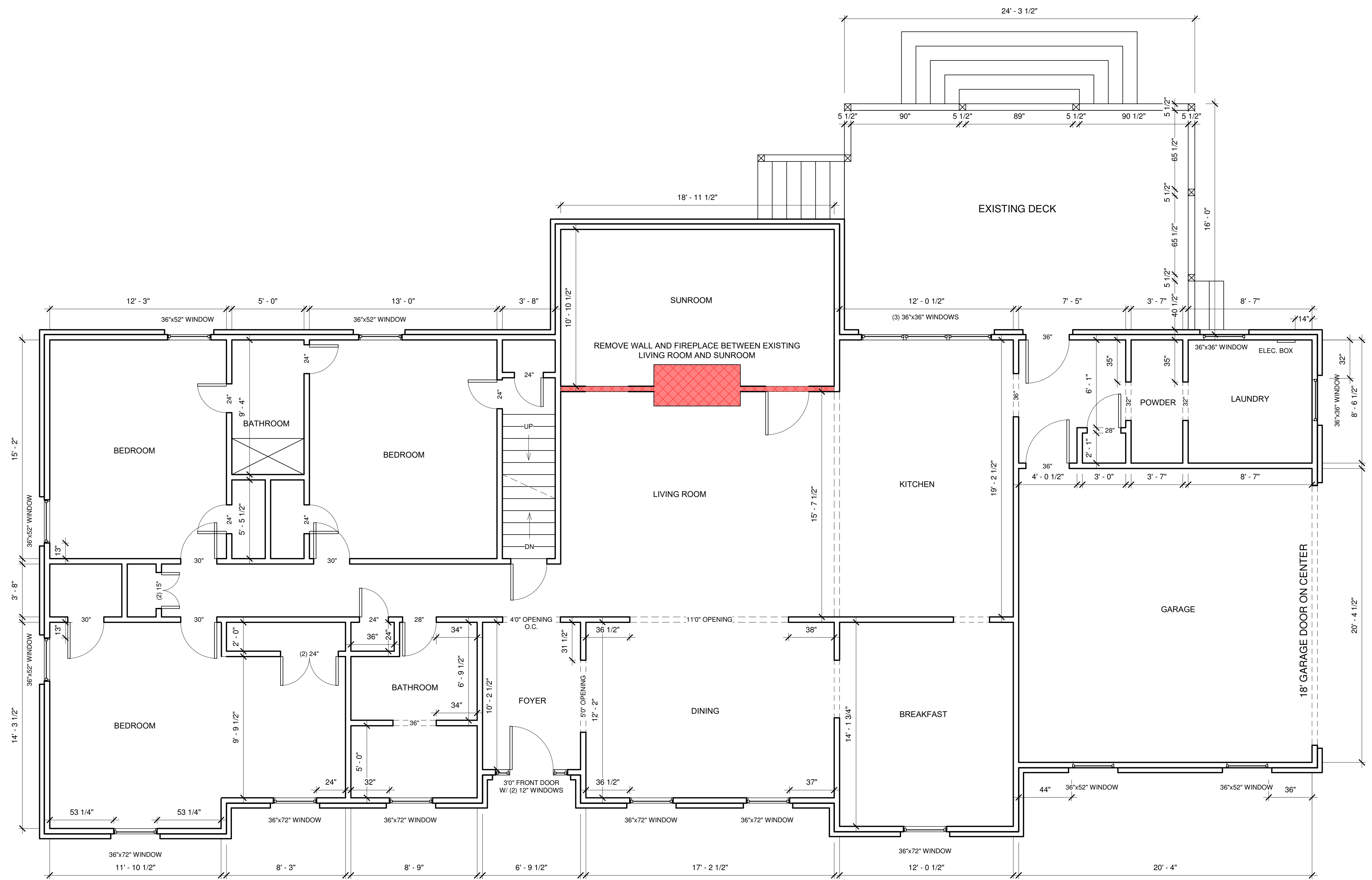
**SCI Development Services**



ENGINEERS - SURVEYORS - LAND PLANNERS  
 2020 WESTSIDE COURT-STE E-SNELLVILLE GEORGIA 30078  
 (770) 736-7666 FAX (770) 736-4623  
 MAIL@SURVEYCONCEPTS.NET

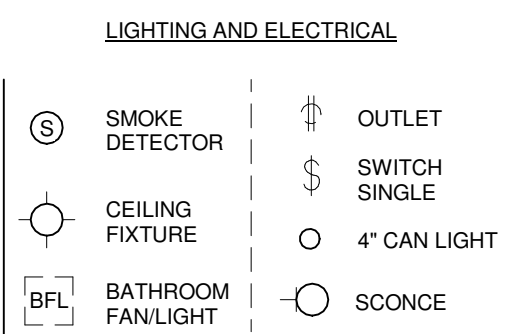
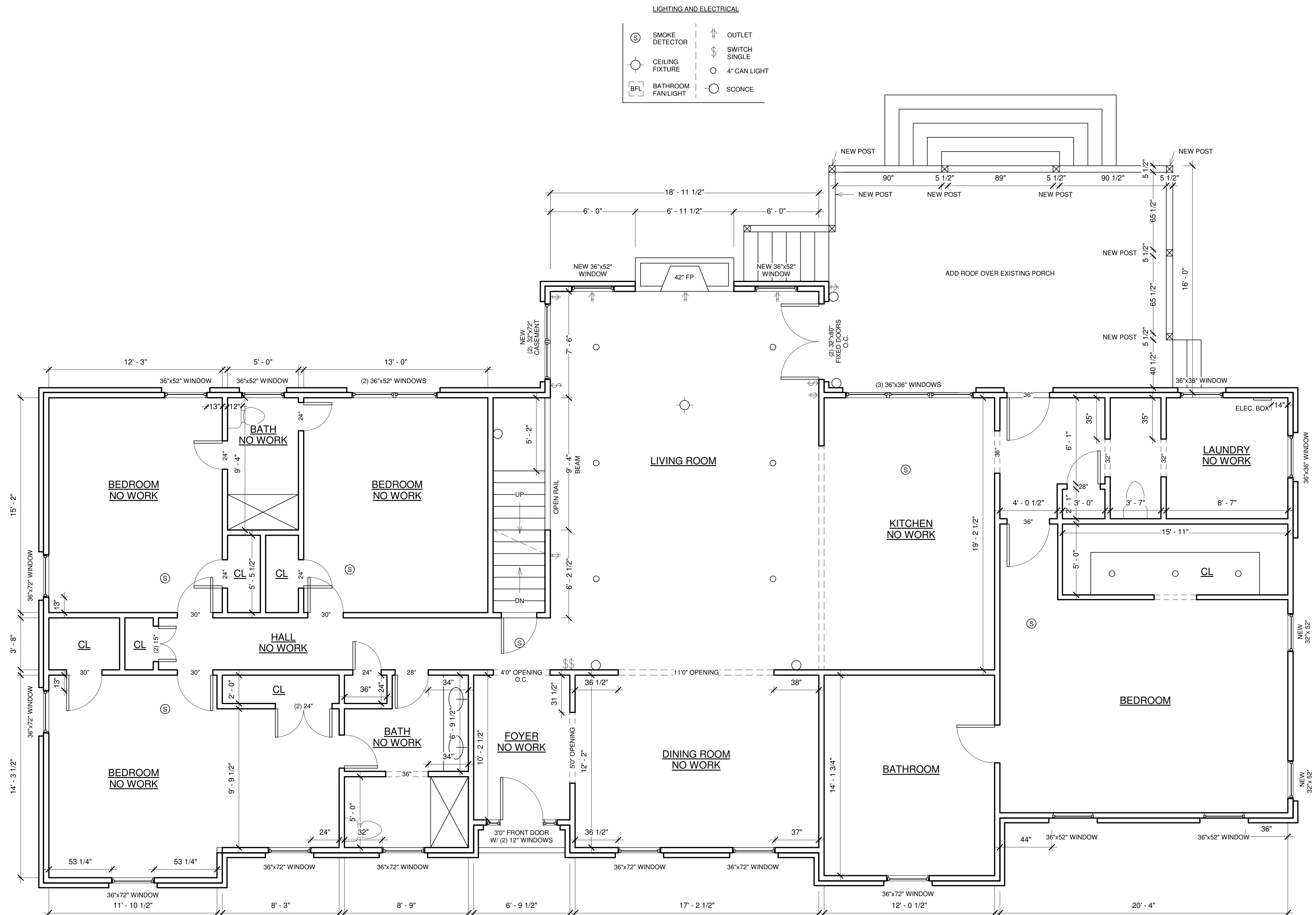
PROJECT: 56699  
 DWG BY: DCP  
 CHKD BY: JAS  
 DATE: 5/20/25  
 SCALE: 1"=40'

SURVEY FOR:  
**BETHANY THOMS & JONATHAN THOMS**  
 LOT 1 BLOCK "G"  
 SUBDIVISION: NORCROSS HILLS  
 LAND LOT 276 6th DISTRICT  
 CITY OF NORCROSS  
 GWINNETT COUNTY, GEORGIA  
 REFERENCED IN DEED BOOK 55879, PAGE 555



Attachment: COA-2025-020 Application (25-7376 - COA2025-020 421 Dogwood Circle)

THESE DRAWINGS AND ANY INFORMATION CONTAINED HEREIN ARE PREPARED AS A SERVICE TO THE CLIENT AND ARE NOT TO BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE PROJECT. VERIFY ALL DIMENSIONS PRIOR TO AND DURING CONSTRUCTION.



Attachment: COA 2025-020 Application (25-7376 - COA2025-020 421 Dogwood Circle)

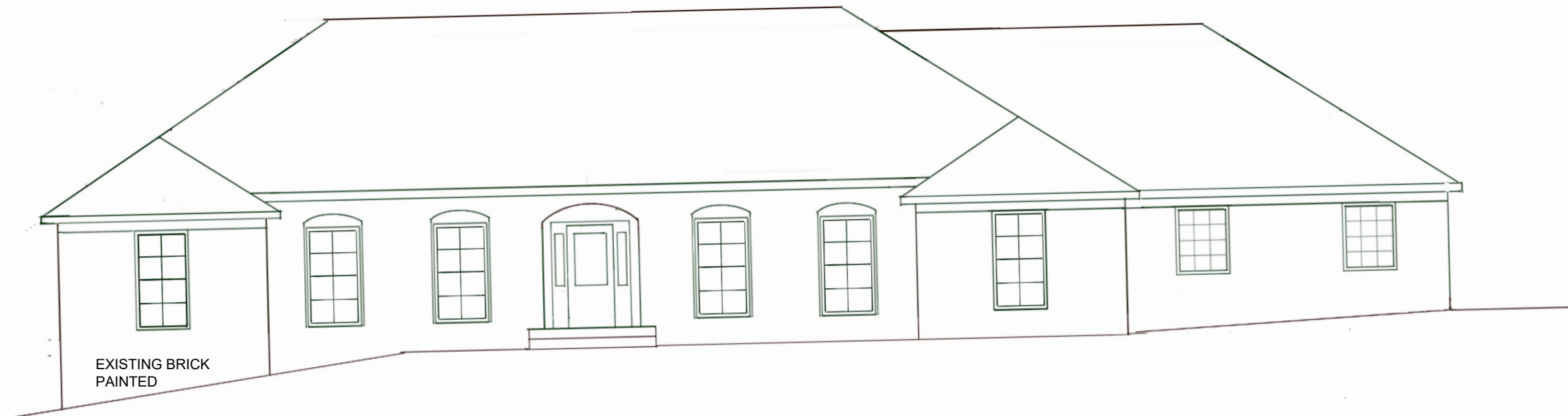
THESE DRAWINGS AND SPECIFICATIONS ARE PREPARED AS A PROFESSIONAL SERVICE BY THOMS ARCHITECT. THE CLIENT HAS REVIEWED AND APPROVED THESE DRAWINGS AND SPECIFICATIONS. THE CLIENT HAS AGREED TO HOLD THOMS ARCHITECT HARMLESS FROM ALL LIABILITY OF THIS PROJECT. VERIFY ALL THE DIMENSIONS OF THE PROJECT. VERIFY ALL THE DIMENSIONS OF THE PROJECT.

RENOVATION / ADDITION  
**THOMS ARCHITECT**  
 421 DOGWOOD CIRCLE  
 CANTON, GA 30109  
 (770) 475-1111  
 www.thomsarchitect.com

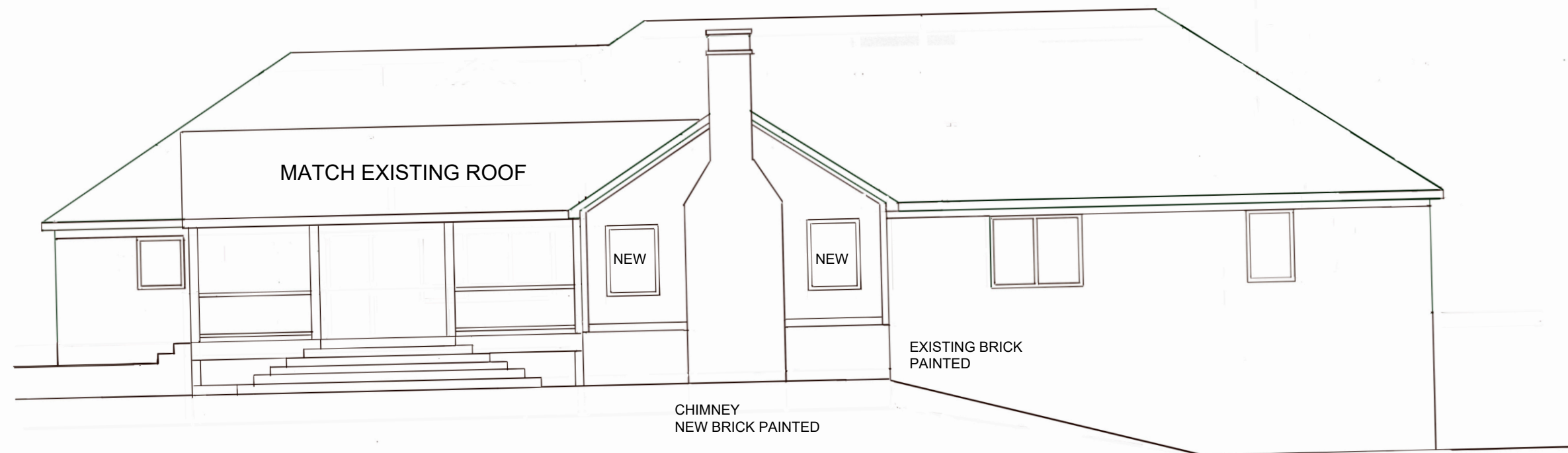
**PROPOSED FIRST FLOOR PLANS W/ ELECTRICAL NOTES**

VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO AND DURING CONSTRUCTION 1/4" = 1'0"

NOT RELEASED FOR CONSTRUCTION

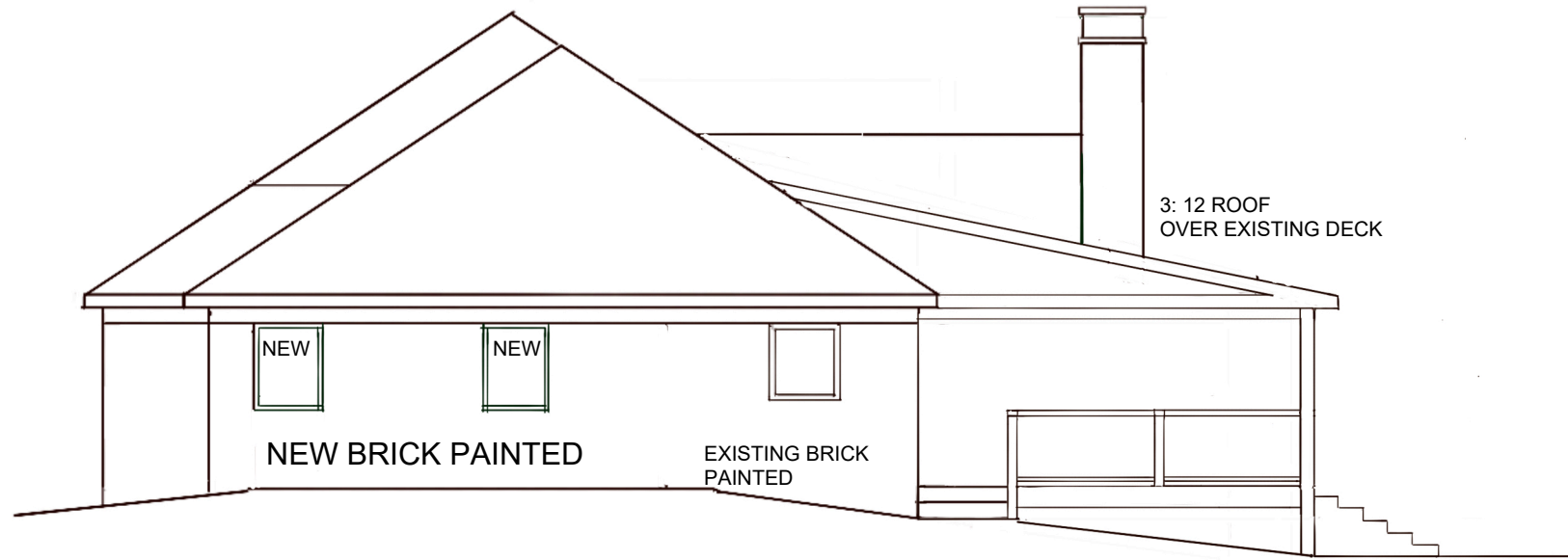


**FRONT ELEVATION:** REPLACEMENT WINDOWS

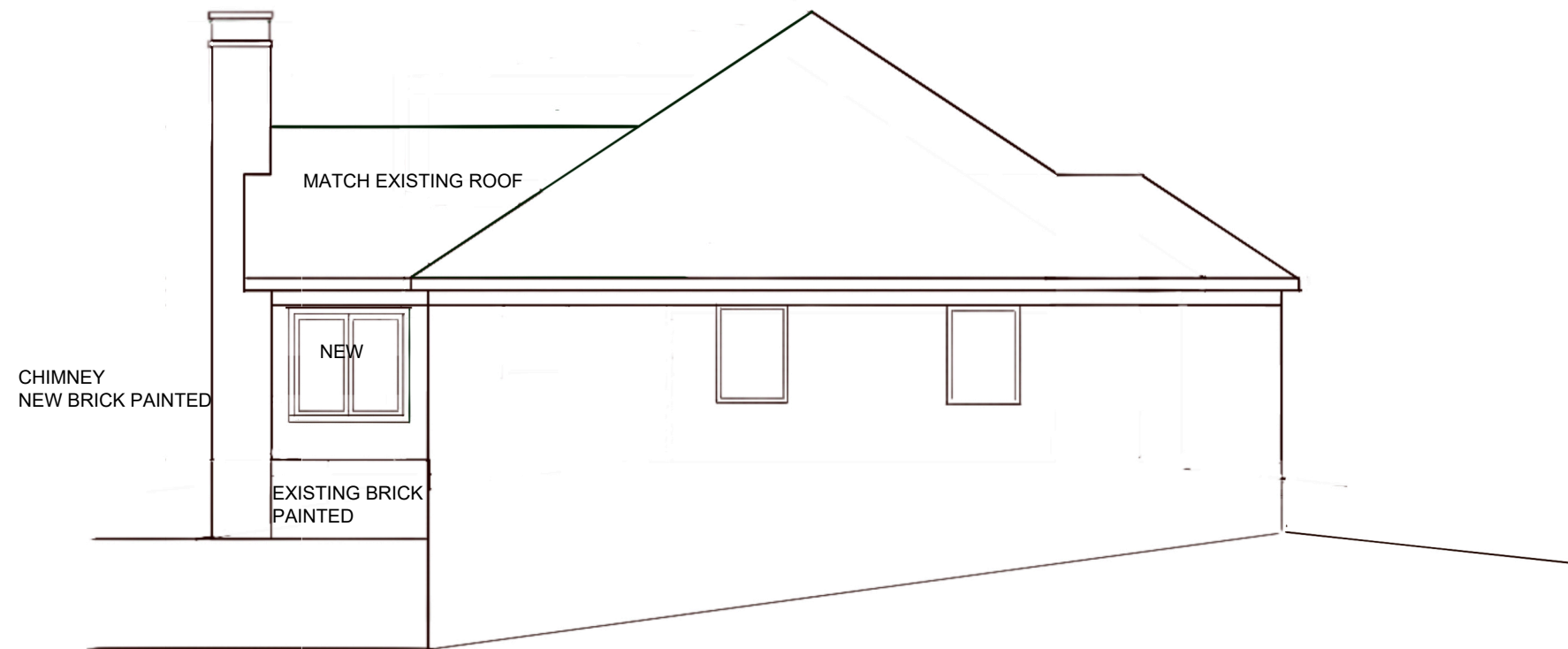


**REAR ELEVATION:** ADD ROOF OVER EXISTING DECK, ADD FIREPLACE AND GABLE TO EXISTING LIVING ROOM  
REPLACEMENT WINDOWS

THOMS RESIDENCE  
421 DOGWOOD CIRCLE  
NORCROSS, GA 30071



**RIGHT SIDE ELEVATION:** ENCLOSE GARAGE, ADD ROOF OVER EXISTING DECK, ADD NEW AND REPLACEMENT WINDOWS



**LEFT SIDE ELEVATION:** ADD FIREPLACE/CHIMNEY, GABLE ROOF, ADD NEW WINDOWS TO LIVING ROOM, REPLACEMENT WINDOWS

Attachment: COA2025-020 Application (25-7376 : COA2025-020 421 Dogwood Circle)



TWO EXTERIOR SCONCES ON EITHER SIDE OF SIDE DOOR FROM LIVING ROOM TO PORCH

Capital Lighting Bradford 20 3/4" Black 2-Light Outdoor Wall Light



COLOR OF BRICK, SIDING AND TRIM BENJAMIN MOORE



COLOR OF WINDOWS SIERRA PACIFIC CLAD



MATCH EXISTING ROOF

EXISTING FRONT DOOR COLOR TO REMAIN SHERWIN WILLIAMS ROSEMARY 6187



**Department of Community Development**

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TO: Architectural Review Board  
FROM: LeDarius Scott  
DATE: July 15, 2025  
SUBJECT: Coa2025-021 5265 Wexford Lane  
CC:

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*Please review attached Staff Reports and supporting documents for submitted application.*

Construction of a residential duplex.

[COA2025-021 Staff Report](#)

[COA2025-021 Application](#)



Meeting Date: 07/15/2025 at 6:00 PM

Petition Number: COA2025-021

Project Type:	Construction of a residential duplex
Property Location:	5265 Wexford Lane
Tax Parcel ID:	6226 360
Petitioner:	John Yost
Petitioner's Request:	Construction of a residential duplex

Vicinity Map:



Attachment: COA2025-021 Staff Report (25-7377 : COA2025-021 5265 Wexford Lane)

PROPERTY INFORMATION	
<b>Property Location</b>	5265 Wexford Lane
<b>Acreage:</b>	0.39 acres
<b>Existing Lot Dimensions:</b>	Lot frontage along Wexford Lane: Approximately 130 feet Lot Depth: 150 feet
<b>Existing Building Dimensions:</b>	N/A
<b>Topography:</b>	High Point: 994 Low Point: 978
<b>Elevation:</b>	High Point: Northwest side Low Point: Southern side
<b>Encumbrances:</b>	N/A

**Project Description**

The applicant seeks to rebuild on an existing foundation a one (1) story residential duplex that was destroyed by a fire. The proposed duplex will be larger than the previous structure. There will be the addition of two (2) bedrooms to the rear, one for each residence. Architectural treatment will also differ on the rebuild than the original structure.

**Site Plan and Floor Plan**

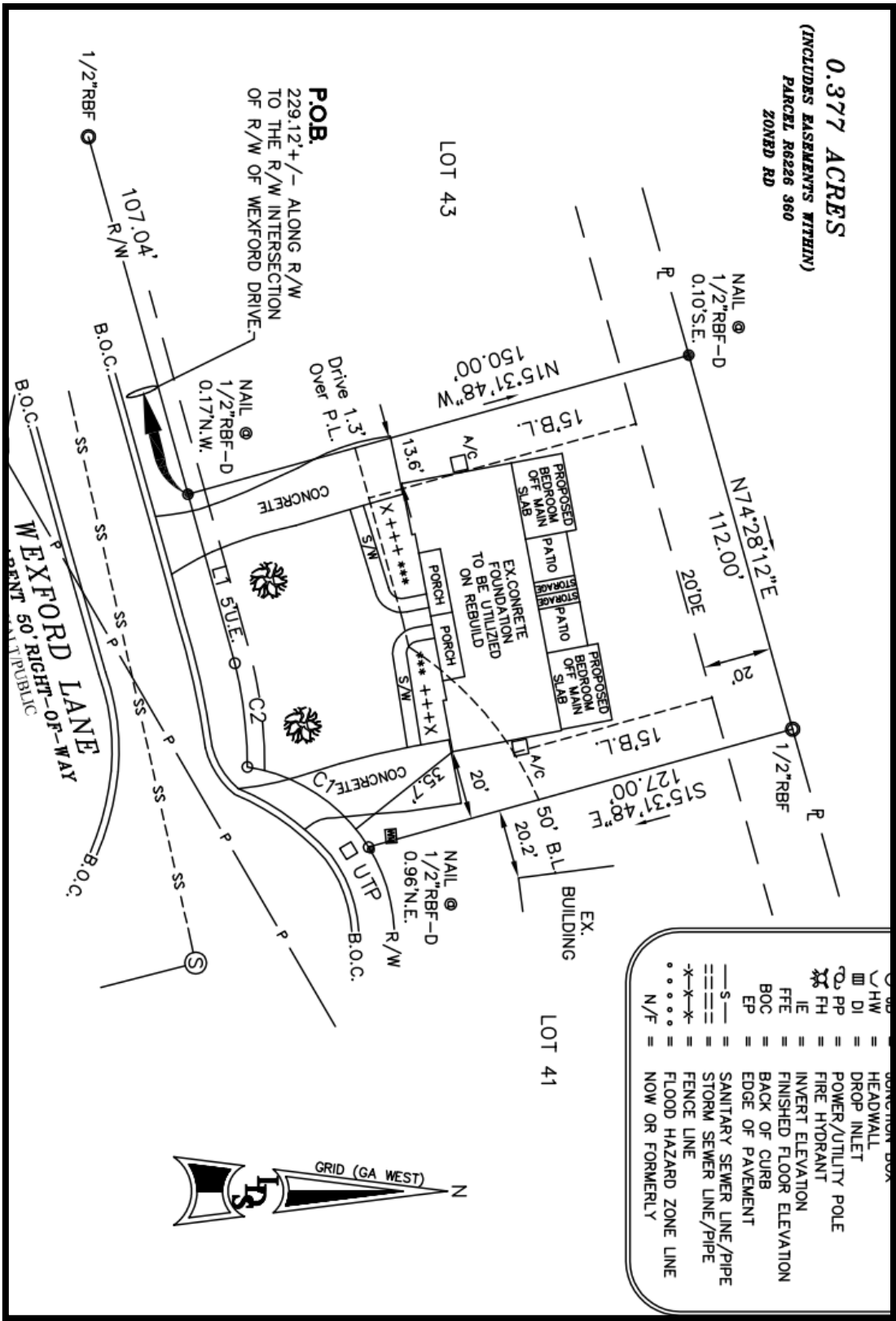
The applicant’s site plan shows the proposed residential duplex, which is to be rebuilt on the existing concrete foundation. The duplex encroaches upon the side setback adjacent to the western property line by 1’6”. The applicant is in the process of applying for an administrative variance (AV2025-004) to address that setback encroachment. All other building setbacks and lot development standards prescribed for the residential duplex (RD) zoning district appear to be compliant. The proposed floor plan shows both residences having three (3) bedrooms, a front porch and rear patio.

**Landscape Plan**

The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance, if applicable.

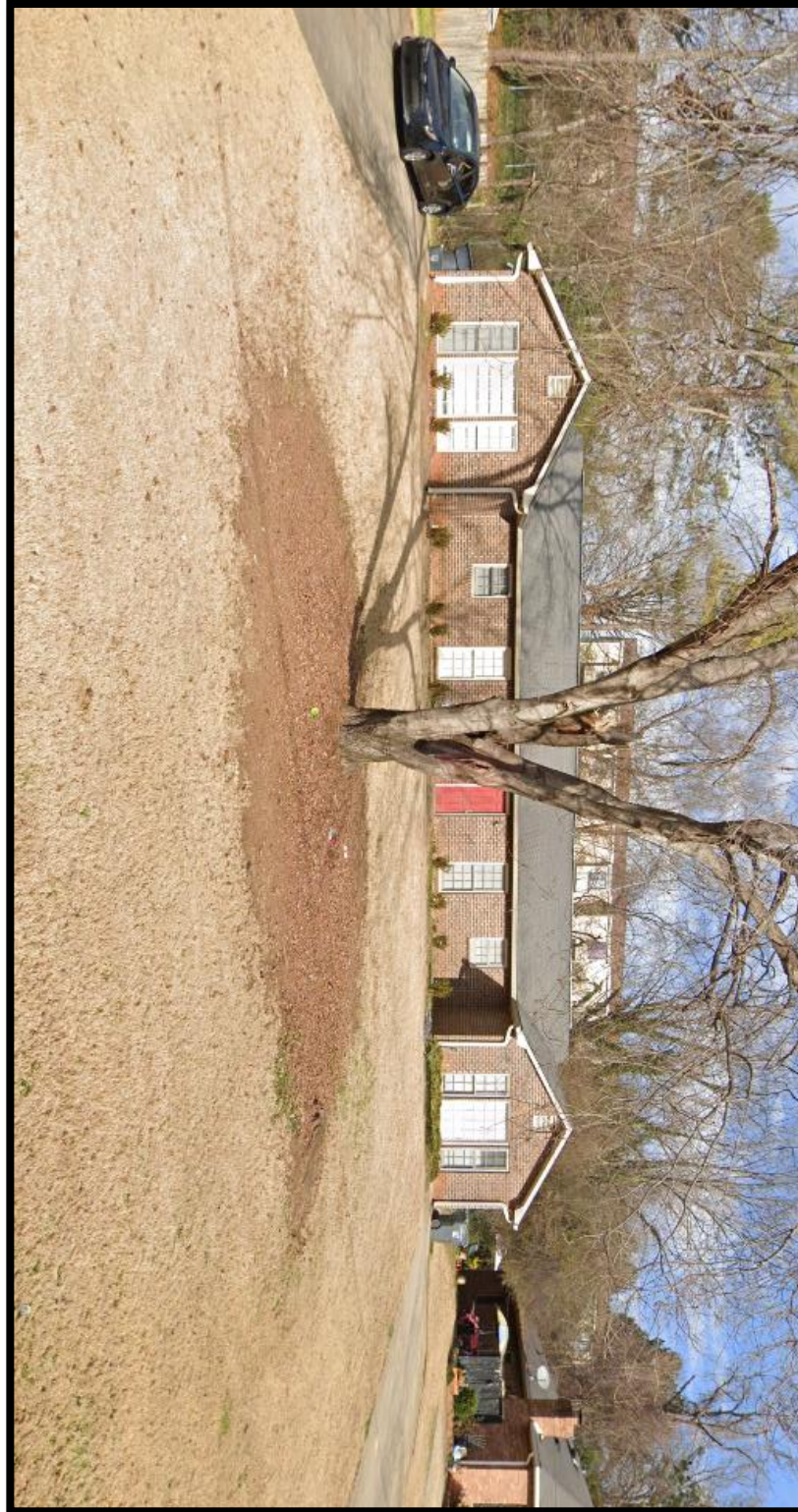
Attachment: COA2025-021 Staff Report (25-7377 : COA2025-021 5265 Wexford Lane)

Proposed Site Plan



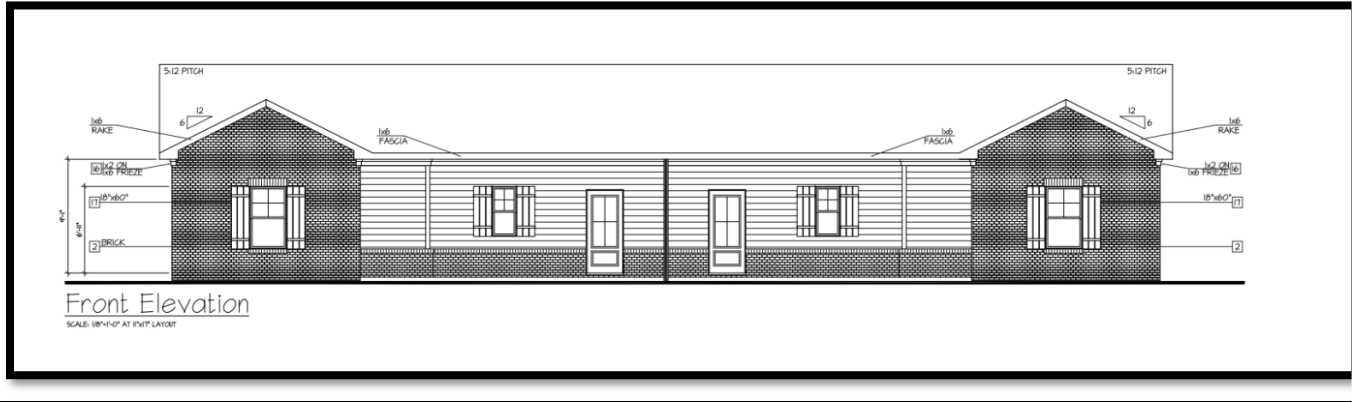
Attachment: COA2025-021 Staff Report (25-7377 : COA2025-021 5265 Wexford Lane)

**Conditions Prior to Fire:**



Attachment: COA2025-021 Staff Report (25-7377 : COA2025-021 5265 Wexford Lane)

**Proposed Front Elevation:**



**Description of Front Elevation:** The front elevation (primary façade) materials consist of brick and concrete siding. Acme Brick-Hudson Creek is the style of brick being used and the color of the siding will be SW7032 (Warm Stone). Front Door colors and shutters will be SW2856 (Fairfax Brown). Corner boards and trim will be made of wood and their color will be SW7004 (Snowbound). The windows and their features will have the SW7004 (Snowbound) color. The roof will be weathered wood.

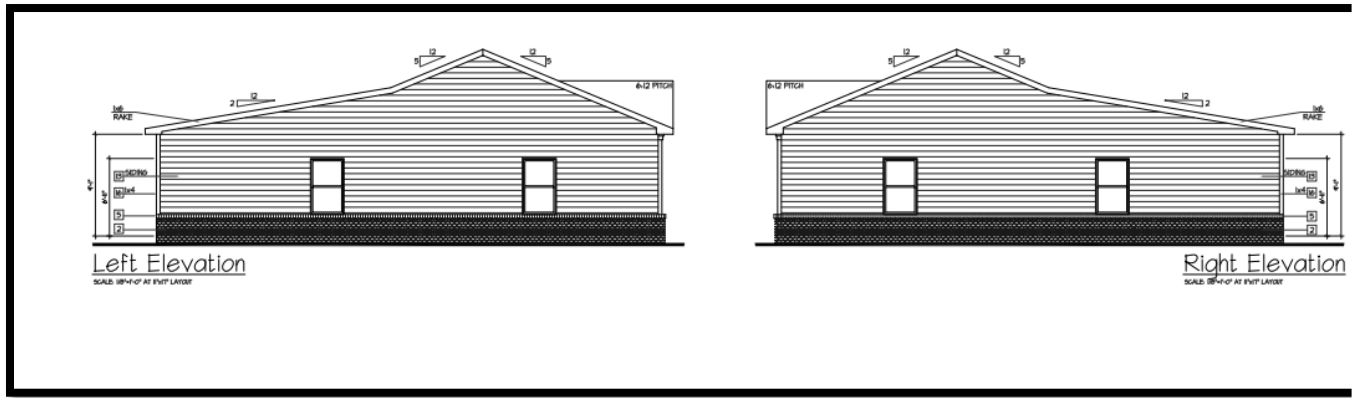
Attachment: COA2025-021 Staff Report (25-7377 : COA2025-021 5265 Wexford Lane)

**Proposed Rear Elevation:**



**Description of rear elevation:** The rear elevation material will consist of concrete siding with a Warm Stone (SW7032) color. The rear elevation shows a fenestration of windows and doors. The windows and their features will have the SW7004 (Snowbound) color. The storage closet off the patio will serve as a privacy divider between the units. The A/C units will be located on each side and shielded by shrubbery.

**Proposed Left and Right Elevation**

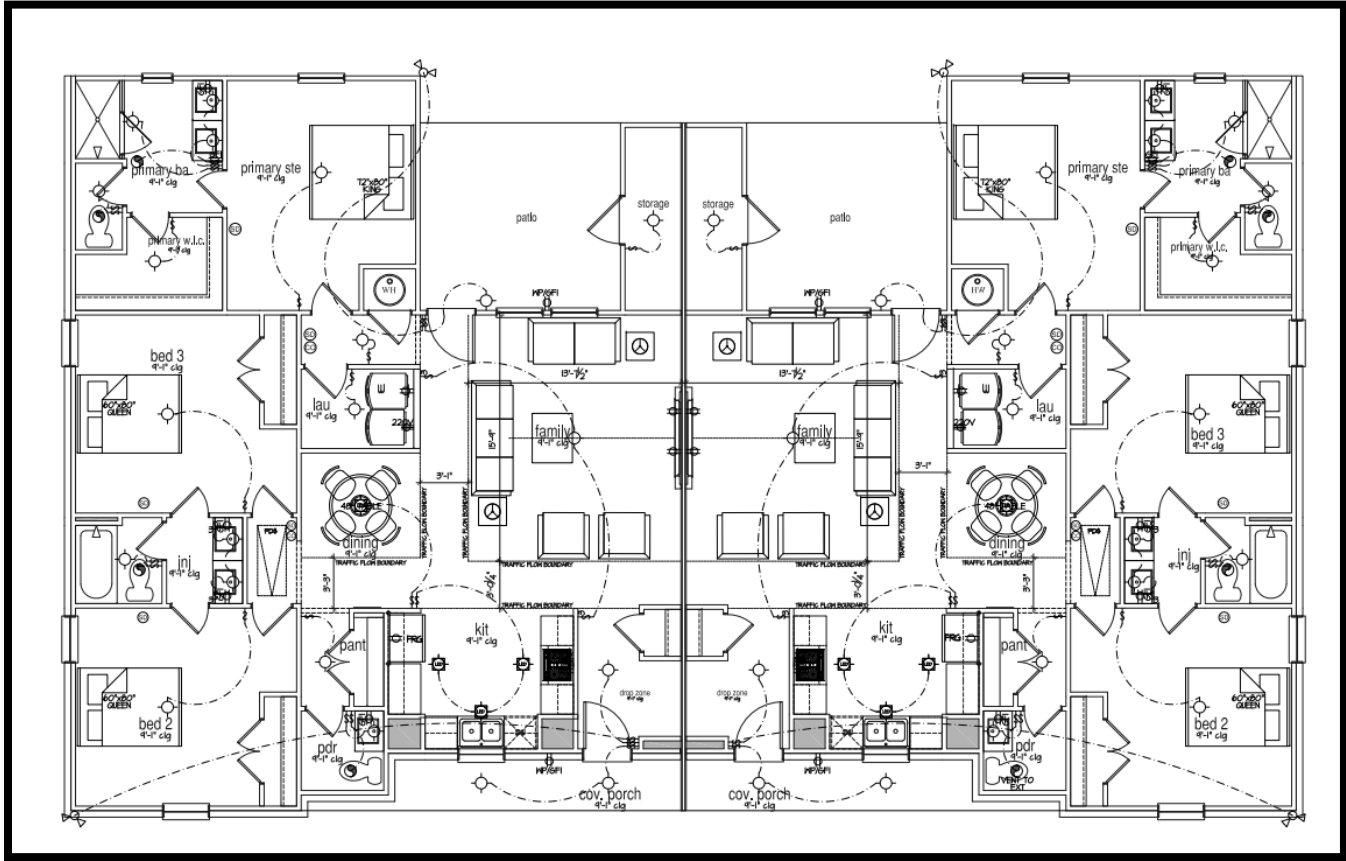


**Description of Right and Left Elevation:** Both left and right elevations show a brick water table, two (2) windows, and concrete siding. The windows and their features will have the SW7004 (Snowbound) color.

**Discussion Items for Right and Left Elevation:** N/A

Attachment: COA2025-021 Staff Report (25-7377 : COA2025-021 5265 Wexford Lane)

Proposed Floor Plan



**Applicable Building Standards:**

- 3.5.3.1 All residential construction shall include a combination of architectural treatments, such as brick or stone masonry, stucco, wood, or other durable materials. If masonry materials are used a minimum of (3) three facades must use masonry material.
- 3.5.3.2 The reveal (exposed portion) of siding will be a minimum of four inches and shall not exceed six (6) inches.
- 3.5.3.3 Corner boards should have the same width and depth as the siding reveal, and are not permitted to be greater than two inches of the siding reveal, or less than one inch of the siding reveal.



## Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Acme Brick - Hudson Creek / Sherwin Williams - Warm Stone	Brick and Concrete Siding
Primary Façade:	n/a	n/a
Primary Façade: Third	n/a	n/a
Left Side:	Acme Brick - Hudson Creek / Sherwin Williams - Warm Stone	Brick and Concrete Siding
Left Side: Second	n/a	n/a
Left Side: Third	n/a	n/a
Left Side:	n/a	n/a
Right Side:	Acme Brick - Hudson Creek / Sherwin Williams - Warm Stone	Brick and Concrete Siding
Right Side: Second	n/a	n/a
Right Side:	n/a	n/a
Right Side:	n/a	n/a
Rear: First	SW - Warm Stone	Concrete Siding
Rear: Second	n/a	n/a
Rear: Third	n/a	n/a
Rear: Basemnt	n/a	n/a

REVISED JAN 2024

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Attachment: COA2025-021 Staff Report (25-7377 : COA2025-021 5265 Wexford Lane)



## Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

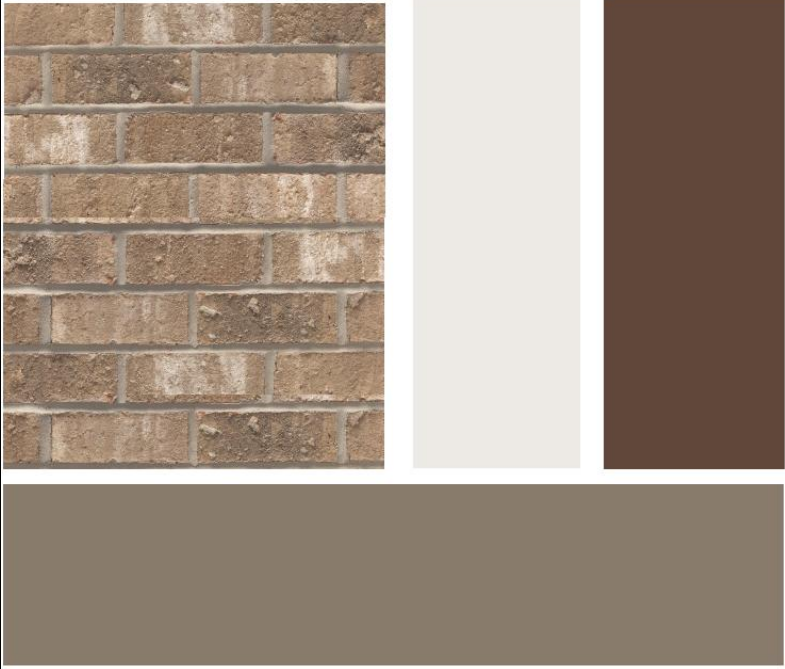
COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Acme Brick - Hudson Creek	Brick
Garage Doors		
Trim	Sherwin Williams - Snowbound	Wood
Mortar	Coosa - Antique Buff	Mortar
Gutters	Dark Bronze	Aluminum
Corner Board	Sherwin Williams - Snowbound	Wood
Railings		
Windows	Sherwin Williams - Snow	Vinyl
Window Sills	<i>Sherwin Williams - Snowbound</i>	Wood
Window Muntin/Mulli	Sherwin Williams - Snow	Vinyl
Columns		
Other Architectural Features	<del>Shutters - Sherwin Willia</del> <i>Front Door - Sherwin Williams - Fairfax Brown</i>	Metal
Other Architectural	Shutters - Sherwin Willia <i>Fairfax Brown</i>	Vinyl

REVISED JAN 2024

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Attachment: COA2025-021 Staff Report (25-7377 : COA2025-021 5265 Wexford Lane)

**EXTERIOR SELECTIONS**



Acme Brick: Hudson Creek  
Mortar: Coosa Antique Buff  
Siding: SW7032 Warm Stone  
Trim: SW7004 Snowbound  
Front Door: SW2856 Fairfax Brown  
Shutters: SW2856 Fairfax Brown

Front door, porch light(s) and weathered wood shingle example



Attachment: COA2025-021 Staff Report (25-7377 : COA2025-021 5265 Wexford Lane)



**Discussion Items for Addendums:** What are the board widths? Provide more details about proposed siding. For the exterior color selection, which color is which?

Attachment: COA2025-021 Staff Report (25-7377 : COA2025-021 5265 Wexford Lane)

**Recommendations**


Should the ARB decide to grant approval, Staff recommends the following conditions:

1. The reveal (exposed portion) of siding will be a minimum of four inches and shall not exceed six (6) inches.
2. Corner boards should have the same width and depth as the siding reveal, and are not permitted to be greater than two inches of siding reveal, or less than one inch of the siding reveal.
3. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
4. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
5. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address: 5265 Wexford Lane, Norcross, GA	Lot # 42	Tax Parcel ID: R6226 360	
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name: DR Wexford, LLC	Phone: 404-558-9684		
Address: 3883 Rogers Bridge Road, Suite 602	City: Duluth	State: GA	Zip Code: 30097
APPLICANT			
Applicant Name: John Yost	Phone: 404-558-9684		
Company Name: DR Wexford, LLC	Email: rickyost@bellsouth.net		
Address: 3883 Rogers Bridge Road, Suite 602	City: Duluth	State: GA	Zip Code: 30097
DESCRIPTION OF PROJECT			
Project Type <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:			
This duplex was heavily damaged by a fire last year. We are rebuilding the duplex using the existing slab. In addition, we are adding an extra bedroom and bathroom off the back of the existing slab.			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months?			
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If yes, please list the board and reference number:			
_____			
OWNER'S SIGNATURE			
Signature: 	Date: 5/16/25		
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <a href="https://eplansolution.com/norcrossga">https://eplansolution.com/norcrossga</a> Hard copies of application materials will not be accepted.			

Attachment: COA2025-021 Application (25-7377 : COA2025-021 5265 Wexford Lane)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width: 78'6"	Length: 47'	Height:* 18'
Area Dimensions:		
First Floor: 1,512 sf per unit	Second Floor: n/a	Third Floor: n/a
Basement**: n/a	Front Porch: 74sf per unit	Rear Porch:n/a
Patio: 154sf per unit	Garage: n/a	
Primary Roof System: (Circle One)		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox XXX	Shed	Other:
Roof Pitches:		
Primary Roof Pitch: 5:12		
Secondary Roof Pitch: 6:12		
Additional Roof Pitch: 2:12		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: COA2025-021 Application (25-7377 : COA2025-021 5265 Wexford Lane)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Acme Brick - Hudson Creek / Sherwin Williams - Warm Stone	Brick and Concrete Siding
Primary Façade:	n/a	n/a
Primary Façade: Third	n/a	n/a
Left Side:	Acme Brick - Hudson Creek / Sherwin Williams - Warm Stone	Brick and Concrete Siding
Left Side: Second	n/a	n/a
Left Side: Third	n/a	n/a
Left Side:	n/a	n/a
Right Side:	Acme Brick - Hudson Creek / Sherwin Williams - Warm Stone	Brick and Concrete Siding
Right Side: Second	n/a	n/a
Right Side:	n/a	n/a
Right Side:	n/a	n/a
Rear: First	SW - Warm Stone	Concrete Siding
Rear: Second	n/a	n/a
Rear: Third	n/a	n/a
Rear: Basemnt	n/a	n/a

Attachment: COA2025-021 Application (25-7377 : COA2025-021 5265 Wexford Lane)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Acme Brick - Hudson Creek	Brick
Garage Doors		
Trim	Sherwin Williams - Snowbound	Wood
Mortar	Coosa - Antique Buff	Mortar
Gutters	Dark Bronze	Aluminum
Corner Board	Sherwin Williams - Snowbound	Wood
Railings		
Windows	Sherwin Williams - Snow	Vinyl
Window Sills	<i>Sherwin Williams - Snowbound</i>	Wood
Window Muntin/Mulli	Sherwin Williams - Snow	Vinyl
Columns		
Other Architectural Features	<del>Shutters - Sherwin Willia</del> <i>Front Door - Sherwin Williams - Fairfax Brown</i>	Metal
Other Architectural	Shutters - Sherwin Willia <i>Fairfax Brown</i>	Vinyl

Attachment: COA2025-021 Application (25-7377 : COA2025-021 5265 Wexford Lane)



# Ownership Affidavit & Designation of Agent

### I. Ownership.

I, John Yost, hereby attest to ownership of the property described below:

Parcel I.D. Number(s) R6226 360

Location address: 5265 Wexford Lane, Norcross, GA

for which this Application is submitted.

The ownership, as recorded on the deed, is in the name of: DR Wexford, LLC

Please complete the appropriate section below: NOTE: The person signing under section IV Acknowledgement, must be listed below as an officer or partner.

<input type="checkbox"/> Individual	<input checked="" type="checkbox"/> Corporation/Limited Liability Company (LLC)	<input type="checkbox"/> Partnership
<input type="checkbox"/> Government Entity	Provide Names of Officers/Members: <u>John Yost, manager</u> <u>Dard Umohia, manager</u>	Provide Names of General Partners: _____ _____

Secretary of State Registration Number: 14068026

Name/Address of Registered Agent: John Yost

### II. Designation of Owner's Agent. (Leave blank if not applicable)

As the owner of the above designated property and the applicant for which this affidavit is submitted, I wish to designate the below named party as my agent in all matters pertaining to the location address. In authorizing the agent named below to represent me, or my company, I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief. (Note: Prior to the issuance of a building permit, the owner's agent must be the contractor listed on the permit application.)

Owner's Agent: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Person: \_\_\_\_\_ Telephone No.: \_\_\_\_\_

### III. Notice to Owner.

- A. All changes in Ownership & Applicant's Agent prior to issuance shall require new affidavit. If ownership changes the new owner assumes the obligations and the original applicant is released from responsibility for actions taken by others after the change in ownership.
- B. If the Owner intends the Designation of Applicant's Agent to be limited in any manner, please indicate the limitation below. (i.e., Limited to obtaining a certificate of concurrency for the parcel; limited to obtaining a land use compliance certificate; etc.)

Attachment: COA2025-021 Application (25-7377 : COA2025-021 5265 Wexford Lane)

### IV. Acknowledgement.

• Individual

\_\_\_\_\_  
Signature

Print Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone #: \_\_\_\_\_

• Government Entity

\_\_\_\_\_  
Print Government Name

By: \_\_\_\_\_  
Signature

Print Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Department: \_\_\_\_\_

• Corporation/LLC

DR Wexford, LLC  
Print Corporation/LLC Name

By: \_\_\_\_\_  
Signature

Print Name: John Yest  
Its: Manager  
Address: 3883 Rogers Bridge Rd  
Ste. 602, Duluth GA 30097  
Phone #: 404-558-9684

• Partnership

\_\_\_\_\_  
Print Partnership Name

By: \_\_\_\_\_  
Signature

Print Name: \_\_\_\_\_  
Its: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone #: \_\_\_\_\_

### NOTARY INFORMATION (Please use appropriate block.)

STATE OF GEORGIA  
COUNTY OF \_\_\_\_\_

• Individual

Before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared \_\_\_\_\_ who executed the foregoing instrument, and acknowledged before me that same was executed for the purposes therein expressed.

• Government Entity

Before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared \_\_\_\_\_ as \_\_\_\_\_, and on behalf of \_\_\_\_\_, who executed the foregoing instrument, and acknowledged before me that same was executed for the purposes therein expressed.

• Corporation/LLC

Before me, this 6<sup>th</sup> day of May, 2025, personally appeared \_\_\_\_\_ of \_\_\_\_\_ a Georgia corporation/LLC, on behalf of the corporation/LLC, who executed the foregoing instrument and acknowledged before me that same was executed for the purposes therein expressed.

• Partnership

Before me, this \_\_\_\_\_ day Of \_\_\_\_\_, 20\_\_\_\_, personally appeared \_\_\_\_\_ partner/agent on behalf of \_\_\_\_\_ a partnership, who executed the foregoing instrument and acknowledged before me that same was executed for the purposes therein expressed.

Diane Barnard  
Signature of Notary

Diane Barnard  
Print Notary Name

NOTARY STAMP:

My commission expires: May 16, 2028

Identification Method:  Personally known.  
 Produced I.D. - Type: \_\_\_\_\_



City of Norcross, 65 Lawrenceville Street, Norcross, GA 30071 Community Development Department, 678-421-2027



**Department of Community Development**

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TO: Architectural Review Board  
FROM: LeDarius Scott  
DATE: July 15, 2025  
SUBJECT: COA2025-026 5689 Western Hills Drive  
CC:

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*Please review attached Staff Reports and supporting documents for submitted application.*

Consideration of a roof mounted photovoltaic/solar panel system.

[COA2025-026 Staff Report](#)

[COA2025-026 Application](#)



Meeting Date: 7/15/2025 at 6:00 PM

Petition Number: COA2025-026

Project Type:

Solar Panel System

Property Location:

5689 Western Hills Drive

Tax Parcel ID:

6224 247

Petitioner:

Jorge Blanco

Petitioner's Request:

Consideration of a roof mounted photovoltaic/solar panel system.

Vicinity Map:



Attachment: COA2025-026 Staff Report (25-7378 : COA2025-026 5689 Western Hills Drive)

PROPERTY INFORMATION	
<b>Property Location</b>	5689 Western Hills Drive
<b>Acreage:</b>	Approximately 0.19 Acres
<b>Existing Lot Dimensions:</b>	Lot frontage along Western Hills Drive: Approximately 63 feet Lot Depth: Approximately 112 feet
<b>Existing Building Dimensions:</b>	N/A
<b>Topography:</b>	High Point: 964 Low Point: 934
<b>Elevation:</b>	High Point: South side Low Point: North side
<b>Encumbrances:</b>	N/A

**Project Description**

The applicant seeks to add a roof mounted photovoltaic/solar panel system to an existing single-family residence. The solar panel system will consist of 14 modules that will account for 21 percent coverage of the roof.

**Site Plan and Roof Plan**

The applicant’s site plan shows the existing conditions of the property will include the footprint of the existing residence and driveway. The site plan includes the roof mounted solar panel system, junction box, sub panel, solar edge inverter with rapid shutdown, main service panel, and utility meter. The roof plan lays out the fire access pathways.

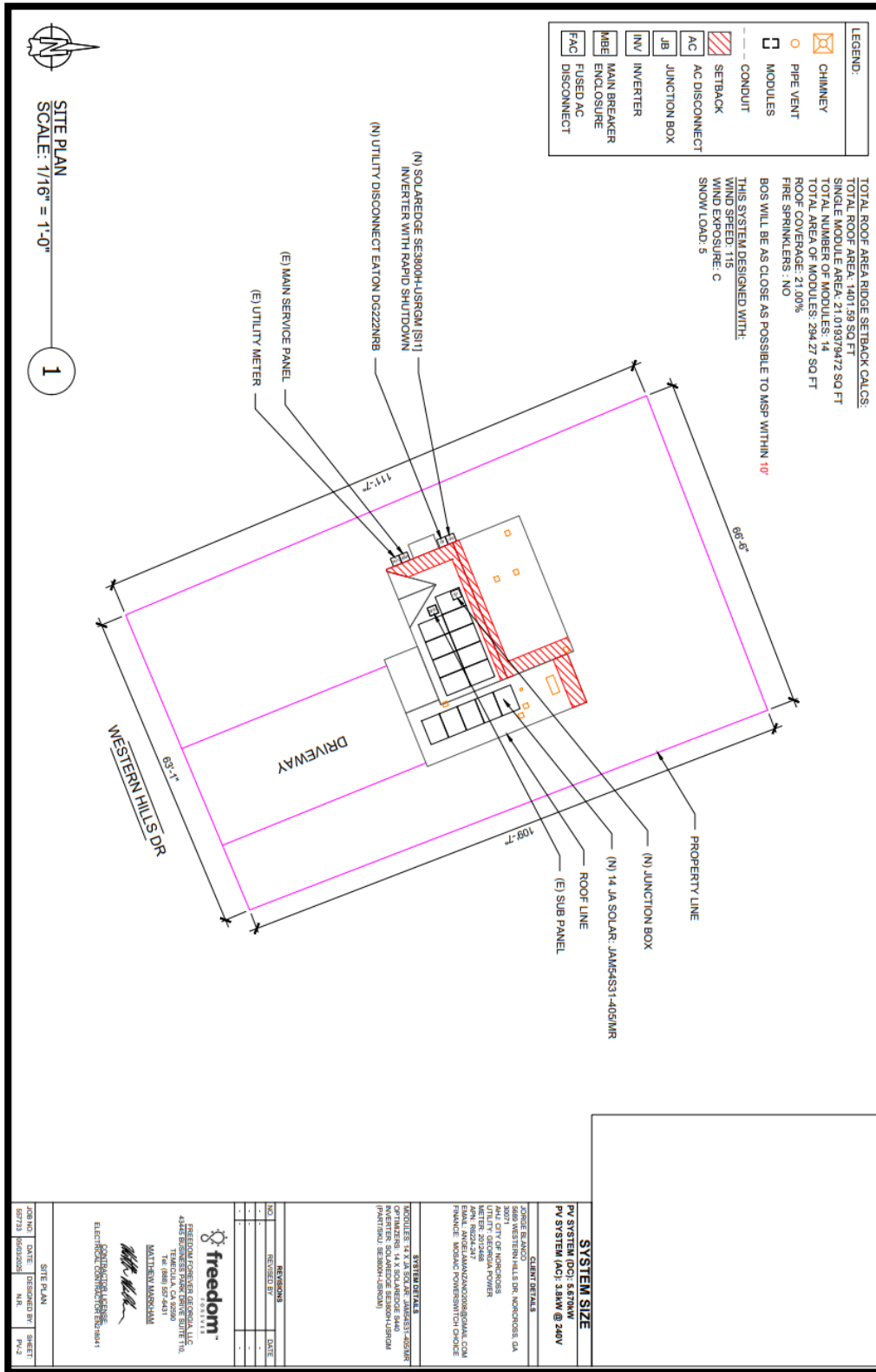
**Roof Mounted Solar Panel Use Limitations**

Per Section 202-3- Accessory Uses or Structures (f)(2)(2)(a)(b)(c), roof mounted solar or photovoltaic panels shall:

- a) Be flush mounted on the roof unless good cause is shown by the applicant that the solar panel is not at an appropriate angle to obtain maximum sun exposure if mounted flush to the roof.
- b) Be in the most inconspicuous location on the roof so as not to be seen from the street, if possible, and still be able to function as designed.
- c) Not extend higher than the peak of a sloped roof or higher than five feet from the top of a flat roof.

Attachment: COA2025-026 Staff Report (25-7378 : COA2025-026 5689 Western Hills Drive)

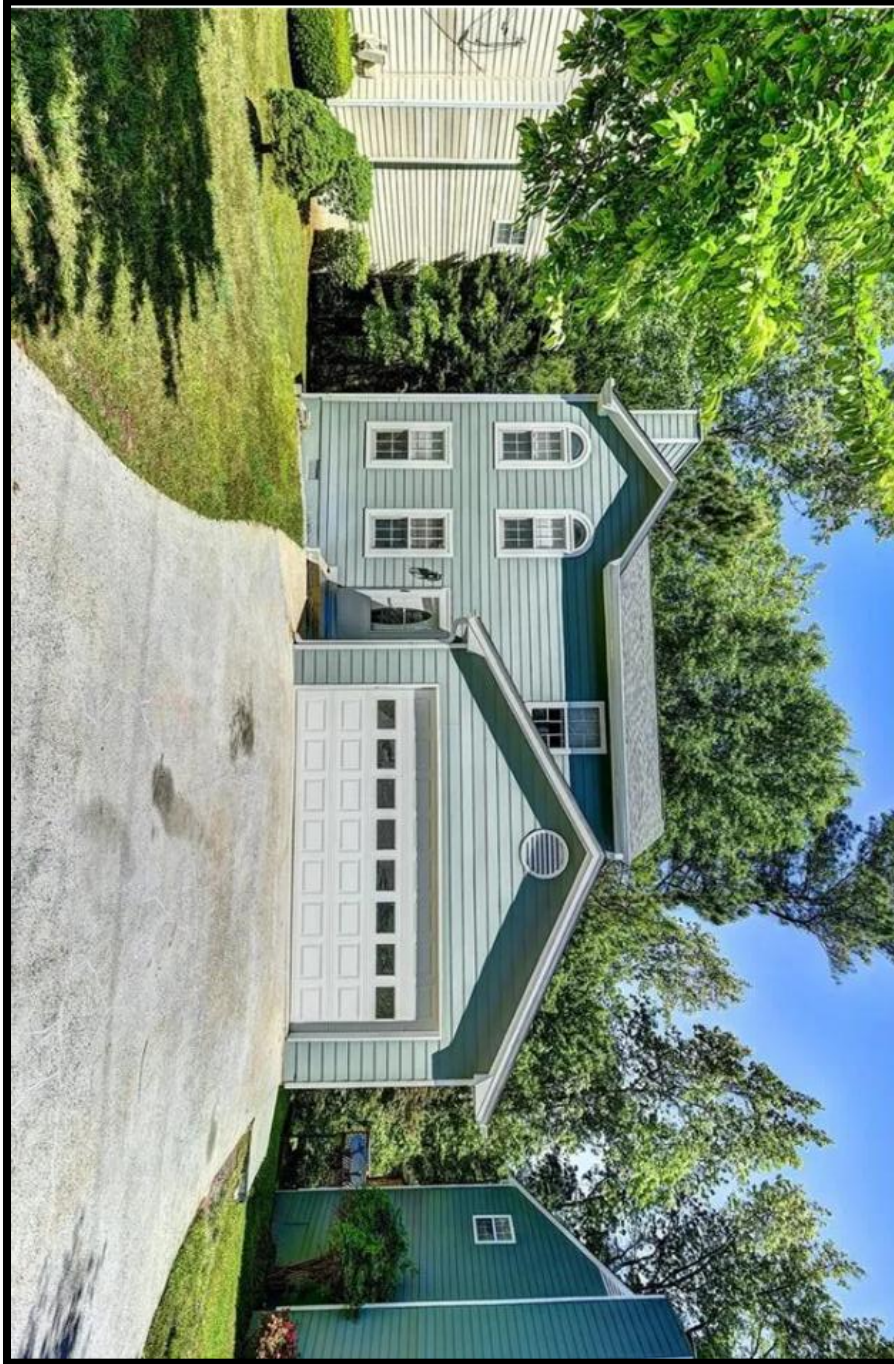
Proposed Site Plan



Attachment: COA2025-026 Staff Report (25-7378 : COA2025-026 5689 Western Hills Drive)



**Existing Conditions:**



**Applicable Building Standards:** N/A

## **Recommendations**

Should the ARB decide to grant approval, Staff recommends the following conditions:

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



# CERTIFICATE OF APPROPRIATENESS APPLICATION

Architectural Review Board and Historic Preservation Commission

## PROPERTY OWNER'S INFORMATION

Owner's Name: Jorge Blanco  
Owner's Address: 5689 Western Hills Dr  
Suite: \_\_\_\_\_ City: Norcross State: GA Zip Code: 30071  
Phone: (404) 988-8790 Cell Phone: \_\_\_\_\_ Email: angelamanzano2008@gmail.com

## APPLICANT'S CONTACT INFORMATION

Owner's Name: Jorge Blanco  
Owner's Address: 640 Airport South Parkway  
Suite: 100 City: College Park State: GA Zip Code: 30349  
Phone: 404.388.9011 Cell Phone: 404.388.9011 Email: PermitAtlanta@freedomforever.com

## PROPERTY LOCATION

Tax Parcel Number(s): R6224-247 Size in Acres: \_\_\_\_\_  
Address(es): 5689 Western Hills Dr, Norcross, GA 30071  
Number of existing structures: \_\_\_\_\_

## DESCRIPTION OF PROJECT

Project Type  Residential  Commercial  Industrial  Other project.  
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed. \_\_\_\_\_  
installation of PV solar panels

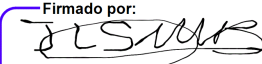
## STATEMENT

Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Historic Preservation Commission, Board of Appeals or Board of Planning and Zoning within the last 24 months?  Yes  No If yes, please list the board and reference number: NO

## REQUIRED ATTACHMENTS

- Landscape Plan (copies: 1 full size)  An electronic version (pdf)  Vicinity Map  Legal description
- Material and Color Samples (x2)  Architectural elevations (1 full size)  Floor plans for each level (1 full size)
- Scaled site plan showing existing and proposed improvements. (1 full size)  Completed Application

## OWNER'S SIGNATURE

Firmado por:   
Signature \_\_\_\_\_ Date 5/11/2025 | 1:51 PM PDT

## CITY USE ONLY. DO NOT WRITE IN THIS BOX.

Date received: \_\_\_\_\_ Receipt Number: \_\_\_\_\_ Application Number: \_\_\_\_\_ Fee Paid \$ \_\_\_\_\_  
Foundation Type: (Circle One)

## DEADLINE AND HEARING SCHEDULE

See calendar on the Community Development website for pre-application conference deadlines, application submission deadlines and scheduled meeting dates.

Attachment: COA2025-026 Application (25-7378 : COA2025-026 5689 Western Hills Drive)



# CERTIFICATE OF APPROPRIATENESS APPLICATION

Architectural Review Board and Historic Preservation Commission

Slab	Crawl Space	Basement
<b>Building Dimensions:</b>		
Width:	Length:	Height:*
<b>Area Dimensions:</b>		
First Floor:	Second Floor:	Third Floor:
Basement**:	Front Porch:	Rear Porch:
Patio:	Garage:	
<b>Primary Roof System: (Circle One)</b>		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
<b>Roof Pitches:</b>		
Primary Roof Pitch:		
Secondary Roof Pitch:		
Additional Roof Pitch:		
<b>Floor and Elevation Plan information to be included on each page:</b>		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
<b>Site and Landscape Plan information to be included on each page:</b>		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: COA2025-026 Application (25-7378 : COA2025-026 5689 Western Hills Drive)

## DEADLINE AND HEARING SCHEDULE

See calendar on the Community Development website for pre-application conference deadlines, application submission deadlines and scheduled meeting dates.



**CERTIFICATE OF APPROPRIATENESS APPLICATION**

Architectural Review Board and Historic Preservation Commission

**ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM**  
*Façade and sides*

Component	Color (Include manufacturer's ID)	Material
Primary Façade: First Floor		
Primary Façade: Second Floor		
Primary Façade: Third Floor		
Left Side: First Floor		
Left Side: Second Floor		
Left Side: Third Floor		
Left Side: Basement		
Right Side: First Floor		
Right Side: Second Floor		
Right Side: Third Floor		
Right Side: Basement		
Rear: First Floor		
Rear: Second Floor		
Rear: Third Floor		
Rear: Basement		

Attachment: COA2025-026 Application (25-7378 : COA2025-026 5689 Western Hills Drive)

**DEADLINE AND HEARING SCHEDULE**

See calendar on the Community Development website for pre-application conference deadlines, application submission deadlines and scheduled meeting dates.



# CERTIFICATE OF APPROPRIATENESS APPLICATION

Architectural Review Board and Historic Preservation Commission

## COLOR AND MATERIAL PLACEMENT ADDENDUM

### *Exterior Components*

Component	Color (Include manufacturer's ID)	Material
Masonry		
Garage Doors		
Trim		
Mortar		
Gutters		
Corner Board		
Railings		
Windows		
Window Sills		
Window Muntin/Mullion		
Columns		
Other Architectural Features		
Other Architectural Features		

Attachment: COA2025-026 Application (25-7378 : COA2025-026 5689 Western Hills Drive)

## DEADLINE AND HEARING SCHEDULE

See calendar on the Community Development website for pre-application conference deadlines, application submission deadlines and scheduled meeting dates.



# Ownership Affidavit & Designation of Agent

## I. Ownership.

I, \_\_\_\_\_, hereby attest to ownership of the property described below:

Parcel I.D. Number(s) \_\_\_\_\_

Location address: \_\_\_\_\_

\_\_\_\_\_ for which this Application is submitted.

The ownership, as recorded on the deed, is in the name of: \_\_\_\_\_

Please complete the appropriate section below:

**NOTE: The person signing under section IV Acknowledgement, must be listed below as an officer or partner.**

Individual

Corporation/Limited Liability Company (LLC)

Partnership

Government Entity

Provide Names of Officers/Members:

Provide Names of General Partners:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Secretary of State Registration Number: \_\_\_\_\_

Name/Address of Registered Agent: \_\_\_\_\_

## II. Designation of Owner's Agent. (Leave blank if not applicable)

As the owner of the above designated property and the applicant for which this affidavit is submitted, I wish to designate the below named party as my agent in all matters pertaining to the location address. In authorizing the agent named below to represent me, or my company, I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief. (Note: Prior to the issuance of a building permit, the owner's agent must be the contractor listed on the permit application.)

Owner's Agent: \_\_\_\_\_

Address: \_\_\_\_\_

Contact Person: \_\_\_\_\_ Telephone No.: \_\_\_\_\_

## III. Notice to Owner.

- A. All changes in Ownership & Applicant's Agent prior to issuance shall require new affidavit. If ownership changes the new owner assumes the obligations and the original applicant is released from responsibility for actions taken by others after the change in ownership.
- B. If the Owner intends the Designation of Applicant's Agent to be limited in any manner, please indicate the limitation below. (i.e., Limited to obtaining a certificate of concurrency for the parcel; limited to obtaining a land use compliance certificate; etc.)

\_\_\_\_\_  
\_\_\_\_\_

City of Norcross, 65 Lawrenceville Street, Norcross, GA 30071 Community Development Department, 678-421-2027





**Department of Community Development**

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TO: Architectural Review Board  
FROM: LeDarius Scott  
DATE: July 15, 2025  
SUBJECT: COA2025-029 West Peachtree Street  
CC:

---

*Please review attached Staff Reports and supporting documents for submitted application.*

Consideration of 21 cottage style homes for a planned residential community.

[COA2025-029 Staff Report](#)

[COA2025-029 Application](#)



Meeting Date: 7/15/2025 at 6:00 PM

Petition Number: COA2025-029

Project Type:

21 Cottage Style Homes

Property Location:

Parcel numbers addressed below

Tax Parcel ID:

Parcel numbers addressed below

Petitioner:

Booker Washington

Petitioner's Request:

Consideration of 21 cottage style homes for a planned residential community.

Vicinity Map:



Attachment: COA2025-029 Staff Report (25-7379 : COA2025-029 West Peachtree Street)

PROPERTY INFORMATION	
<b>Property Location</b>	Parcel numbers: 6253 028, 6253 027, 6253 026, 6253 262, 6253 288
<b>Acreage:</b>	1.67 acres
<b>Existing Lot Dimensions:</b>	Lot frontage along West Peachtree Street: Approximately 254 feet Lot Depth: Approximately 290 feet
<b>Existing Building Dimensions:</b>	N/A
<b>Topography:</b>	High Point: 1074 Low Point: 1056
<b>Elevation:</b>	High Point: Approximately the middle of the subject parcels Low Point: Northside
<b>Encumbrances:</b>	N/A

**Project Description**

The subject parcels were once owned by the City of Norcross and designated a Planned Residence District (PRD) zoning when the Unified Development Ordinance was created. The applicant seeks to develop a planned residential community of 21 cottage style single-family residences on a combined 1.67 acre-lot. The proposed homes will be one (1) and two (2) story and a minimum heated space of 624 square feet. The Cross (two story) and the Parc (one story) are the two elevations that are being considered. The property is situated in Character Area 5, Hopewell Woods, which supports the development of planned residential neighborhoods that offer a variety of housing options. Planned residential communities are defined by the 2045 Comprehensive Plan as a residential development whose essential features are a definable boundary, and a consistent, but not necessarily uniform character. Such developments may include a variety of housing types and typically share common recreational amenities, and private covenants, conditions, and restrictions enforced by a homeowners' association.

**Site Plan**

The applicant's site plan shows the 21 units situated on the 1.67 acre-lot, which is a proposed density of 12.5 units per acre. Surface level parking and an amenity area are included. The residences appear to be accessed by sidewalks located throughout the community. The final site plan will be subject to final approval by the Mayor and Council.

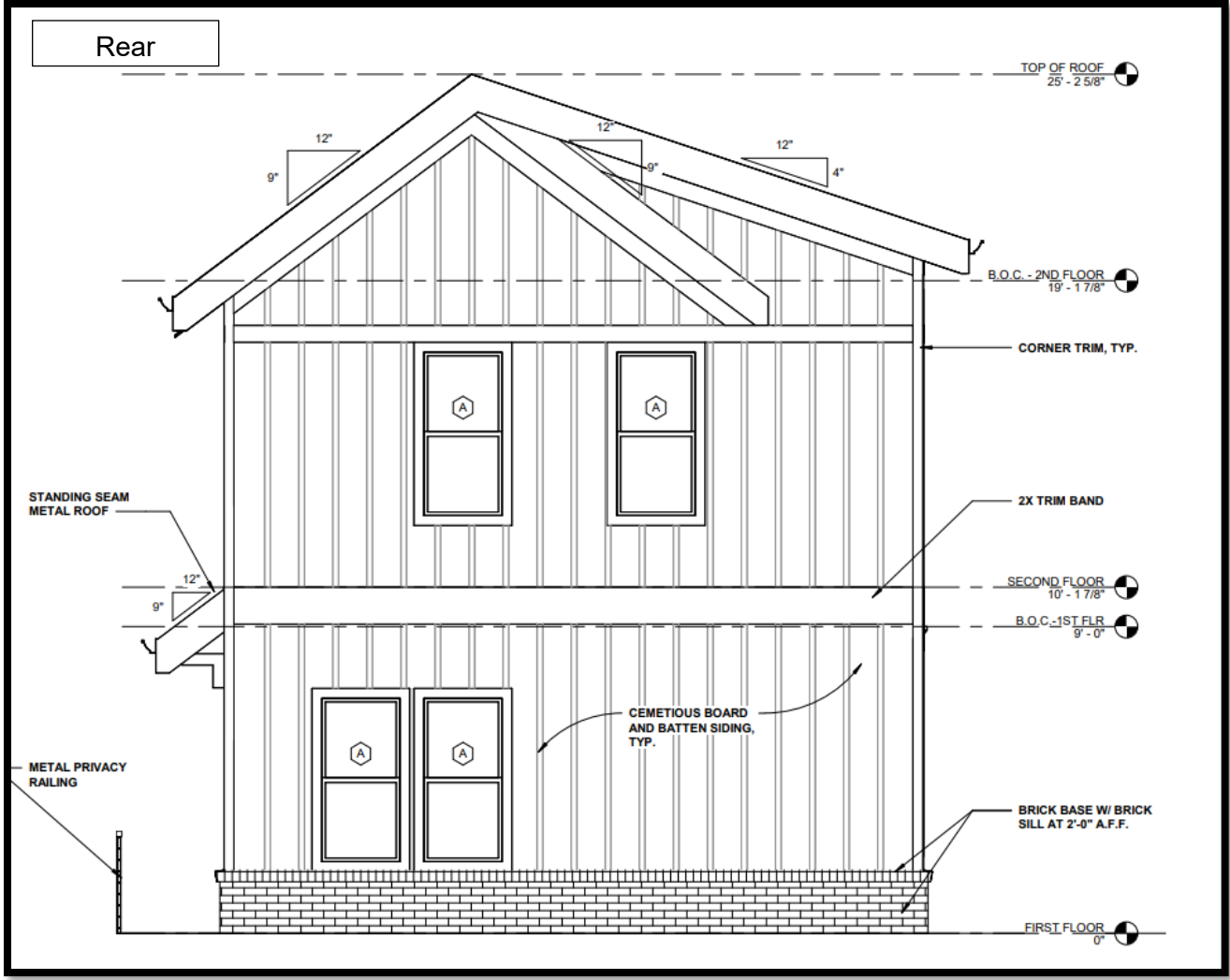
**Landscape Plan**

The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance if applicable.

Attachment: COA2025-029 Staff Report (25-7379 : COA2025-029 West Peachtree Street)



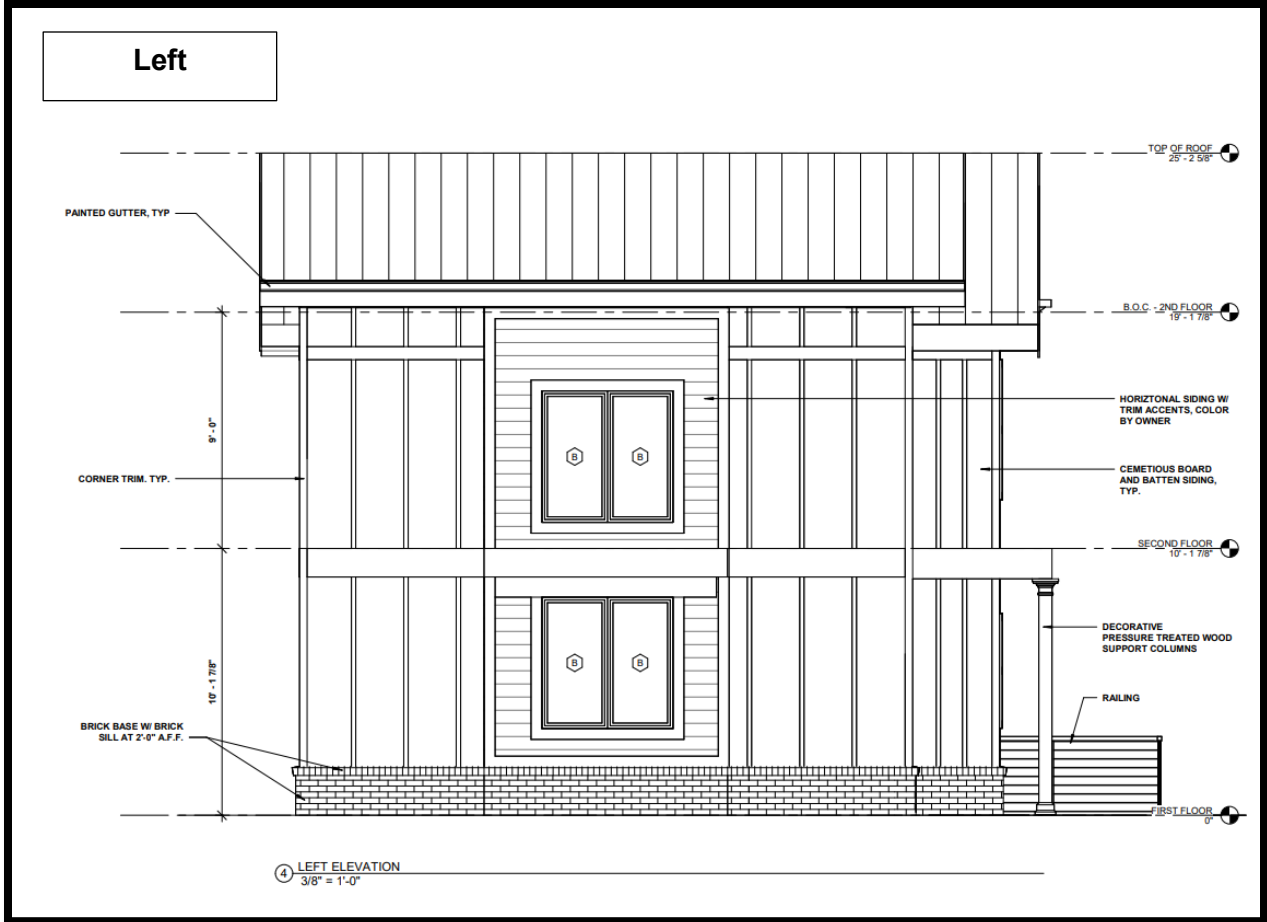




**Description of Rear Elevation:** The “Cross” rear elevation will consist of vertical cementitious board and batten siding, a brick water table with a rowlock course, a trim band to differentiate the first story from the second story, and single-hung windows.

**Discussion Items:** N/A

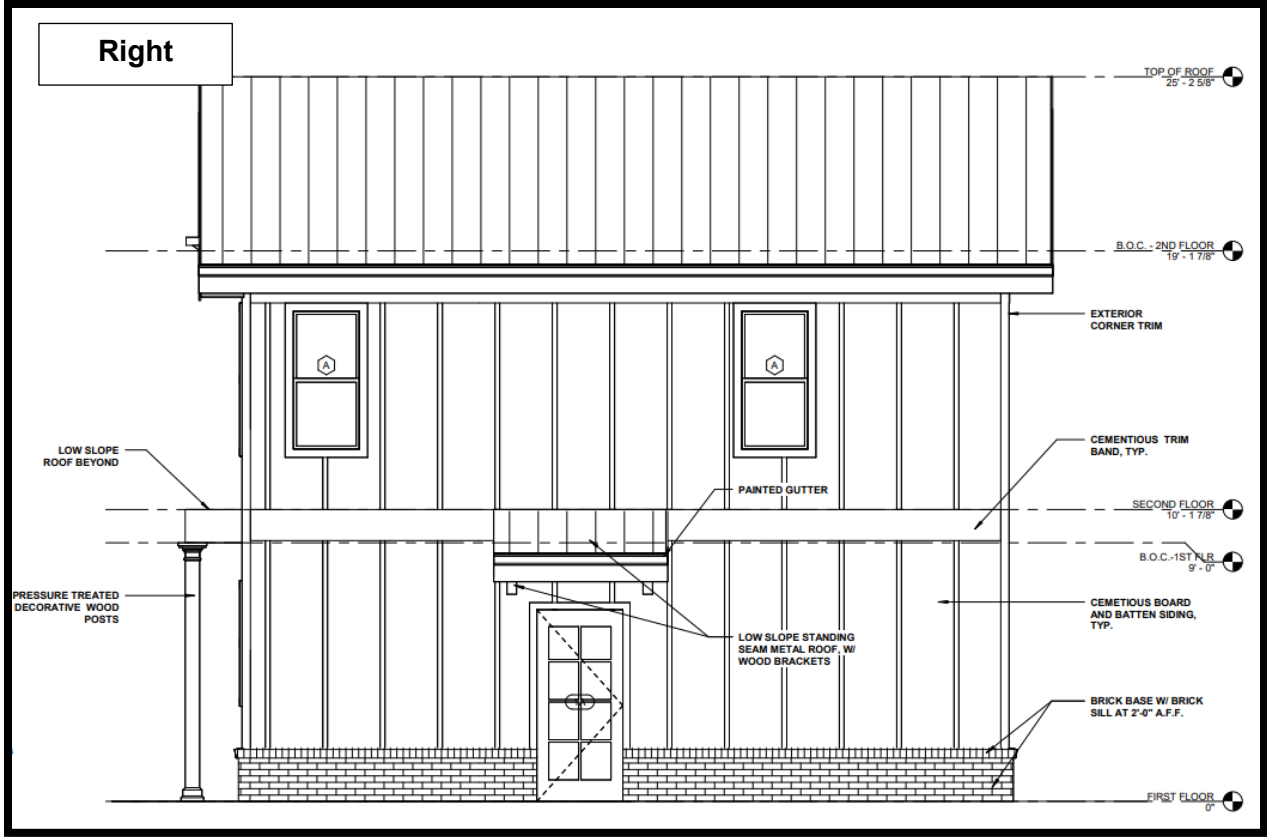
Attachment: COA2025-029 Staff Report (25-7379 : COA2025-029 West Peachtree Street)



**Description of left elevation:** The “Cross” left elevation will consist of vertical cementitious board and batten siding, horizontal siding with trim accents, a brick water table with a rowlock course, and a trim band to differentiate the first story from the second story.

**Discussion Items for left elevation:** Are these casement windows?

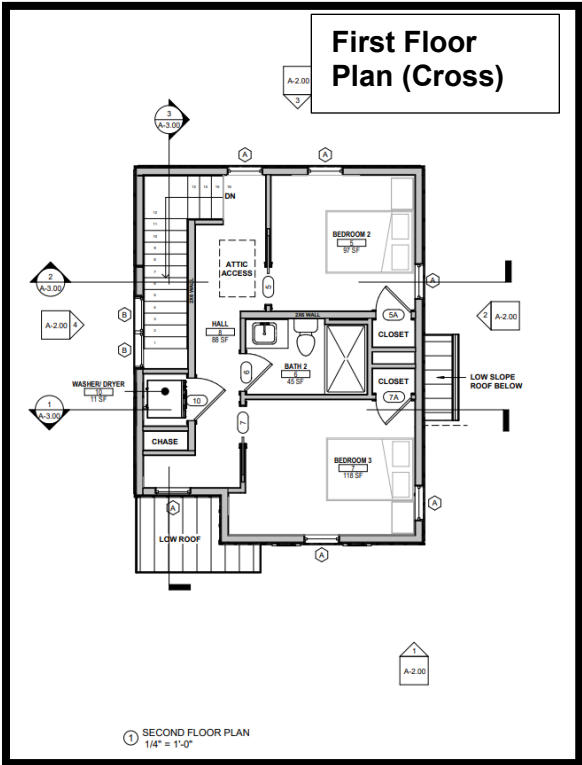
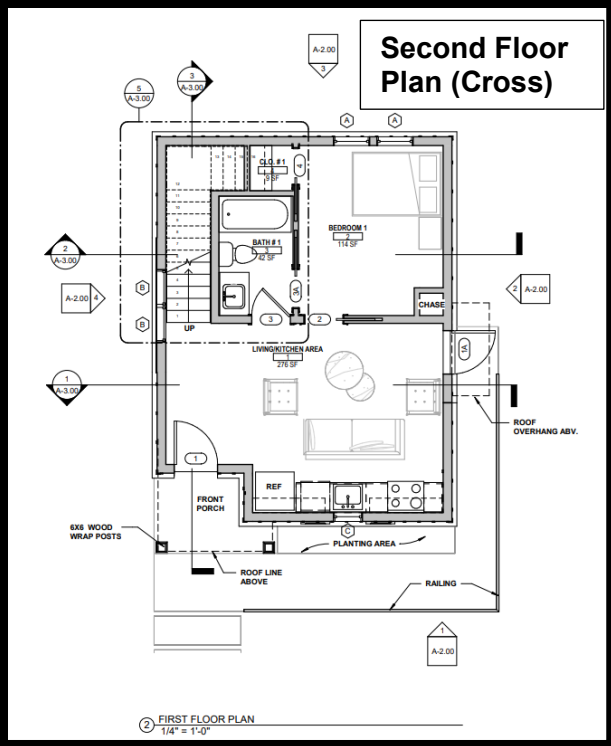
Attachment: COA2025-029 Staff Report (25-7379 : COA2025-029 West Peachtree Street)



**Description of Right Elevation:** The “Cross” right elevation will consist of vertical cementitious board and batten siding, a brick water table with a rowlock course, and a trim band to differentiate the first story from the second story. The side door will feature a standing seam metal roof with wood brackets.

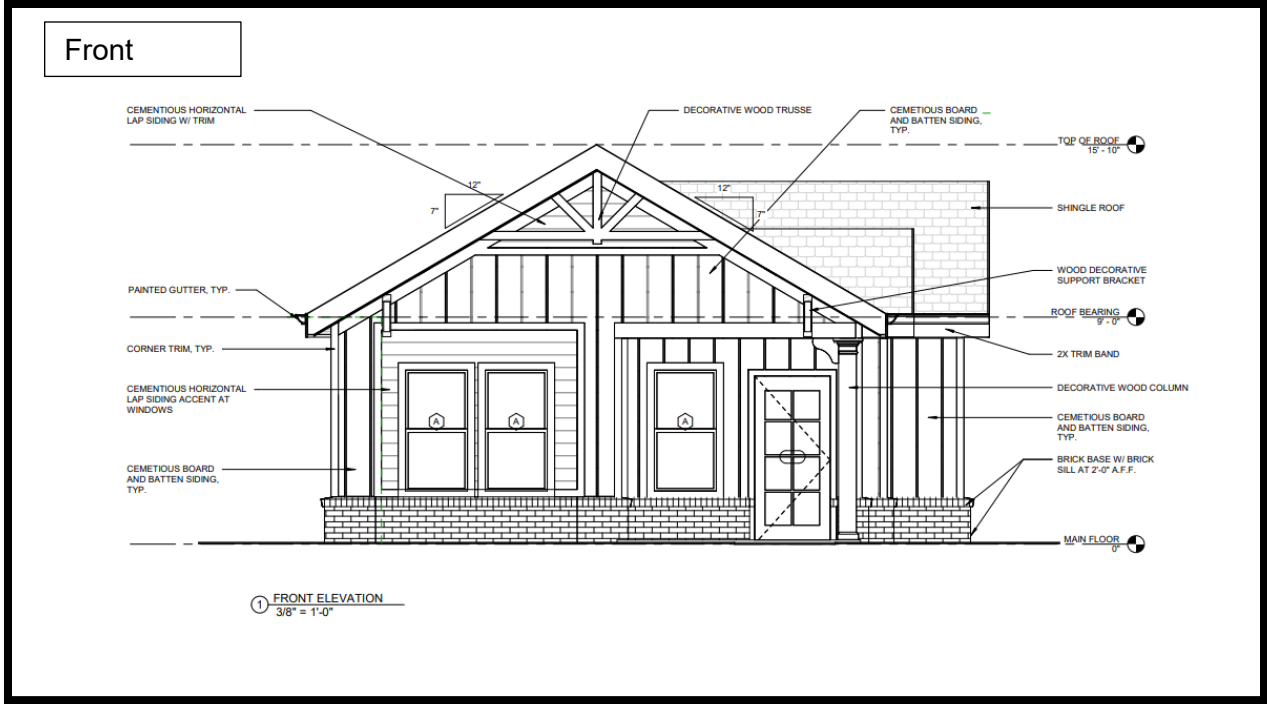
**Discussion Items for Right Elevation:** N/A

Attachment: COA2025-029 Staff Report (25-7379 : COA2025-029 West Peachtree Street)



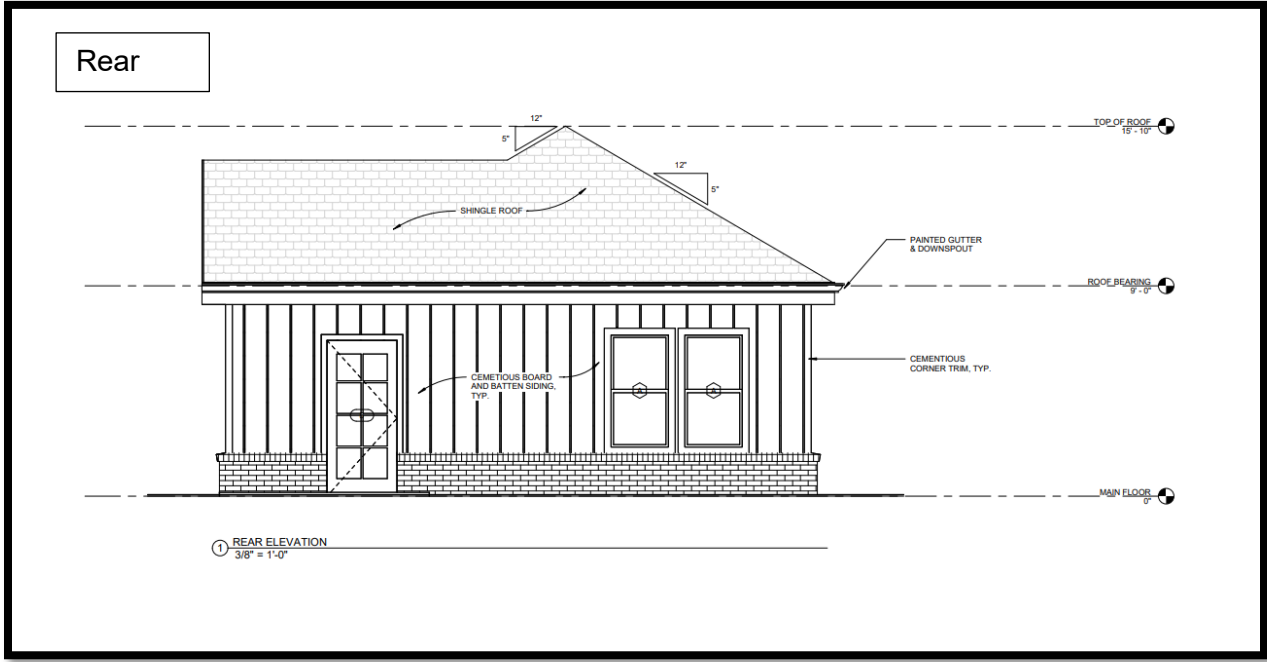
Attachment: COA2025-029 Staff Report (25-7379 : COA2025-029 West Peachtree Street)

# The Parc Cottage



**Description of Front Elevation:** The front elevation consists of vertical cementitious board and batten siding, cementitious horizontal lap siding, a brick water table with a rowlock course, and a decorative wood truss.

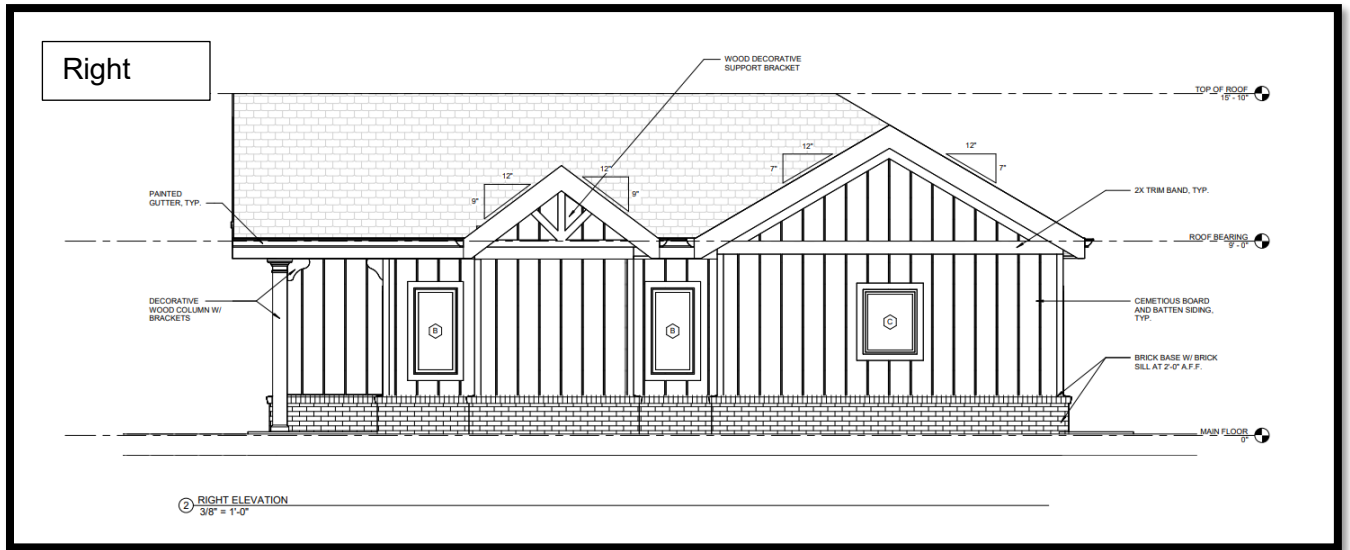
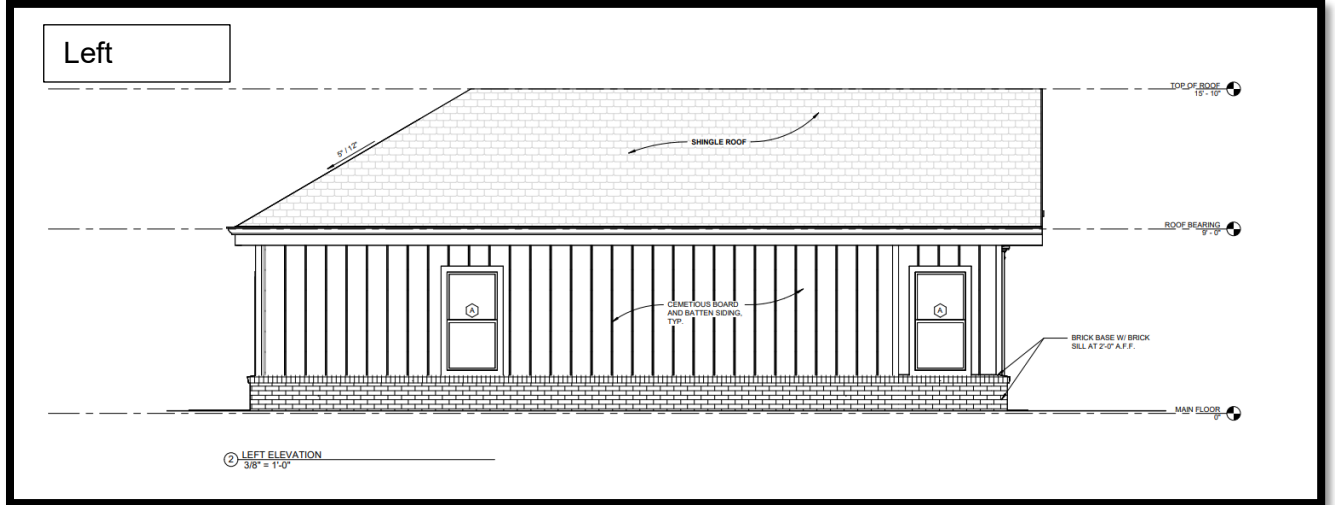
**Discussion Items for Front Elevation:** Is there a decorative awning/roof above the front door to go along with the wood brackets that are called out?



Attachment: COA2025-029 Staff Report (25-7379 : COA2025-029 West Peachtree Street)

**Description of the rear elevation:** The rear elevation shows cementitious board and batten siding along with a brick water table with a rowlock course and two single-hung windows.

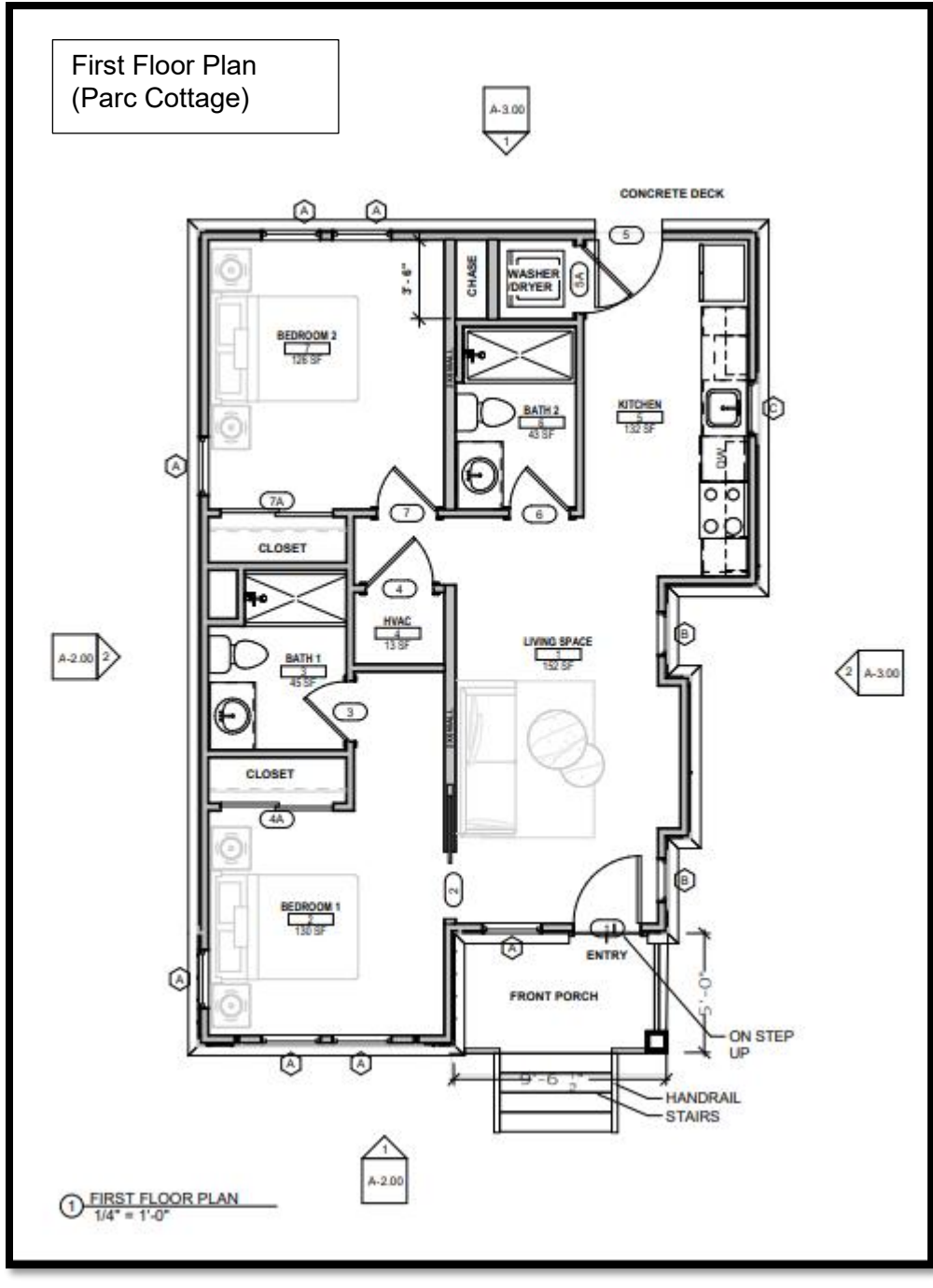
**Discussion Items for rear elevation:** N/A



**Description of left and right elevation:** Both sides feature cementitious board and batten siding along a brick water table. The right elevation includes a wood decorative support bracket (truss).

**Discussion Items for left and right elevation:** Are the windows casement style?

Attachment: COA2025-029 Staff Report (25-7379 : COA2025-029 West Peachtree Street)



Attachment: COA2025-029 Staff Report (25-7379 : COA2025-029 West Peachtree Street)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Alabaster (SW) <sup>serini</sup> willow	Fiber cement
Primary Façade:	Light French Gray (SW)	Fiber cement
Primary Façade: Third	N/A	
Left Side:	Alabaster (SW)	Fiber cement
Left Side: Second	Light grey (SW)	Fiber cement
Left Side: Third	N/A	N/A
Left Side:	Vintage Wood Poplar	Fiber cement
Right Side:	Vintage Wood Cedar	Fiber cement
Right Side: Second	N/A	
Right Side:	N/A	
Right Side:	N/A	
Rear: First	Alabaster (SW)	Fiber cement
Rear: Second	Light French Gray (SW)	Fiber cement
Rear: Third	N/A	
Rear: Basemnt	N/A	

REVISED JAN 2024

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Attachment: COA2025-029 Staff Report (25-7379 : COA2025-029 West Peachtree Street)



### Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	N/A	N/A
Garage Doors	N/A	N/A
Trim	Peppercon (SW)	Fiber Cement
Mortar	N/A	N/A
Gutters	Peppercon (SW)	Aluminum
Corner Board	Peppercon (SW)	Fiber Cement
Railings	Tricon Black (SW)	steel
Windows	Peppercon (SW)	Vinyl
Window Sills	Peppercon (SW)	Vinyl
Window Muntin/Mullin	N/A	N/A
Columns	<del>peppercon</del> Peppercon (SW)	Pressure treated wood
Other Architectural Features	Accent siding multiple colors	Fiber Cement
Other Architectural		

REVISED JAN 2024

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Attachment: COA2025-029 Staff Report (25-7379 : COA2025-029 West Peachtree Street)

Exterior Paint and Siding Colors

**NORTH PARK COTTAGES**  
A NORCROSS COMMUNITY


## Exterior

**Paint Colors**

- Light French Gray (Base)
- Peppercorn (Trim)
- Alabaster (Base)
- Peppercorn (Trim)

**Siding Colors**

- Vintagewood Black
- Vintagewood Poplar
- Vintagewood Cedar
- Vintagewood Bark



Attachment: COA2025-029 Staff Report (25-7379 : COA2025-029 West Peachtree Street)

**Applicable Building Standards:**

3.5.3.1 All residential construction shall include a combination of architectural treatments, such as brick or stone masonry, stucco, wood, or other durable materials. If masonry materials are used a minimum of (3) three facades must use masonry material.

3.5.3.2 The reveal (exposed portion) of siding will be a minimum of four inches and shall not exceed six (6) inches.

3.5.3.3 Corner boards should have the same width and depth as the siding reveal, and are not permitted to be greater than two inches of the siding reveal, or less than one inch of the siding reveal.

**Recommendations**

Should the ARB decide to grant approval, Staff recommends the following conditions:

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address: 646 West Peachtree Street	Lot # 253	Tax Parcel ID: <i>Pin (6523027)</i>	
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name: <i>Techie NPC Ltd. Liability Co</i>	Phone: <i>770-570-9449</i>		
Address: <i>3120 Godby Road Unit 1103</i>	City: <i>College Park</i>	State: <i>GA</i>	Zip Code: <i>30349</i>
APPLICANT			
Applicant Name: <i>Booker Washington</i>	Phone: <i>770-570-9449</i>		
Company Name: <i>Techie Homes</i>	Email: <i>booker@techie-homes.com</i>		
Address: <i>730 Peachtree St Ste 570</i>	City: <i>Atlanta</i>	State: <i>GA</i>	Zip Code: <i>30308</i>
DESCRIPTION OF PROJECT			
Project Type <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed: <i>Planned Residential Community of 21 cottage homes provided under the zoning. New construction residential community. New construction will consist of both one-story and two-story cottages.</i>			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please list the board and reference number: _____			
OWNER'S SIGNATURE			
Signature: <i>[Signature]</i>	Date: <i>6/2/2025</i>		
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <a href="https://eplansolution.com/norcrossga">https://eplansolution.com/norcrossga</a> Hard copies of application materials will not be accepted.			

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



# Owner Affidavit

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

*Booker Washington / CEO 646 W. Peachtree St PIN (6530)*

### Section I. Land Ownership

I, [redacted], hereby attest to ownership of the property located at [redacted], Parcel ID# [redacted] for which this Application is submitted. The Ownership, as recorded on the deed, is in the name of [redacted].

### Section II. Type of Ownership

Individual  Corporation/LLC  Partnership  Government *Techie NPC LTD. Liability (o)*

Corporation/LLC/Partnership Name: *Techie NPC LTD* Secretary of State Registration Number: *2501572*

Registered Agent Name: *Registered Agents Inc.*

Provide Names of all Officers/Members/General Partners (If applicable):  
*Booker Washington, Managing Member / CEO*

Registered Agent Address: *3120 Goodby Rd / College Park GA 30319* Registered Agent Phone #: *7705709449*

COMPLETE BY OWNER

As the owner of the above designated property for which this affidavit is submitted, I wish to allow *Techie NPC LTD* (applicant's name) to apply for a PRD for the address mentioned in Section I of this form. I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief.

### NOTARY

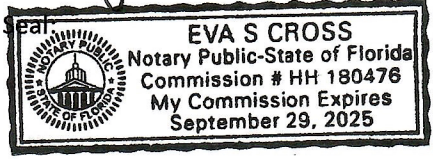
Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.

Sworn and subscribed before me this 2 day of June, 2025.  
Notary Public:

Name: *Booker Washington*

*Eva Cross*

Address: *730 Peachtree St #530 Atlanta GA 30308*



City, State, Zip Code: *Atlanta, Ga 30308*

Email address: *booker@techie-homes.com*

Phoner Number: *7705709449*

Commission expires: *September 29, 2025*

Owner's signature: *[Handwritten Signature]*

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

## The Parc Floor Plan

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width: 20' 2"	Length: 26' 4"	Height:* 25' 2 5/8"
Area Dimensions:		
First Floor: <del>640</del> 522	Second Floor: 438	Third Floor: N/A
Basement**: N/A	Front Porch: <del>346</del> 36	Rear Porch: N/A
Patio: N/A	Garage: N/A	
Primary Roof System: (Circle One)		
Gable	Hip	Gambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch: 12" / 9"		
Secondary Roof Pitch: 4" / 12"		
Additional Roof Pitch: N/A		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number 646 W. Peachtree St Lot # 253	Scale with scale bar 1/4" = 1' 0"	Scaled measurement for each floor level and building elevation as shown
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

Foundation Type: (Circle One)		
Slab	<u>Crawl Space</u>	Basement
Building Dimensions:		
Width: 24' 9"	Length: 36' 2"	Height:* 15' 10"
Area Dimensions:		
First Floor: 640 sqft	Second Floor: NA	Third Floor: NA
Basement**: N/A	Front Porch: 346 sqft	Rear Porch: N/A
Patio: <del>305</del> 305ft	Garage: NA	
Primary Roof System: (Circle One)		
<u>Gable</u>	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch: 12" 7"		
Secondary Roof Pitch: <del>12" 7"</del> 5" 12"		
Additional Roof Pitch: N/A		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number 646 W. Peachtree St LOT 253	Scale with scale bar 1/4" = 1' 0"	Scaled measurement for each floor level and building elevation as shown
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Alabaster (SW) <sup>slamin</sup> <sub>william</sub>	Fiber cement
Primary Façade:	Light French Gray (SW)	Fiber cement
Primary Façade: Third	N/A	
Left Side:	Alabaster (SW)	Fiber cement
Left Side: Second	Light Gray (SW)	Fiber cement
Left Side: Third	N/A	N/A
Left Side:	Vintage Wood Poplar	Fiber cement
Right Side:	Vintage Wood Cedar	Fiber cement
Right Side: Second	N/A	
Right Side:	N/A	
Right Side:	N/A	
Rear: First	Alabaster (SW)	Fiber cement
Rear: Second	Light French Gray (SW)	Fiber cement
Rear: Third	N/A	
Rear: Basemnt	N/A	

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	N/A	N/A
Garage Doors	N/A	N/A
Trim	Peppercorn (SW)	Fiber Cement
Mortar	N/A	N/A
Gutters	Peppercorn (SW)	Aluminum
Corner Board	Peppercorn (SW)	Fiber Cement
Railings	Tricon Black (SW)	steel
Windows	Peppercorn (SW)	Vinyl
Window Sills	Peppercorn (SW)	Vinyl
Window Muntin/Mulli	N/A	N/A
Columns	<del>Peppercorn</del> Peppercorn (SW)	Pressure treated wood
Other Architectural Features	Accent siding multiple colors	Fiber Cement
Other Architectural		

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

ARCHITECTURAL REVIEW BOARD MEETING CALENDAR		
Pre-Application Submittal Deadline	Application Submittal Deadlines	ARB Meeting
11/28/2023	12/5/2023	1/16/2024
12/27/2023	1/2/2024	2/20/2024
1/16/2024	1/23/2024	3/19/2024
2/27/2024	3/5/2024	4/16/2024
4/2/2024	4/9/2024	5/21/2024
4/30/2024	5/7/2024	6/18/2024
5/28/2024	6/4/2024	7/16/2024
6/25/2024	7/2/2024	8/20/2024
7/23/2024	7/30/2024	9/17/2024
8/27/2024	9/3/2024	10/15/2023
9/24/2024	10/1/2024	11/19/2024
10/22/2023	10/29/2024	12/17/2024

HISTORIC PRESERVATION COMMISSION MEETING CALENDAR			
Pre-application Meeting Deadline	Application Submittal Deadline		Historic Preservation Commission Meeting
12/5/2023	12/12/2023		1/24/2024
1/9/2024	1/16/2024		2/28/2024
2/6/2024	2/13/2024		3/27/2024
3/5/2024	3/12/2024		4/24/2024
4/2/2024	4/9/2024		5/22/2024
5/7/2024	5/14/2024		6/26/2024
6/4/2024	6/11/2024		7/24/2024
7/2/2024	7/9/2024		8/28/2024
7/30/2024	8/6/2024		9/25/2024
9/3/2024	9/10/2024		10/23/2024
10/8/2024	10/15/2024		11/27/2024

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027

65 Lawrenceville Street Norcross, GA 30071

ARCHITECTURAL REVIEW BOARD/ HISTORIC PRESERVATIONS REVIEW FEES		
Commercial/Industrial Major Reviews	Major Project Reviews	\$500
Commercial/Industrial Reviews	Minor improvements to façade	\$150
Residential Major Review	New Residential Construction in the City or Historic District	\$150
Residential Minor/Administrative Staff Review	Minor improvements or alterations in the City or Historic District/Administrative Staff Review	\$25
Historic Demolition	Historic Demolition Review	\$500

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



**Department of Community Development**

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TO: Architectural Review Board  
FROM: LeDarius Scott  
DATE: July 15, 2025  
SUBJECT: COA2025-030 3395 Medlock Bridge Road  
CC:

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*Please review attached Staff Reports and supporting documents for submitted application.*

Consideration of an enclosed front porch, new doorway, and portico, and building color.

[COA2025-030 Staff Report](#)

[COA2025-030 Application](#)



Meeting Date: 7/15/2025 at 6:00 PM

Petition Number: COA2025-030

Project Type:

Porch, doorway, portico and building color

Property Location:

3395 Medlock Bridge Road

Tax Parcel ID:

6286 010

Petitioner:

Jialing Hsu

Petitioner's Request:

Consideration of an enclosed front porch, new doorway and portico, and building color.

Vicinity Map:



Attachment: COA2025-030 Staff Report (25-7380 : COA2025-030 3395 Medlock Bridge Road)

PROPERTY INFORMATION	
<b>Property Location</b>	3395 Medlock Bridge Road
<b>Acreage:</b>	Approximately 0.91 Acres
<b>Existing Lot Dimensions:</b>	Lot frontage along Medlock Bridge Road: Lot Depth: Approximately
<b>Existing Building Dimensions:</b>	N/A
<b>Topography:</b>	High Point: 1,098 Low Point: 1,080
<b>Elevation:</b>	High Point: Eastside Low Point: Southwest
<b>Encumbrances:</b>	N/A

**Project Description**

The applicant seeks to remodel an existing commercial building for daycare center. The front porch will be enclosed with the front living room space to create a larger space for classroom use. The exterior of the enclosed porch will be covered with matching shingles and windows. The doorway will be moved to the right side of the building and completed with a portico entrance that will consist of 8 by 8 columns, a roof, railing, and gate at the entrance. The building color will be changed to Buckland Blue (HC-151). All exterior improvements have already been completed without the exterior building permit issued, therefore the project will be conditioned to any modifications required by the Architectural Review Board to be completed prior to the issuance of a building permit.

**Site Plan and Floor Plan**

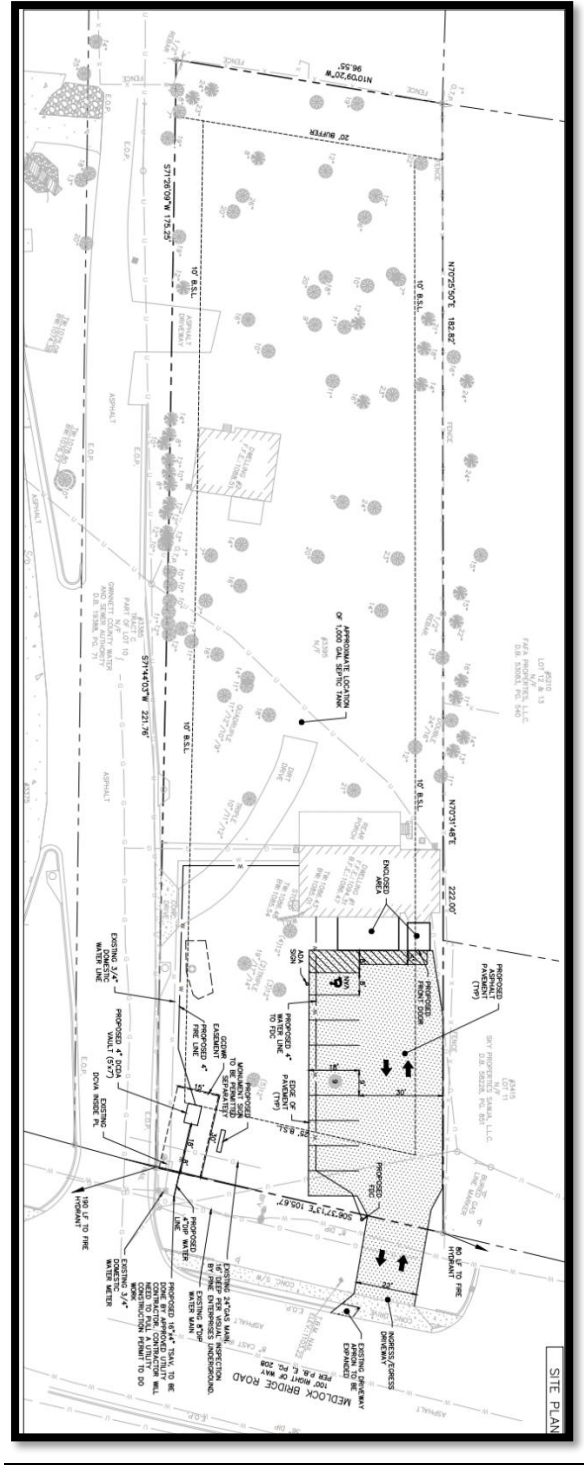
The subject property was rezoned in 2024 (RZ2024-001) from R100 to C1 for a daycare use. The site plan shows the existing/proposed conditions which include the front-enclosed areas of the building and nine (9) surface level parking spaces. The proposed floor plan includes classrooms, office space, and a play area.

**Landscape Plan**

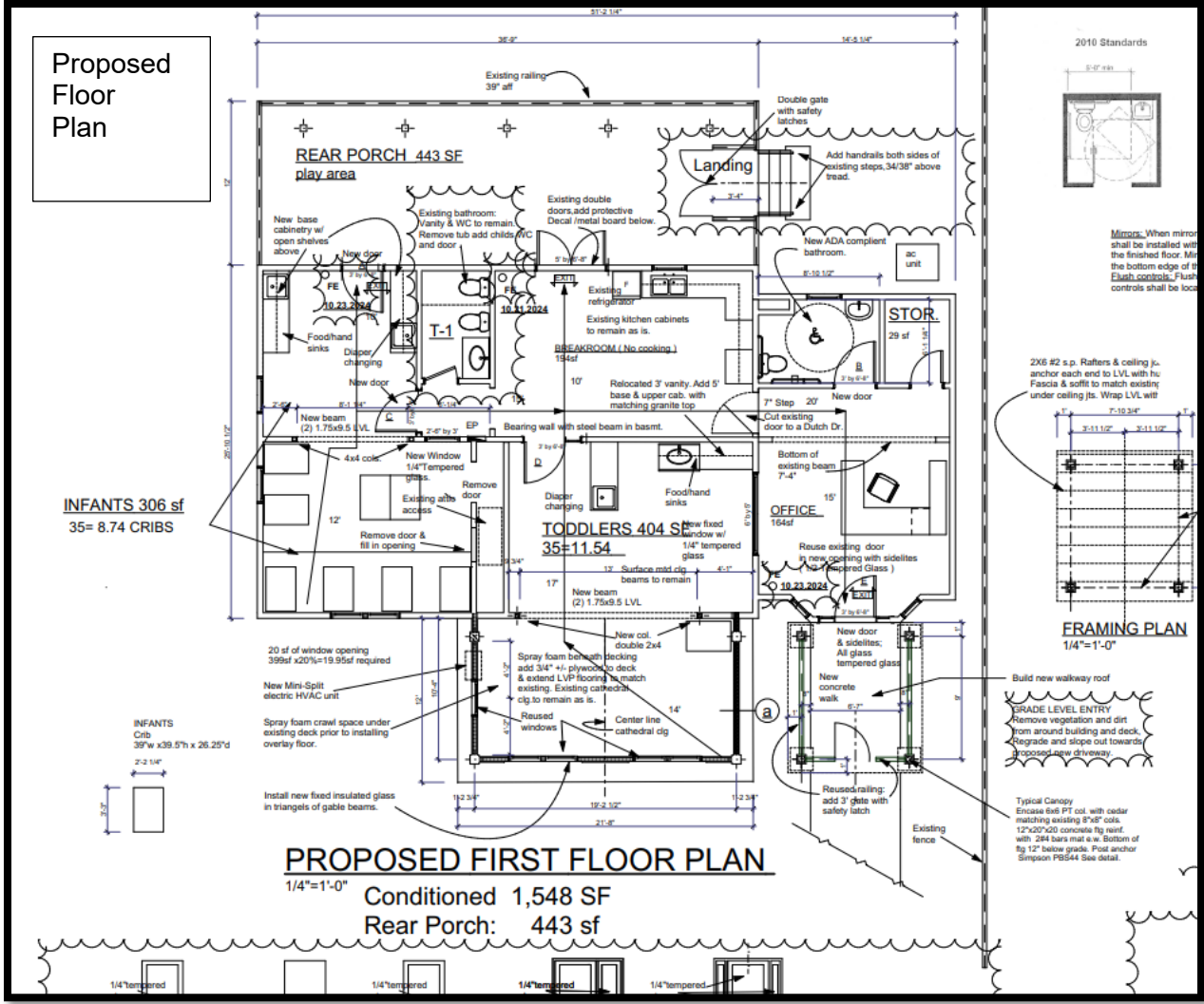
The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance if applicable. It is important to note that trees were planted but will need to be replaced. The site will be required to adhere to the tree replacement plan provided in the land disturbance permit plan set.

Attachment: COA2025-030 Staff Report (25-7380 : COA2025-030 3395 Medlock Bridge Road)

Proposed Site Plan



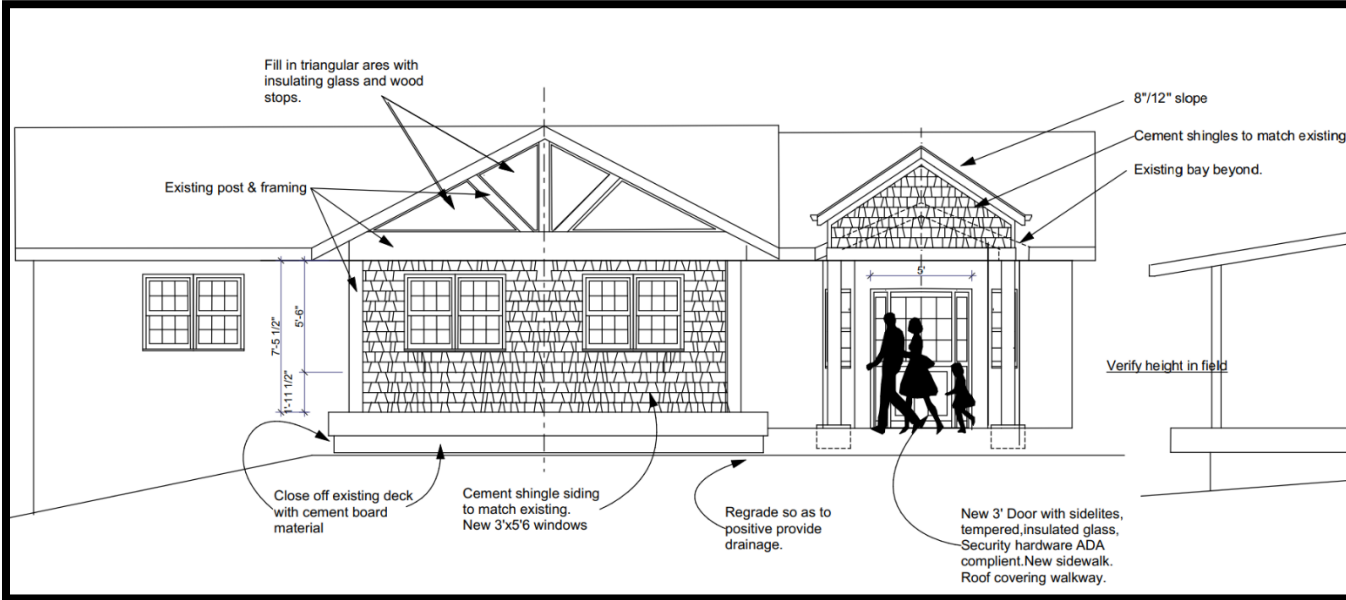
Attachment: COA2025-030 Staff Report (25-7380 : COA2025-030 3395 Medlock Bridge Road)



Attachment: COA2025-030 Staff Report (25-7380 : COA2025-030 3395 Medlock Bridge Road)

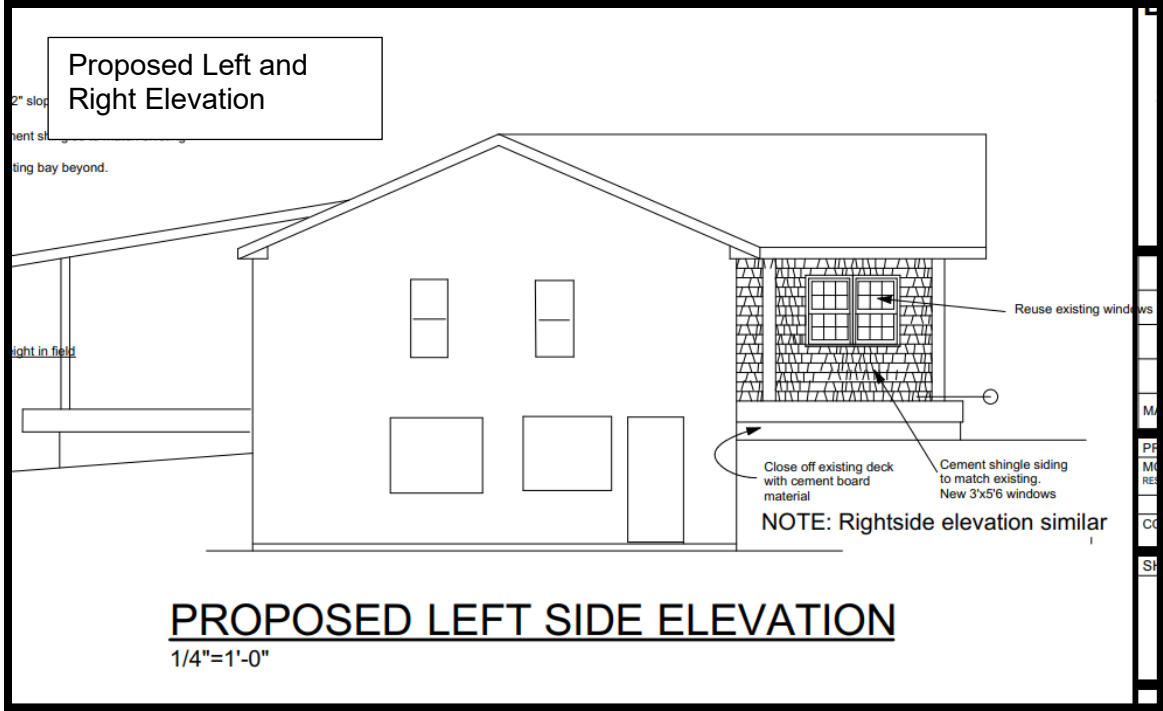


Attachment: COA2025-030 Staff Report (25-7380 : COA2025-030 3395 Medlock Bridge Road)



**Description of Front Elevation:** The front porch enclosure has cement shingle siding, the existing truss is enclosed with glass, and new windows. The existing deck will be closed off with cement board material.

**Discussion Items for Front Elevation:** What size are the wood columns that support the portico? What is the material used for the portico's railings?



**Description of Left and Right Elevation:** The left and right-side elevations of the porch enclosure will feature cement shingle siding, and the existing deck will be closed off with cement board material.

**Discussion Items for Left and Right Elevation:** N/A

**Applicable Building Standards:**

N/A

Attachment: COA2025-030 Staff Report (25-7380 : COA2025-030 3395 Medlock Bridge Road)



## Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	<b>Buckland Blue HC-151</b>	<b>Fiber Cement Siding- Shingle Style</b>
Primary Façade:	<b>Buckland Blue HC-151</b>	Fiber Cement Siding
Primary Façade: Third	N/A	N/A
Left Side:	<b>Buckland Blue HC-151</b>	<b>Fiber Cement Lap Siding</b>
Left Side: Second	<b>Buckland Blue HC-151</b>	<b>Fiber Cement Lap Siding</b>
Left Side: Third	N/A	N/A
Left Side:	<b>Buckland Blue HC-151</b>	Fiber Cement Siding
Right Side:	<b>Buckland Blue HC-151</b>	Fiber Cement Siding
Right Side: Second	<b>Buckland Blue HC-151</b>	Fiber Cement Siding
Right Side:	N/A	N/A
Right Side:	N/A	N/A
Rear: First	<b>Buckland Blue HC-151</b>	Fiber Cement Siding
Rear: Second	<b>Buckland Blue HC-151</b>	Fiber Cement Siding
Rear: Third	N/A	N/A
Rear: Basemnt	Buckland Blue HC-151	Concrete Block/Masonry

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REVISED JAN 2025

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Attachment: COA2025-030 Staff Report (25-7380 : COA2025-030 3395 Medlock Bridge Road)



## Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	<b>Buckland Blue HC-151</b>	<b>Painted Concrete Block</b>
Garage Doors	N/A	N/A
Trim	Pure White SW7005	Painted Wood
Mortar	<b>Buckland Blue HC-151</b>	Cement-Based
Gutters	White	Aluminum
Corner Board	Pure White SW7005	Painted Wood
Railings	Natural Wood Finish	Stained Wood
Windows	Pure White SW7005	Composite Frame
Window Sills	Pure White SW7005	Composite/Wood
Window Muntin/Mulli	Pure White SW7005	Composite Frame
Columns	Natural Wood Finish	Cedar
Other Architectural Features	Natural Wood Accents (Framing, gables)	Stained Wood
Other Architectural	<b>Buckland Blue HC-151</b>	Cedar

REVISED JAN 2025

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Attachment: COA2025-030 Staff Report (25-7380 : COA2025-030 3395 Medlock Bridge Road)

# Buckland Blue

HC-151

A dramatic yet slightly faded cerulean blue fit for traditional or contemporary spaces.

## Color Information

LRV ⓘ

23.2

## Also Known As

[Lakeside Cabin 1658](#)

## Collection

[Historical Colors](#)

## Recommendations

Should the ARB decide to grant approval, Staff recommends the following conditions:

1. Any modifications required by the Architectural Review Board to be completed prior to the issuance of a building permit.
2. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
3. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
4. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address: 3395 Medlock Bridge Rd, Norcross, GA, 30092	Lot # 0	Tax Parcel ID: R6286010	
LANDOWNER OF RECORD			
<b>If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.</b>			
Name: Jialing Hsu	Phone: 7707333462		
Address: 5385 Spalding Bridge Ct	City: Peachtree Corners	State: GA	Zip Code: 30092
APPLICANT			
Applicant Name: Jialing Hsu	Phone: 770-733-3462		
Company Name: BLG Realty Investment, LLC	Email: brightlearningacademyga@gmail.com		
Address: 5385 Spalding Bridge Ct,	City: Peachtree Corners	State: GA	Zip Code: 30092
DESCRIPTION OF PROJECT			
<b>Project Type:</b> <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Administrative			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:			
<p><b>We are remodeling the building structure on site to turn into a daycare/preschool facility. Three changes we will be making to the exterior are the enclosed front porch, new doorway and portico, and building color.</b></p> <p><b>1. The enclosed front porch will be combined with the front living room space to turn into a larger indoor space for classroom use. The space will be conditioned using the existing HVAC heating/cooling and a separate heating/cooling split unit. The exterior of the boarded up porch will be covered with matching shingles sidings and thick insulation windows at Pointer Arch.</b></p> <p><b>2. The new doorway will be moved to the right side of the building and completed with a portico entrance by installing 8 in. x 8 in. column, roof, railing and gate at the entrance.</b></p> <p><b>3. Finally, we will change the building color to Buckland Blue HC-151</b></p>			
STATEMENT			
<p>Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months?</p> <p style="text-align: center;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="text-align: center;">If yes, please list the board and reference number:</p> <p style="text-align: center;">_____</p>			
OWNER'S SIGNATURE			
Signature:	Date: 06/03/2025		
<p><b>NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <a href="https://eplansolution.com/norcrossga">https://eplansolution.com/norcrossga</a> Hard copies of application materials will not be accepted.</b></p>			

Attachment: COA2025-030 Application (25-7380 : COA2025-030 3395 Medlock Bridge Road)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width: 36'-9"	Length: 51'-2 1/4"	Height:* 18'
Area Dimensions:		
First Floor: 1288 sqft	Second Floor: N/A	Third Floor: N/A
Basement**: 306 sqft	Front Porch: 260 sqft	Rear Porch: <b>443 sqft</b>
Patio: To Be Enclosed 260sqft	Garage: <b>N/A</b>	
Primary Roof System: (Circle One)		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch: 6:12		
Secondary Roof Pitch: 4:12		
Additional Roof Pitch: 3:12		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: COA2025-030 Application (25-7380 : COA2025-030 3395 Medlock Bridge Road)



# Certificate of Appropriateness Application

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ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
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Primary Façade: Third	N/A	N/A
Left Side:	<b>Buckland Blue HC-151</b>	<b>Fiber Cement Lap Siding</b>
Left Side: Second	<b>Buckland Blue HC-151</b>	<b>Fiber Cement Lap Siding</b>
Left Side: Third	N/A	N/A
Left Side:	<b>Buckland Blue HC-151</b>	Fiber Cement Siding
Right Side:	<b>Buckland Blue HC-151</b>	Fiber Cement Siding
Right Side: Second	<b>Buckland Blue HC-151</b>	Fiber Cement Siding
Right Side:	N/A	N/A
Right Side:	N/A	N/A
Rear: First	<b>Buckland Blue HC-151</b>	Fiber Cement Siding
Rear: Second	<b>Buckland Blue HC-151</b>	Fiber Cement Siding
Rear: Third	N/A	N/A
Rear: Basemnt	Buckland Blue HC-151	Concrete Block/Masonry

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# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
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Garage Doors	N/A	N/A
Trim	Pure White SW7005	Painted Wood
Mortar	<b>Buckland Blue HC-151</b>	Cement-Based
Gutters	White	Aluminum
Corner Board	Pure White SW7005	Painted Wood
Railings	Natural Wood Finish	Stained Wood
Windows	Pure White SW7005	Composite Frame
Window Sills	Pure White SW7005	Composite/Wood
Window Muntin/Mulli	Pure White SW7005	Composite Frame
Columns	Natural Wood Finish	Cedar
Other Architectural Features	Natural Wood Accents (Framing, gables)	Stained Wood
Other Architectural	<b>Buckland Blue HC-151</b>	Cedar

Attachment: COA2025-030 Application (25-7380 : COA2025-030 3395 Medlock Bridge Road)



# Owner's Affidavit

Community Development Department Phone: 678-421-2027 65  
Lawrenceville Street Norcross, GA 30071

### Section I. Land Ownership

I, Jialing Hsu, hereby attest to ownership of the property located at 3395 Medlock Bridge Rd, Norcross, GA, Parcel ID# R6286010 for which this Application is submitted. The Ownership, as recorded on the deed, is in the name of Jialing Hsu, Sarah Hsu, Hau King Lam, Chih-Wei, Chung

### Section II. Type of Ownership

Individual     Corporation/LLC     Partnership     Government     Homeowner

Corporation/LLC/Partnership Name: **BLG Realty Investment**      Secretary of State Registration Number: **23158503**  
Registered Agent Name: **Hau King Lam**

Provide Names of all Officers/Members/General Partners (If applicable): **Jialing Hsu      Chih-Wei Chung**  
**Sarah Hsu**  
**Hau King Lam**

Registered Agent Address: **5385 Spalding Bridge Ct, Peachtree Corners, GA, 30092**      Registered Agent Phone #: **404-451-2881**

### COMPLETE BY OWNER

As the owner of the above designated property for which this affidavit is submitted, I wish to allow \_\_\_\_\_ (applicant's name) to apply for a \_\_\_\_\_ for the address mentioned in Section I of this form. I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief.

### NOTARY

Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.

Name: Jialing Hsu  
Address: 5385 Spalding Bridge Ct  
City, State, Zip Code: Peachtree Corners - GA, 30092  
Email address: blgrealtyinvestment@gmail.com  
Phoner Number: 770-733-3462

Owner's signature:

Sworn and subscribed before me this 4 day of JUNE, 2025.

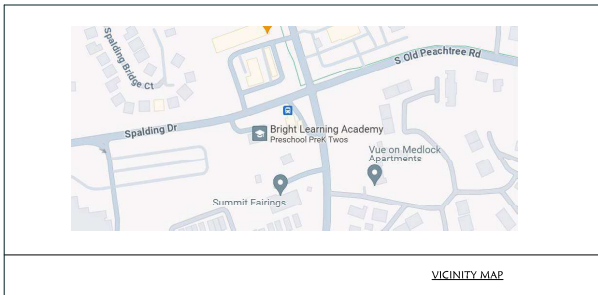
Notary Public:



Commission expires: 01-04-2026

Attachment: COA2025-030 Application (25-7380 : COA2025-030 3395 Medlock Bridge Road)

# BRIGHT LEARNING ACADEMY



**PLUMBING FIXTURE** LIFE TABLE 2002.1

**BUSINESS**

**Required**

- 1 wc per 25 females & 1 wc per 25 Males
- 1 Lav per 40
- 1 ADA Drinking Fountain per 100
- 1- Service sink

**Provided**

- Occupant load : 37 / 2 = 18.5 Male & 18.5 Female
- 1- ADA Unisex ADA Compliant
- 1- Full bath (existing)

**OCCUPANT LOAD**

OCCUPANT LOAD - NFPA101 (LIFE SAFETY CODE)  
TABLE 7.3.1.2 NFPA 101 (LIFE SAFETY CODE)  
Chapter 16 DAYCARE

**DAYCARE OCCUPANCY**

ROOM NAME	OCCUPANCY CLASSIFICATION	AREA (SF)	AREA (SF) PER PERSON	OCCUPANT LOAD
Office	Business	142	150	1
Breakroom	Assembly	194	15	13
Infants		306	35	11
Toddlers		404	35	11
Storage	Storage	29	500	1
<b>TOTAL</b>				<b>37</b>

**BUILDING CODES**

Commercial Building Codes 2024  
International Building Code, 2018 Edition, with Georgia Amendments (2018) (2021) (2024)  
Life Safety Code (LSC), 2018 Edition, with Georgia Amendments (2018) (2021) (2024)  
Georgia Accessibility Code (2018) (2021) (2024)  
International Fire Code, 2018 Edition, with Georgia Amendments (2018) (2021) (2024)  
International Fire Code, 2018 Edition, with State Fire Marshal Modifications (2018) (2021) (2024)  
International Fire Code, 2018 Edition, with Georgia Amendments (2018) (2021) (2024)  
International Mechanical Code, 2018 Edition, with Georgia Amendments (2018) (2021) (2024)  
International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2018) (2021) (2024)  
International Existing Building Code, 2018 Edition, with Georgia Amendments (2018) (2021) (2024)  
International Property Maintenance Code, 2018 Edition, with Georgia Amendments (2018) (2021) (2024)  
Natural Electrical Code, 2018 Edition, with Georgia Amendments (2018) (2021) (2024)  
International Energy Conservation Code, 2018 Edition, with Georgia Amendments & Addenda (2018) (2021) (2024)  
International Swimming Pool & Spa Code, 2018 Edition, with Georgia Amendments (2018) (2021) (2024)

\*2012 Gwinnett County Ordinance for Fire Prevention & Protection Ordinance  
-2023 OCGA 120-3-3 Georgia Minimum Fire Safety Standards  
-2018 International Fire Code (Amended by 120-3-3)  
-NFPA 101 Life Safety Code 2018 Edition (Amended by 120-3-3)  
-2010 ADA Standards for Accessible Design

10.21.2024

**FIRE MARSHALS NOTES**

- Key Lock Box as required per Fire Marshal  
The Fire Inspector will determine the appropriate location for the box during the 50% inspection. Generally these boxes are located 6 feet above grade to the right of the main entry doors. Contact the Fire Marshal's Office for order form information.
- The street address for the structure must be visible from the road.  
Number must be a minimum of 4 inches in height (fraction or more preferred) and have a minimum stroke width of 1/8 inch. The numbers must be in contrasting color to the building materials. The address may have to be located on both the building and the street sign for the building.
- Portable fire extinguishers will be provided per NFPA Standard No. 10. An Inspector of the Fire Marshal's Office prior to final inspection will determine the location and arrangement of the extinguishers.
- Fire alarm & fire sprinkler modifications shall be submitted through a plan solution for permitting by subcontractor.
- Fire extinguishers shall be inspected per requirement NFPA 10. The size shall be a minimum of 2A 10BC & mounted at a maximum of 48" above the finished floor to the top of the handle (2018 NFPA 104.6.1)
- GWINNETT COUNTY FIRE MARSHAL INSPECTIONS ARE TO BE SCHEDULED ONLINE AT: GwinnettZEP.com  
50% = Inspection of vertical penetrations.  
80% = Inspections of any fire rated partitions, floor or ceiling, ceiling cover up.  
100% = Final inspection, all systems and equipment are installed and operational.  
Any inspection requests made after 2:00 pm will be scheduled for the next business day.

10.21.2024

**EGGRESS**

Front Doors: 3  
Rear Doors: 1  
Total exit provided: 72"

**SHEET INDEX**

A-1 COVER SHEET  
A-2 DEMOLITION FIRST FLOOR PLAN  
A-3 PROPOSED FIRST FLOOR PLAN  
A-4 BASEMENT / CRAWL FLOOR PLAN  
A-5 EXISTING  
TOTAL SHEETS PER SET: 5

**PROJECT CRITERIA**

Occupancy classification: DAYCARE  
Type of construction: 55  
Sprinklers: NFPA 13  
Alarm: YES  
1 hour Protected: NO  
Number of stories: 1  
Mezzanine: No

**SCOPE OF WORK**

Renovate existing residence for a day care for 2 year olds & infants. Minor electrical & plumbing, HVAC to remain as is.

**CONTACTS**

**OWNER:**  
BSG REALTY INVESTMENT LLC  
2385 Spalding Bridge Ct  
Peachtree Corners, GA 30092  
bsginvestment@gmail.com

**24 HOUR CONTACT PERSON:**  
Julie Hsu  
C: 770-733-3462

**OCCUPANT:**  
BRIGHT LEARNING ACADEMY  
2310 Spalding Drive  
Norcross, GA 30092

**CONTRACTOR:**  
RING FLOORING COVERING, Inc.  
1888 Howell Road SW  
Lawrenceville, GA 30047

**PROJECT MANAGER:**  
Rhyn Hixon  
C: 404-493-5150

**rjd architect, llc**  
231 VALUJAN DRIVE  
ALPHARETTA, GA. 30009  
OFFICE: (770) 751-3393  
CELL: (770) 722-1965  
E-Mail: rjdarchitect@mindspring.com

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**RICHARD J. DEBBAN**  
10/28/2024

**BRIGHT LEARNIN ACADEMY**  
3395 Medlock Bridge Road  
Norcross, Georgia 30092

MARK	DATE	DESCRIPTION

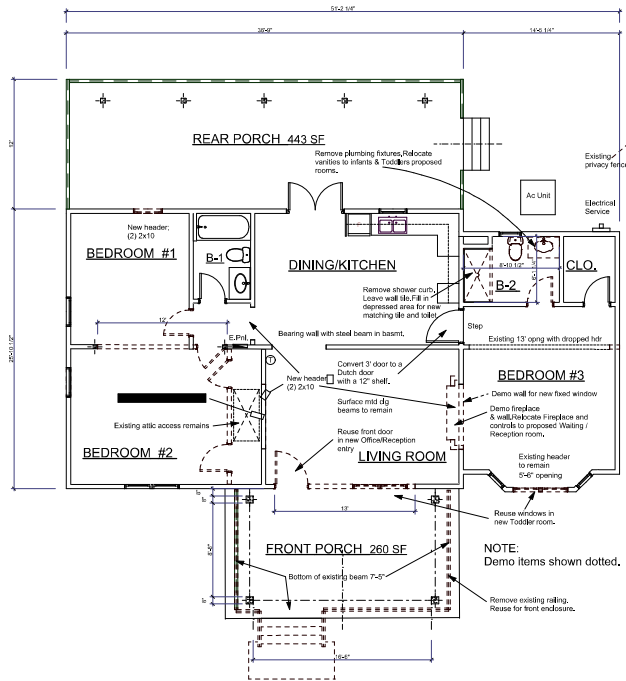
PROJECT NO: 2024-17  
MODEL FILE: BLD ARCHITECT\PROJECTS\2024\17 BRIGHT LEARNING ACADEMY\ARCH-ADDP\PLN-RESUBMIT FOR PERMIT 10.28.2024.dwg  
COPYRIGHT:  
SHEET TITLE

COVER SHEET

**A-1**

RESUBMIT FOR PERMIT 10.28.2024

Attachment: COA2025-030 Application (25-7380 : COA2025-030 3395 Medlock Bridge Road)



**EXISTING & DEMOLITION**

1/4"=1'-0"

Conditioned 1,288 SF  
 Front Porch: 260 sf  
 Rear Porch: 443 sf

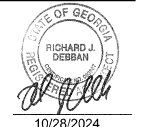
**DEMO NOTES**

1. DATA PROVIDED ON THESE DRAWINGS WAS NOT ACCURATE AS SHOWN AND PLANNING CAN OBTAIN MORE ACCURATE DATA. THE CONTRACTOR SHALL VERIFY ALL DATA AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
2. CONTRACTOR TO REMOVE EXISTING PLUMBING FIXTURES AND RELOCATE TO NEW LOCATIONS AS SHOWN ON THESE DRAWINGS. REMOVE EXISTING SHOWER CURBS AND LEAVE WALLS TO BE FILLED IN WITH MATCHING TILE AND GROUT.
3. CONTRACTOR TO REMOVE EXISTING BEARING WALLS WITH STEEL BEAMS IN BASMENT AND REPLACE WITH NEW BEARING WALLS AS SHOWN ON THESE DRAWINGS.
4. CONTRACTOR TO REMOVE EXISTING DOORS AND REPLACE WITH NEW DOORS AS SHOWN ON THESE DRAWINGS.
5. CONTRACTOR TO REMOVE EXISTING WINDOW FRAMES AND REPLACE WITH NEW WINDOW FRAMES AS SHOWN ON THESE DRAWINGS.
6. CONTRACTOR TO REMOVE EXISTING WALLS AND REPLACE WITH NEW WALLS AS SHOWN ON THESE DRAWINGS.
7. CONTRACTOR TO REMOVE EXISTING CEILING AND REPLACE WITH NEW CEILING AS SHOWN ON THESE DRAWINGS.
8. CONTRACTOR TO REMOVE EXISTING FLOORING AND REPLACE WITH NEW FLOORING AS SHOWN ON THESE DRAWINGS.
9. CONTRACTOR TO REMOVE EXISTING PAINT AND REPLACE WITH NEW PAINT AS SHOWN ON THESE DRAWINGS.
10. CONTRACTOR TO REMOVE EXISTING TRIM AND REPLACE WITH NEW TRIM AS SHOWN ON THESE DRAWINGS.
11. CONTRACTOR TO REMOVE EXISTING LIGHT FIXTURES AND REPLACE WITH NEW LIGHT FIXTURES AS SHOWN ON THESE DRAWINGS.
12. CONTRACTOR TO REMOVE EXISTING ELECTRICAL PANELS AND REPLACE WITH NEW ELECTRICAL PANELS AS SHOWN ON THESE DRAWINGS.
13. CONTRACTOR TO REMOVE EXISTING AC UNITS AND REPLACE WITH NEW AC UNITS AS SHOWN ON THESE DRAWINGS.
14. CONTRACTOR TO REMOVE EXISTING SERVICE PANELS AND REPLACE WITH NEW SERVICE PANELS AS SHOWN ON THESE DRAWINGS.



**rjd architect, llc**  
 231 VALUJAN DRIVE  
 ALPHARETTA, GA. 30009  
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**BRIGHT LEARNIN ACADEMY**  
 3395 Medlock Bridge Road  
 Norcross, Georgia 30092

MARK	DATE	DESCRIPTION

PROJECT NO: 2024-17  
 MODEL FILE: 10287 FOR PERMIT 10287.rvt

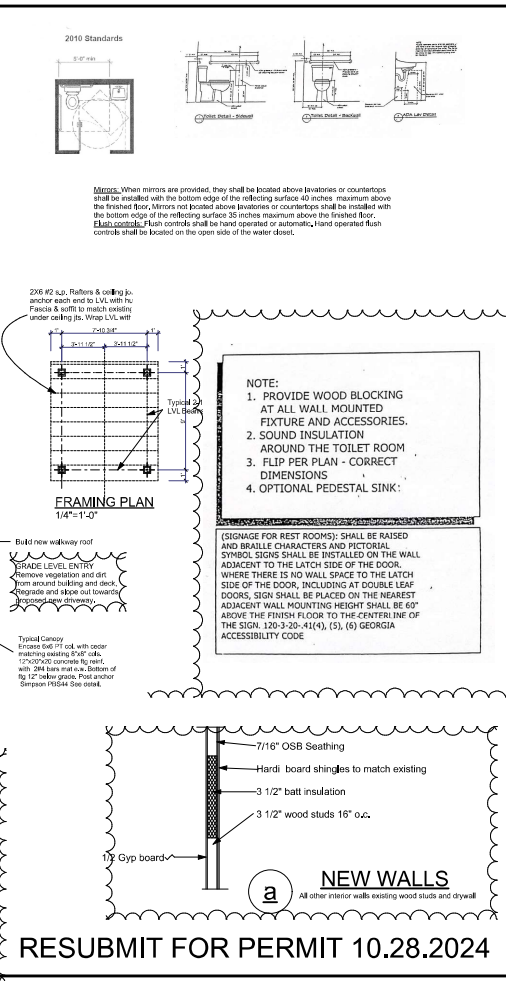
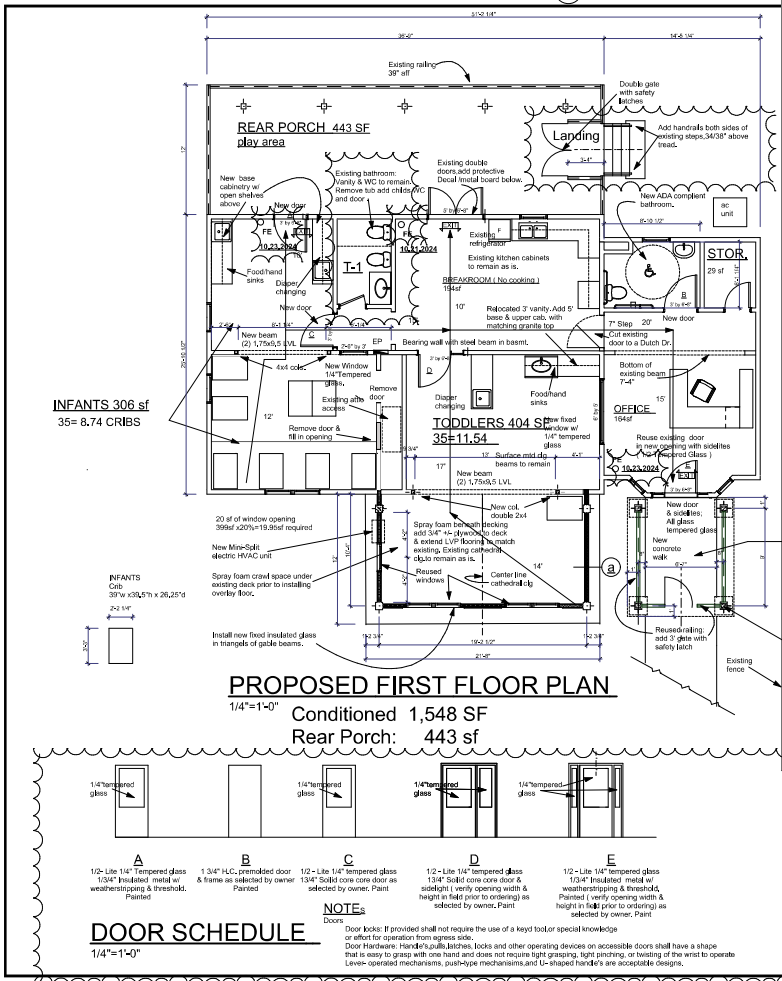
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 SHEET TITLE

EXISTING & DEMO FIRST FLOOR PLAN

A-2

RESUBMIT FOR PERMIT 10.28.2024

Attachment: COA2025-030 Application (25-7380 : COA2025-030 3395 Medlock Bridge Road)



**rdj architect, llc**  
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**STATE OF GEORGIA**  
RICHARD J. DEBBAN  
10/28/2024

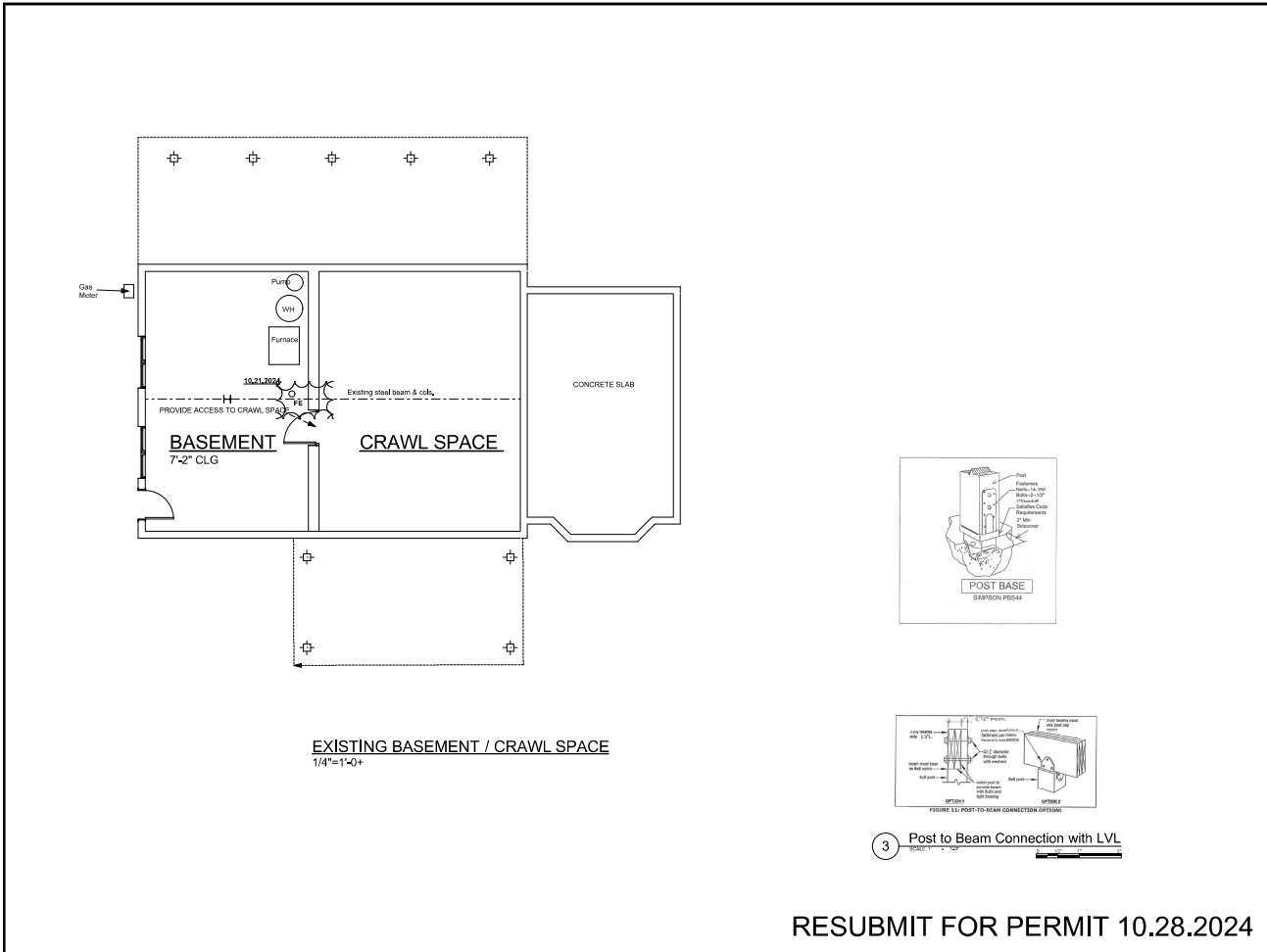
**BRIGHT LEARNIN ACADEMY**  
3395 Medlock Bridge Road  
Norcross, Georgia 30092

MARK	DATE	DESCRIPTION
PROJECT NO. 2024-17		
MODEL FILE: 10.28.2024_17_12.25.24_17_14.dwg		
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SHEET TITLE		

PROPOSED FIRST FLOOR PLAN

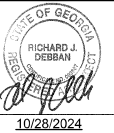
A-3

D:\OnSite + RJD ARCHITECTS\PROJECTS\2024\2024-17 BRIGHT LEARNING ACADEMY\ARCH\AD\FILM FILES\RESUBMIT FOR PERMIT 10.28.2024\AC20\_4.rvt



rjd  
architect,  
llc  
231 VALUHAN DRIVE  
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**BRIGHT LEARNIN ACADEMY**

3395 Medlock Bridge Road  
Norcross, Georgia 30092

MARK	DATE	DESCRIPTION

PROJECT NO: 2024-17  
MODEL FILE:  
10.28.2024\10.28.2024\AC20\_4.rvt

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SHEET TITLE  
BASEMENT / CRAWLSPAC

A-4

RESUBMIT FOR PERMIT 10.28.2024

Attachment: COA2025-030 Application (25-7380 : COA2025-030 3395 Medlock Bridge Road)

**EXISTING ELEVATIONS**

**PROPOSED FRONT ELEVATION**  
1/4"=1'-0"

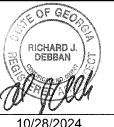
**PROPOSED LEFT SIDE ELEVATION**  
1/4"=1'-0"

**RESUBMIT FOR PERMIT 10.28.2024**



**rjd**  
architect,  
llc  
231 VALUJAN DRIVE  
ALPHARETTA, GA. 30009  
OFFICE: (770) 751-3393  
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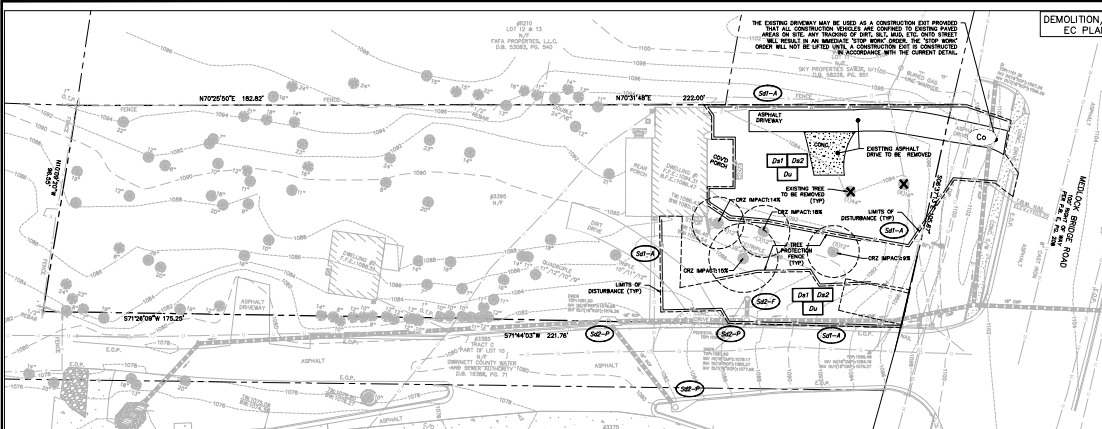


**BRIGHT LEARNIN ACADEMY**  
3395 Medlock Bridge Road  
Norcross, Georgia 30092

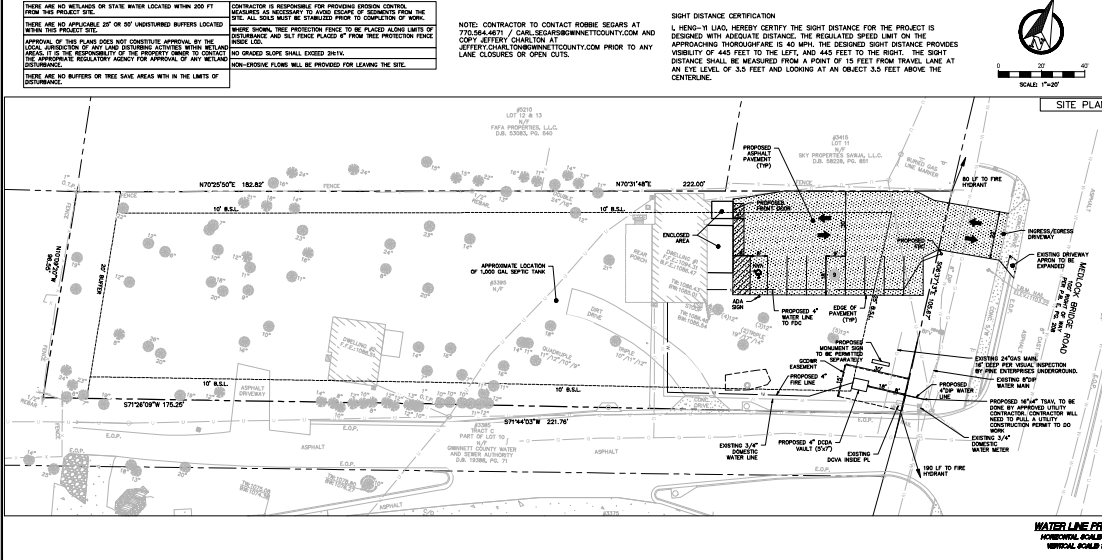
MARK	DATE	DESCRIPTION
PROJECT NO. 2024-17		
MODEL FILE:		
PROJECT FOR PERMIT 1025_2514_A02_04		
COPYRIGHT:		
SHEET TITLE		
ELEVATIONS		

A-5





Tree #	Species	DBH (IN)	Height (FT)	Remarks
1	HAWKWOOD	60	18	
2	HAWKWOOD	60	18	
3	HAWKWOOD	60	18	
4	HAWKWOOD	60	18	
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99	HAWKWOOD	60	18	
100	HAWKWOOD	60	18	



**REVISIONS**

#	DATE	DESCRIPTION
1	11/14/24	ISSUED FOR PERMITTING
2	11/14/24	ISSUED FOR PERMITTING
3	11/14/24	ISSUED FOR PERMITTING
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99	11/14/24	ISSUED FOR PERMITTING
100	11/14/24	ISSUED FOR PERMITTING

**DEMOLITION/EC/SITE PLAN**

SHEET: C02 DATE: 11/14/24  
 PROJ: 24-11

**ONE POINT, LLC**  
 3744448.2024  
 onepointllc.com

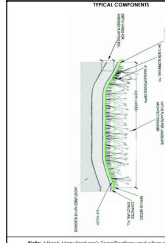
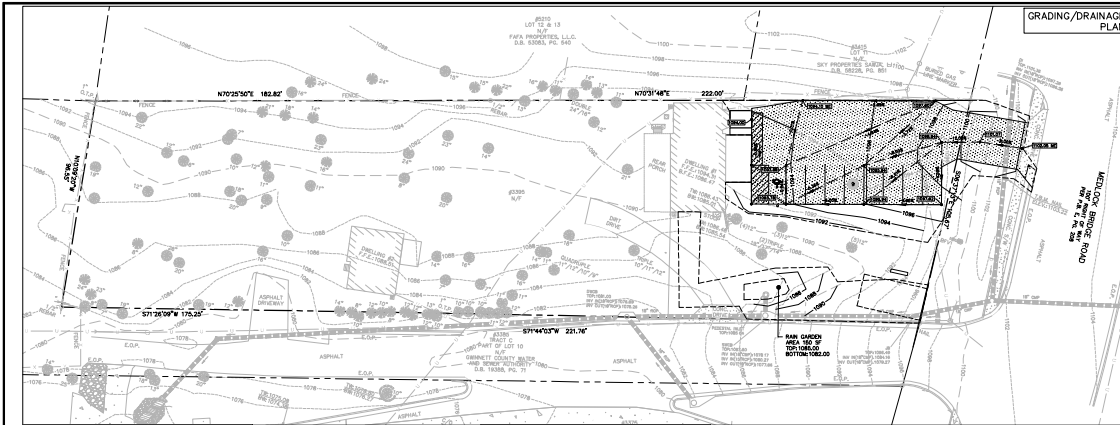
**REVISIONS**

**DEMOLITION/EC/SITE PLAN**

**SHEET: C02**

**DATE: 11/14/24**

**PROJ: 24-11**



**TRING CALCULATION**

Contributing Drainage Area (Square Feet)	18	24	30	36
500	5.0	5.0	5.1	5.2
1000	10	10	10.2	10.4
1500	15	15	15.3	15.6
2000	20	20	20.4	20.8
2500	25	25	25.5	26.0
3000	30	30	30.6	31.2
3500	35	35	35.7	36.4
4000	40	40	40.8	41.6
4500	45	45	45.9	46.8
5000	50	50	51.0	52.0

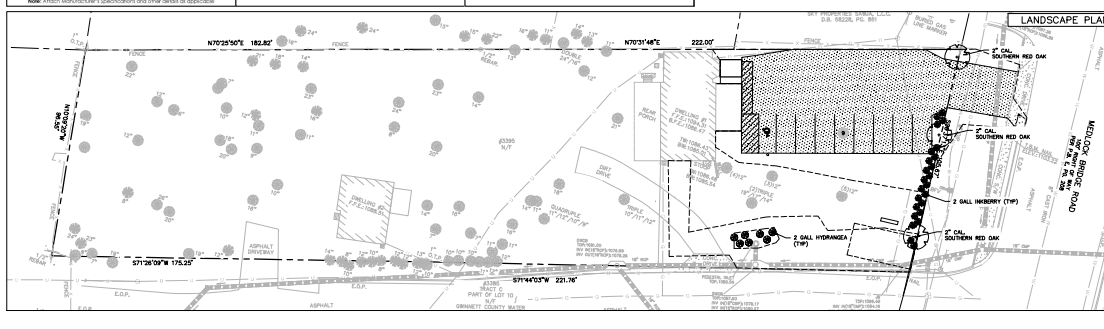
**CONSTRUCTION TIPS**

1. The proposed rain garden shall be constructed in accordance with the specifications and details shown on this plan.
2. The rain garden shall be constructed in accordance with the specifications and details shown on this plan.
3. The rain garden shall be constructed in accordance with the specifications and details shown on this plan.
4. The rain garden shall be constructed in accordance with the specifications and details shown on this plan.
5. The rain garden shall be constructed in accordance with the specifications and details shown on this plan.
6. The rain garden shall be constructed in accordance with the specifications and details shown on this plan.
7. The rain garden shall be constructed in accordance with the specifications and details shown on this plan.
8. The rain garden shall be constructed in accordance with the specifications and details shown on this plan.
9. The rain garden shall be constructed in accordance with the specifications and details shown on this plan.
10. The rain garden shall be constructed in accordance with the specifications and details shown on this plan.

**WATER QUALITY NARRATIVE AND DESIGN**

THE PROPOSED DEVELOPMENT WILL PROVIDE STORMWATER RUNOFF REDUCTION THROUGH THE USE OF A RAIN GARDEN LOCATED AT THE SOUTH-EASTERN PORTION OF THE PROPERTY. THE ROOF AREA WILL BE ROUTED TO THE RAIN GARDEN THROUGH DOWNSPOUTS AND THERE WILL ALSO BE SHEET FLOW FROM PARKING AREAS.

FOR 3,140 SF OF OVERALL IMPERVIOUS AREA ADDED ON PROPERTY, WE WILL NEED 36" OF AMENDED SOIL AND A RAIN GARDEN OF 147 SF MINIMUM. THE PROPOSED RAIN GARDEN IS 150 SF AS SHOWN ON PLAN.



**LANDSCAPE REQUIREMENTS**

STREET TREES:  
MINIMUM 1 OVERTORY TREE FOR EVERY 40 LF OF ROAD FRONTAGE. MIN 2" CAL.

LANDSCAPE SCREENING TREES:  
MINIMUM 10 TREES PER 50 LF OF STREET ROAD FRONTAGE. TREES SHALL BE 2" CAL. AT THE TIME OF PLANTING. TREES MUST BE PLANTED TWO ROWS DEEP AND PROVIDE A SCREEN WITHIN THREE YEARS OF PLANTING.

ROAD FRONTAGE = 150 LF = 28 LF OVERLAY = 84 LF  
84 LF / 40 = 2.1 = 3 OVERTORY TREES REQUIRED

84 LF / 24 = 3.5 = 4 TREES REQUIRED  
= 24 TREES PROVIDED

**PLANT SCHEDULE**

QTY	SYMBOL	COMMON NAME	SIZE	SPACING
3	1	CELESTIAL PALM	SOUTHERN RED OAK	2' AS SHOWN
24	2	LEX GLABRA	INHERENT	2 CAL 36"
7	3	HYDRANGEA QUERCIFOLIA	ORNAMENTAL HYDRANGEA	2 CAL 48"

**ONE POINT, LLC**  
370-448-3337  
onepoint@onepoint.com

**GEOTECHNICAL**  
811

**SITE IMPROVEMENTS**  
JURISDICTION: CITY OF NORFOLK  
ISSUED FOR PERMITTING  
LOCATION: 3330 MEDLOCK BRIDGE RD.  
NORFOLK, VA

**REVISIONS**

#	DATE	BY	DESCRIPTION
1	11/14/24	JL	ISSUED FOR PERMITTING
2	11/14/24	JL	ISSUED FOR PERMITTING
3	11/14/24	JL	ISSUED FOR PERMITTING
4	11/14/24	JL	ISSUED FOR PERMITTING
5	11/14/24	JL	ISSUED FOR PERMITTING
6	11/14/24	JL	ISSUED FOR PERMITTING
7	11/14/24	JL	ISSUED FOR PERMITTING

**GRADING AND LANDSCAPE PLAN**

SHEET C03 DATE 04/24/24  
PROJ: 24-112





**Before consturction condition**



Attachment: COA2025-030 Application (25-7380 : COA2025-030 3395 Medlock Bridge Road)

**Current Condition**



Attachment: COA2025-030 Application (25-7380 : COA2025-030 3395 Medlock Bridge Road)



Attachment: COA2025-030 Application (25-7380 : COA2025-030 3395 Medlock Bridge Road)



Attachment: COA2025-030 Application (25-7380 : COA2025-030 3395 Medlock Bridge Road)

Logo enlarged



Attachment: COA2025-030 Application (25-7380 : COA2025-030 3395 Medlock Bridge Road)



**Department of Community Development**

---

TO: Architectural Review Board  
FROM: LeDarius Scott  
DATE: July 15, 2025  
SUBJECT: COA2025-031 148 North Peachtree Street  
CC:

---

*Please review attached Staff Reports and supporting documents for submitted application.*

Consideration of a proposed garage door, window modification, door modification, and staircase modification to a previously approved COA application (COA2022-020), and the exterior paint color.

[COA2025-031 Staff Report](#)

[COA2025-031 Application](#)



Meeting Date: 7/15/2025 at 6:00 PM

Petition Number: COA2025-031

Project Type:

Amendments to an approved COA

Property Location:

148 North Peachtree Street

Tax Parcel ID:

6254 161

Petitioner:

Michael and Sandy Comtois

Petitioner's Request:

Consideration of a proposed garage door, window modification, door modification, and staircase modification to a previously approved COA application (COA2022-020), and the exterior paint color.

Vicinity Map:



City of Norcross Architectural Review Board Meeting for July 15, 2025, at 6:00 PM

Attachment: COA2025-031 Staff Report (25-7381 : COA2025-031 148 North Peachtree Street)

PROPERTY INFORMATION	
<b>Property Location</b>	148 North Peachtree Street
<b>Acreage:</b>	Approximately 0.77 acres
<b>Existing Lot Dimensions:</b>	Lot frontage along North Peachtree Street: Approximately 99.38 feet Lot Depth: 307.61 feet
<b>Existing Building Dimensions:</b>	N/A
<b>Topography:</b>	High Point: Front Low Point: Rear
<b>Elevation:</b>	High Point: 1080 Low Point: 1044
<b>Encumbrances:</b>	The property is located in the National Historic District

**Project Description**

The applicant seeks to amend the conditions of a previously approved Certificate of Appropriateness application (COA2022-020) to allow for a garage door, window modification, door modification, and staircase modification. The previous approval conditions are attached to this analysis. The applicant is also seeking consideration of the exterior paint color(s) for the home, which per COA2022-020 was stipulated that all paint color selection be approved administratively by the Architectural Review Board. Snowbound (SW7004) is the proposed primary color being used for the home.

**Site Plan**

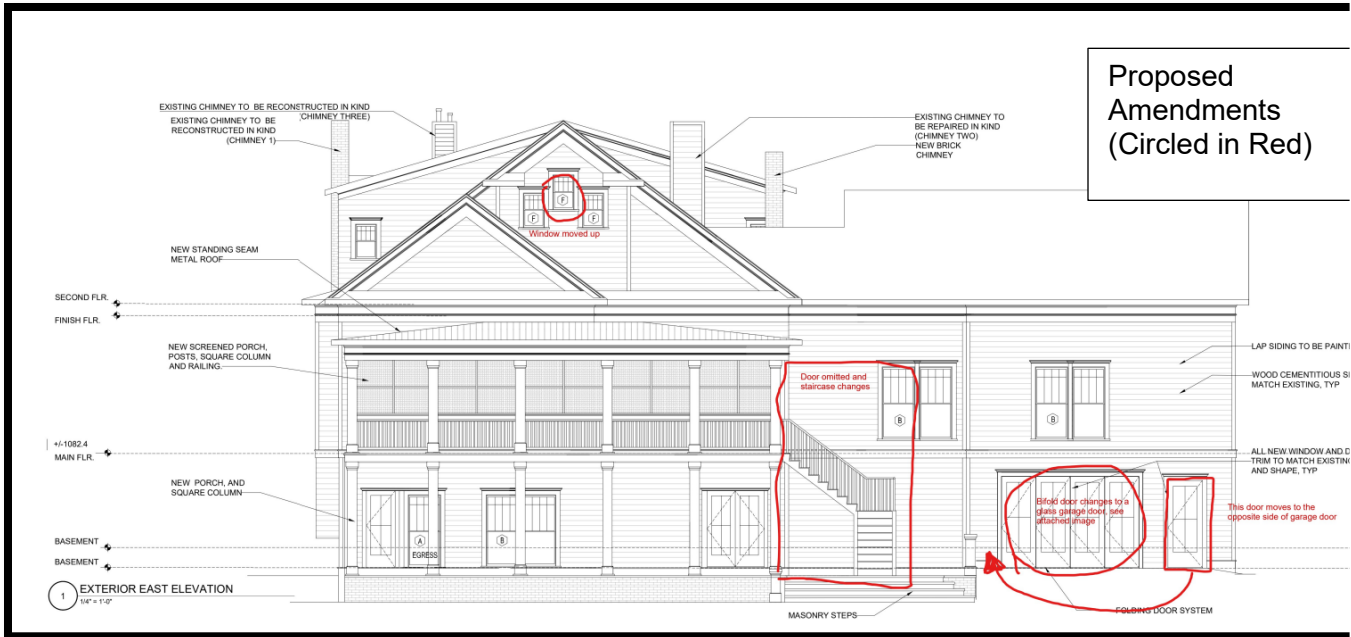
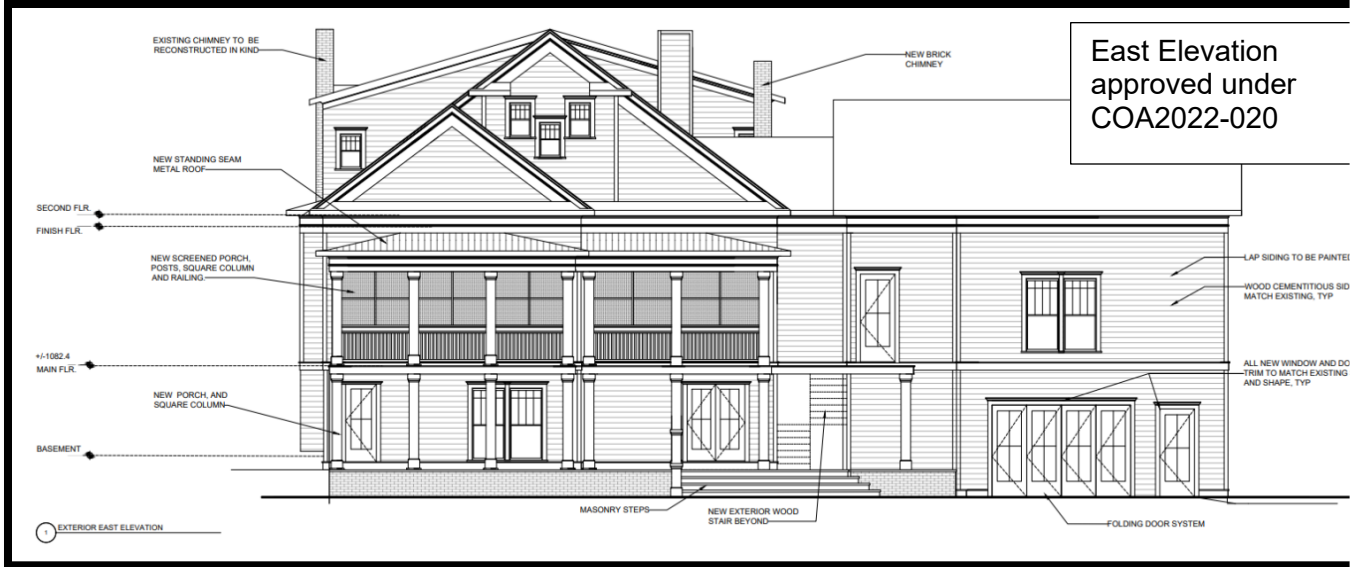
The applicant’s site plan shows existing footprint of the home along with a proposed addition. To address the setback encroachment of the proposed addition, the applicant did apply for and receive a variance (ZBA2024-004) to reduce the side setback from the required 10 feet to 7’11”.

**Landscape Plan**

The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance if applicable.

Attachment: COA2025-031 Staff Report (25-7381 : COA2025-031 148 North Peachtree Street)

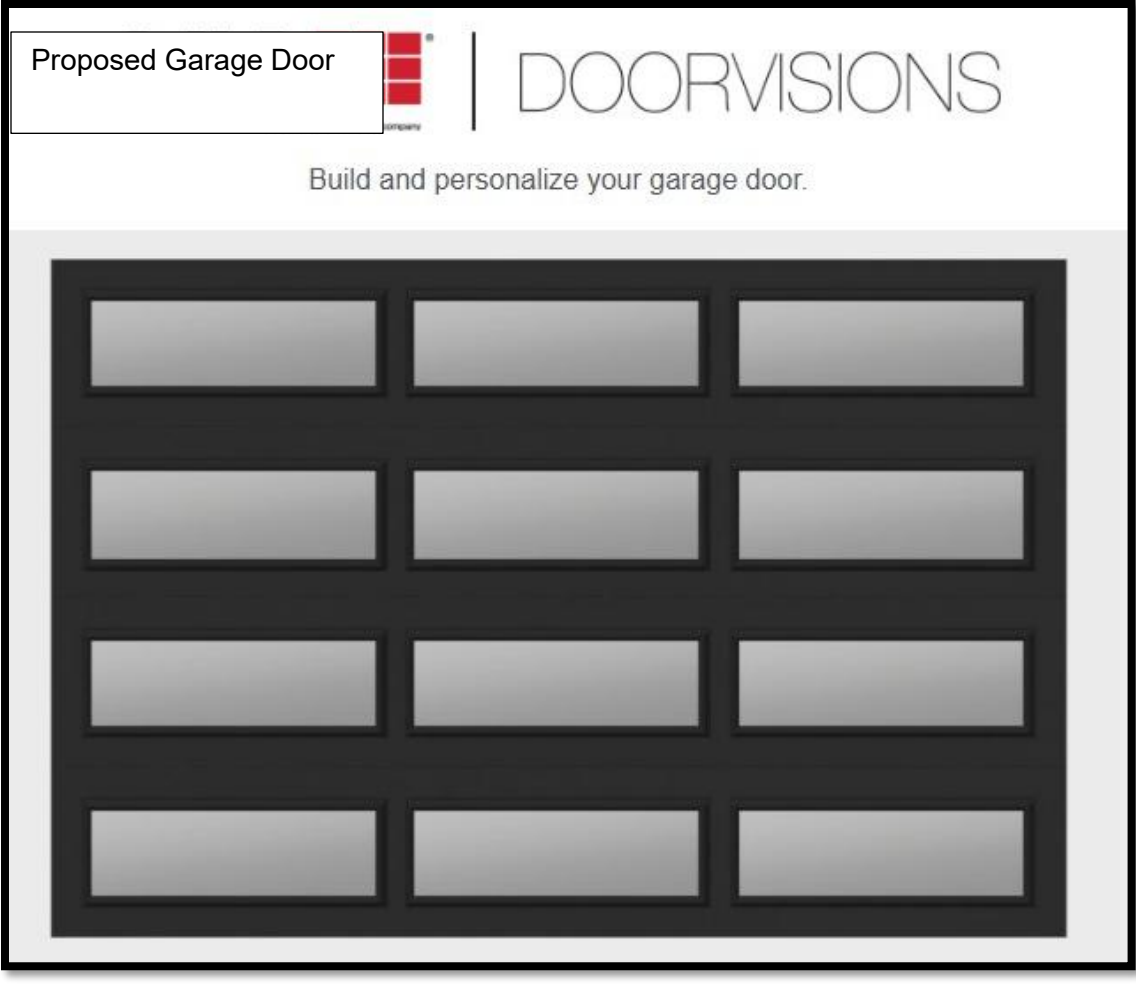




**Description of Amendments to East Elevation:** The middle window on the gable is moved up, the staircase changes from a straight run to one with a landing and changes direction, the door to the rear stairs is omitted, the door on the right side of the garage door is moved to the left side of the garage door, and the bifold door system is changed to the a garage door.

**Discussion Items for East Elevation Proposal:** N/A

Attachment: COA2025-031 Staff Report (25-7381 : COA2025-031 148 North Peachtree Street)



Discussion Items for Proposed Garage: N/A

Attachment: COA2025-031 Staff Report (25-7381 : COA2025-031 148 North Peachtree Street)



**CERTIFICATE OF APPROPRIATENESS APPLICATION**

(If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.)

**ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM**

*Facade and sides*

Component	Color (Include manufacturer's ID)	Material
Primary Façade: First Floor	Paint Snowbound SW 7004	wood / cementitious siding
Primary Façade: Second Floor	Paint Snowbound SW 7004	wood / cementitious siding
Primary Façade: Third Floor	N/A	N/A
Left Side: First Floor	Paint Snowbound SW 7004	wood / cementitious siding
Left Side: Second Floor	Paint Snowbound SW 7004	wood / cementitious siding
Left Side: Third Floor	N/A	N/A
Left Side: Basement	Paint Repose Gray SW 7015	Brick
Right Side: First Floor	Paint Snowbound SW 7004	wood / cementitious siding
Right Side: Second Floor	Paint Snowbound SW 7004	wood / cementitious siding
Right Side: Third Floor	N/A	N/A
Right Side: Basement	Paint Repose Gray SW 7015	Brick
Rear: First Floor	Paint Snowbound SW 7004	wood / cementitious siding
Rear: Second Floor	Paint Snowbound SW 7004	wood / cementitious siding
Rear: Third Floor	N/A	N/A
Rear: Basement	Paint Repose Gray SW 7015	Brick

**DEADLINE AND HEARING SCHEDULE**

The process for obtaining a COA from the ARB are as follows: 1) applications submitted on the 3rd Tuesday of each month 2) will be heard before the Architectural Review Board on the 3<sup>rd</sup> Tuesday of the following month.

# 1: Submit on Tuesday, \_\_\_\_\_, and be heard before the ARB on Tuesday, \_\_\_\_\_.

# 2: Submit on Tuesday, \_\_\_\_\_, and be heard before the ARB on Tuesday, \_\_\_\_\_.

(THE APPLICANT OR APPLICANT'S AGENT MUST ATTEND ALL MEETINGS REGARDING THE APPLICATION)

Attachment: COA2025-031 Staff Report (25-7381 : COA2025-031 148 North Peachtree Street)



**CERTIFICATE OF APPROPRIATENESS APPLICATION**

(If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.)

**ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM**

*Facade and sides*

Component	Color (Include manufacturer's ID)	Material
Primary Façade: First Floor	Paint Snowbound SW 7004	wood / cementitious siding
Primary Façade: Second Floor	Paint Snowbound SW 7004	wood / cementitious siding
Primary Façade: Third Floor	N/A	N/A
Left Side: First Floor	Paint Snowbound SW 7004	wood / cementitious siding
Left Side: Second Floor	Paint Snowbound SW 7004	wood / cementitious siding
Left Side: Third Floor	N/A	N/A
Left Side: Basement	Paint Repose Gray SW 7015	Brick
Right Side: First Floor	Paint Snowbound SW 7004	wood / cementitious siding
Right Side: Second Floor	Paint Snowbound SW 7004	wood / cementitious siding
Right Side: Third Floor	N/A	N/A
Right Side: Basement	Paint Repose Gray SW 7015	Brick
Rear: First Floor	Paint Snowbound SW 7004	wood / cementitious siding
Rear: Second Floor	Paint Snowbound SW 7004	wood / cementitious siding
Rear: Third Floor	N/A	N/A
Rear: Basement	Paint Repose Gray SW 7015	Brick

**DEADLINE AND HEARING SCHEDULE**


The process for obtaining a COA from the ARB are as follows: 1) applications submitted on the 3rd Tuesday of each month 2) will be heard before the Architectural Review Board on the 3<sup>rd</sup> Tuesday of the following month.

# 1: Submit on Tuesday, \_\_\_\_\_, and be heard before the ARB on Tuesday, \_\_\_\_\_.

# 2: Submit on Tuesday, \_\_\_\_\_, and be heard before the ARB on Tuesday, \_\_\_\_\_.

(THE APPLICANT OR APPLICANT'S AGENT MUST ATTEND ALL MEETINGS REGARDING THE APPLICATION)


Attachment: COA2025-031 Staff Report (25-7381 : COA2025-031 148 North Peachtree Street)

SAVE 

*September 2022 Color of the Month*





**SW 7004**

# Snowbound

**FULL DETAILS** 

With its slight gray undertone, this versatile cool white pairs well with other gray-influenced colors. Like stepping into a snowy glade.


Get this color in a:

 Color Sample	 Paint Sample	 Interior Paint	 Exterior Paint
---------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------

*Expert Pick*





**SW 7015**

# Repose Gray

**FULL DETAILS** 

Tranquil tones and soothing warmth make this light gray a great choice in almost any space. For a complementary trim, pair with Eider White.

Get this color in a:

 Color Sample	 Paint Sample	 Interior Paint	 Exterior Paint
-----------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------

Attachment: COA2025-031 Staff Report (25-7381 : COA2025-031 148 North Peachtree Street)

COA2022-020  
Conditions of  
Approval



MAYOR **CRAIG NEWTON** • MAYOR PRO TEM **MATT MYERS** • COUNCILMEMBER **ANDREW HIXSON** • COUNCILMEMBER **JOSH BARE**  
COUNCILMEMBER **BRUCE GAYNOR** • COUNCILMEMBER **ARLENE BECKLES** • CITY MANAGER **ERIC JOHNSON** • CITY CLERK **MONIQUE LANG**

April 24, 2022

Christopher Evans  
297 Prince Avenue  
Athens, GA 30601

Dear Mr. Evans,

Your application, COA2022-020, request for architectural review of proposed renovation and addition to an existing historic single-family home located at 148 North Peachtree Street was heard on June 21, 2022 by the Norcross Architectural Review Board. After careful review and consideration, your application was approved, subject to the following conditions:

1. All paint color selection shall be approved administratively by the ARB
2. Add a 10-inch band board on detached garage on the left and right elevation at the bottom of gable
3. Add railing on rear elevation on second floor door
4. All windows that contain light dividers shall provide muntins of appropriate dimension to convey depth from street view.
5. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
6. Any changes from the Architectural Review Board approved component shall follow established procedures and may require additional public hearings.
7. A final Architectural Review Board inspection shall occur prior to release of the certificate of occupancy to confirm compliance with the above conditions.

Please submit building plans for review and approval through the City's online portal at <https://norcrossga.eplanning.com/norcrossga/index.html> prior to commencing construction activity. This letter should be shown as part of the drawings submitted for permit approval. If you have any questions, please contact me at 770-449-4062.

Sincerely,

Louisa Tovar  
Senior Planner  
Community Development & Planning Department

65 LAWRENCEVILLE STREET, NORCROSS, GEORGIA 30071  
(678) 421-2027 UPSTAIRS CITY HALL (770) 242-0824 FAX (770) 448-2111 POLICE DEPARTMENT  
<http://www.norcrossga.net>

Attachment: COA2025-031 Staff Report (25-7381 : COA2025-031 148 North Peachtree Street)

## **Recommendations**

Should the ARB decide to grant approval, Staff recommends the following conditions:

1. All previous architectural conditions of approval, not otherwise in conflict, to remain in effect.
2. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
3. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
4. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address: 148 North Peachtree Street	Lot #	Tax Parcel ID: R6254161	
LANDOWNER OF RECORD			
<b>If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.</b>			
Name: Michael and Sandy Comtois	Phone: 770 656 1053		
Address: 595 Lakeshore Drive	City: Berkeley Lake	State: GA	Zip Code: 30096
APPLICANT			
Applicant Name: Michael and Sandy Comtois	Phone: 770-656-1053		
Company Name:	Email: sandycomtois1@gmail.com		
Address: 595 Lakeshore Drive	City: Berkeley Lake	State: GA	Zip Code: 30096
DESCRIPTION OF PROJECT			
<b>Project Type</b> <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:			
Revisions include:			
1) Change the bifold door system at the rear of the house to a garage door - see attached picture.			
2) The door to the right of the garage door will be moved to the left side of the garage door.			
3) On the back of the house, there is a window in the middle of the gable that will be moved up.			
4) The door to the rear stairs is omitted			
5) The staircase itself changes from a straight run to one with a landing and changes direction			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months?			
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
If yes, please list the board and reference number:			
<u>Architectural Review Board ZBA2024-004</u>			
OWNER'S SIGNATURE			
Signature: <u>Sandra Comtois</u>	Date: <u>6/5/25</u>		
<b>NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <a href="https://eplansolution.com/norcrossga">https://eplansolution.com/norcrossga</a> Hard copies of application materials will not be accepted.</b>			

Attachment: COA2025-031 Application (25-7381 : COA2025-031 148 North Peachtree Street)



# CERTIFICATE OF APPROPRIATENESS APPLICATION

(If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.)

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width: 78'-5 1/2"	Length: 65'-4"	Height:* +/-31'-0"
Area Dimensions:		
First Floor: 55'-9" x 65'-4"	Second Floor: 39'-4" x 46'-3 3/4"	Third Floor: N/A
Basement**: 78'-4 1/2" x 75'-2 1/2"	Front Porch: 39'-6" x 25'-0"	Rear Porch: 38'-10" x 19'-3"
Patio: N/A	Garage: 22'-8 1/2" x 23'-2"	
Primary Roof System: (Circle One)		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch: 9:12 slope		
Secondary Roof Pitch: 1:4 slope		
Additional Roof Pitch:		
Floor and Elevation Plan information to be included on each page:		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site and Landscape Plan information to be included on each page:		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: COA2025-031 Application (25-7381 : COA2025-031 148 North Peachtree Street)

## DEADLINE AND HEARING SCHEDULE

The process for obtaining a COA from the ARB are as follows: 1) applications submitted on the 3rd Tuesday of each month 2) will be heard before the Architectural Review Board on the 3<sup>rd</sup> Tuesday of the following month.

# 1: Submit on Tuesday, \_\_\_\_\_, and be heard before the ARB on Tuesday, \_\_\_\_\_.

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(THE APPLICANT OR APPLICANT'S AGENT MUST ATTEND ALL MEETINGS REGARDING THE APPLICATION)



## CERTIFICATE OF APPROPRIATENESS APPLICATION

(If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.)

### ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM

#### Façade and sides

Component	Color (Include manufacturer's ID)	Material
Primary Façade: First Floor	Paint Snowbound SW 7004	wood / cementitious siding
Primary Façade: Second Floor	Paint Snowbound SW 7004	wood / cementitious siding
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Left Side: First Floor	Paint Snowbound SW 7004	wood / cementitious siding
Left Side: Second Floor	Paint Snowbound SW 7004	wood / cementitious siding
Left Side: Third Floor	N/A	N/A
Left Side: Basement	Paint Repose Gray SW 7015	Brick
Right Side: First Floor	Paint Snowbound SW 7004	wood / cementitious siding
Right Side: Second Floor	Paint Snowbound SW 7004	wood / cementitious siding
Right Side: Third Floor	N/A	N/A
Right Side: Basement	Paint Repose Gray SW 7015	Brick
Rear: First Floor	Paint Snowbound SW 7004	wood / cementitious siding
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Rear: Third Floor	N/A	N/A
Rear: Basement	Paint Repose Gray SW 7015	Brick

### DEADLINE AND HEARING SCHEDULE

The process for obtaining a COA from the ARB are as follows: 1) applications submitted on the 3<sup>rd</sup> Tuesday of each month 2) will be heard before the Architectural Review Board on the 3<sup>rd</sup> Tuesday of the following month.

# 1: Submit on Tuesday, \_\_\_\_\_, and be heard before the ARB on Tuesday, \_\_\_\_\_.

# 2: Submit on Tuesday, \_\_\_\_\_, and be heard before the ARB on Tuesday, \_\_\_\_\_.

(THE APPLICANT OR APPLICANT'S AGENT MUST ATTEND ALL MEETINGS REGARDING THE APPLICATION)



## CERTIFICATE OF APPROPRIATENESS APPLICATION

(If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.)

### COLOR AND MATERIAL PLACEMENT ADDENDUM

#### Exterior Components

Component	Color (Include manufacturer's ID)	Material
Masonry	Paint Repose Gray SW 7015	Brick to match existing
Garage Doors	Paint Dorian Gray SW 7107	Metal
Trim	Snowbound SW 7004	5/4" board made to match existing
Mortar	General Shale - Barrington White Mortar - Painted Repose Gray SW 7015	Typical Mortar
Gutters	Mill Finish	8" Round
Corner Board	Snowbound SW 7004	5/4" board made to match existing
Railings	Snowbound SW 7004	Wood
Windows	N/A	Metal Clad
Window Sills	Snowbound SW 7004	Wood to match existing
Window Muntin/Mullion	Snowbound SW 7004	Wood to match existing
Columns	Snowbound SW 7004	Tapered Square Wood Columns
Other Architectural Features	Black Metal Finish	Gas Lanterns
Other Architectural Features	Snowbound SW 7004	Wood

### DEADLINE AND HEARING SCHEDULE

The process for obtaining a COA from the ARB are as follows: 1) applications submitted on the 3rd Tuesday of each month 2) will be heard before the Architectural Review Board on the 3<sup>rd</sup> Tuesday of the following month.

# 1: Submit on Tuesday, \_\_\_\_\_, and be heard before the ARB on Tuesday, \_\_\_\_\_.

# 2: Submit on Tuesday, \_\_\_\_\_, and be heard before the ARB on Tuesday, \_\_\_\_\_.

(THE APPLICANT OR APPLICANT'S AGENT MUST ATTEND ALL MEETINGS REGARDING THE APPLICATION)



# Ownership Affidavit & Designation of Agent

## I. Ownership.

I, Sandy Comtois, hereby attest to ownership of the property described below:

Parcel I.D. Number(s) r6254161

Location address: 148 N Peachtree Street

\_\_\_\_\_ for which this Application is submitted.

The ownership, as recorded on the deed, is in the name of: Sandy and Michael Comtois

Please complete the appropriate section below:

**NOTE: The person signing under section IV Acknowledgement, must be listed below as an officer or partner.**

Individual

Corporation/Limited Liability Company (LLC)

Partnership

Government Entity

Provide Names of Officers/Members:

Provide Names of General Partners:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Secretary of State Registration Number: \_\_\_\_\_

Name/Address of Registered Agent: \_\_\_\_\_

## II. Designation of Owner's Agent. (Leave blank if not applicable)

As the owner of the above designated property and the applicant for which this affidavit is submitted, I wish to designate the below named party as my agent in all matters pertaining to the location address. In authorizing the agent named below to represent me, or my company, I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief. (Note: Prior to the issuance of a building permit, the owner's agent must be the contractor listed on the permit application.)

Owner's Agent: Christopher C Evans E+E Architecture, Inc

Address: 297 Prince Ave Suite 28b Athens GA 30601

Contact Person: Christopher C Evans

Telephone No.: 706-850-1330

## III. Notice to Owner.

A. All changes in Ownership & Applicant's Agent prior to issuance shall require new affidavit. If ownership changes the new owner assumes the obligations and the original applicant is released from responsibility for actions taken by others after the change in ownership.

B. If the Owner intends the Designation of Applicant's Agent to be limited in any manner, please indicate the limitation below. (i.e., Limited to obtaining a certificate of concurrency for the parcel; limited to obtaining a land use compliance certificate; etc.)

\_\_\_\_\_  
\_\_\_\_\_

Attachment: COA2025-031 Application (25-7381 : COA2025-031 148 North Peachtree Street)

### IV. Acknowledgement.

• Individual

Sandra Comtois  
Signature

Print Name: Sandra Comtois  
Address: 395 Lakewood Drive  
770 656 1053  
Phone #: \_\_\_\_\_

• Government Entity

Print Government Name \_\_\_\_\_

By: \_\_\_\_\_  
Signature

Print Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Department: \_\_\_\_\_

• Corporation/LLC

Print Corporation/LLC Name \_\_\_\_\_

By: \_\_\_\_\_  
Signature

Print Name: \_\_\_\_\_  
Its: \_\_\_\_\_  
Address: \_\_\_\_\_  
(706) 850-1330  
Phone #: \_\_\_\_\_

• Partnership

Print Partnership Name \_\_\_\_\_

By: \_\_\_\_\_  
Signature

Print Name: \_\_\_\_\_  
Its: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone #: \_\_\_\_\_

#### NOTARY INFORMATION (Please use appropriate block.)

STATE OF GEORGIA  
COUNTY OF WINNETT

• Individual

Before me, this 16 day of May, 2022, personally appeared SANDRA COMTOIS who executed the foregoing instrument, and acknowledged before me that same was executed for the purposes therein expressed.

• Government Entity

Before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared \_\_\_\_\_ as \_\_\_\_\_ and on behalf of \_\_\_\_\_, who executed the foregoing instrument, and acknowledged before me that same was executed for the purposes therein expressed.

• Corporation/LLC

Before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared \_\_\_\_\_ of \_\_\_\_\_ a Georgia \_\_\_\_\_ corporation/LLC, on behalf of the corporation/LLC, who executed the foregoing instrument and acknowledged before me that same was executed for the purposes therein expressed.

• Partnership

Before me, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared \_\_\_\_\_ partner/agent on behalf of \_\_\_\_\_ a partnership, who executed the foregoing instrument and acknowledged before me that same was executed for the purposes therein expressed.



Signature of Notary

Sunil Patel

NOTARY STAMP

My commission expires: 08/16/2022

Print Notary Name

SUNIL PATEL

Identification Method: \_\_\_\_\_ Personally known.

Produced I.D. - Type: GA DL

Attachment: COA2025-031 Application (25-7381 : COA2025-031 148 North Peachtree Street)



**Department of Community Development**

---

TO: Architectural Review Board  
FROM: LeDarius Scott  
DATE: July 15, 2025  
SUBJECT: COA2025-032 75 Williams Street  
CC:

---

*Please review attached Staff Reports and supporting documents for submitted application.*

Consideration of enclosing a screened porch into conditioned space.

[COA2025-032 Staff Report](#)

[COA2025-032 Application](#)



Meeting Date: 7/15/2025 at 6:00 PM

Petition Number: COA2025-032

Project Type:

Enclosing a screened porch

Property Location:

75 Williams Street

Tax Parcel ID:

6254 418

Petitioner:

Tim Milam

Petitioner's Request:

Consideration of enclosing a screened porch into conditioned space.

Vicinity Map:



Attachment: COA2025-032 Staff Report (25-7382 : COA2025-032 75 Williams Street)

PROPERTY INFORMATION	
<b>Property Location</b>	75 Williams Street
<b>Acreage:</b>	Approximately 0.5 Acres
<b>Existing Lot Dimensions:</b>	Lot frontage along Williams Street: Approximately 60 feet Lot Depth: Approximately 160 feet
<b>Existing Building Dimensions:</b>	N/A
<b>Topography:</b>	High Point: 1078 Low Point: 1074
<b>Elevation:</b>	High Point: Southeast side Low Point: South side
<b>Encumbrances:</b>	N/A

**Project Description**

The applicant seeks to turn an existing screened porch into conditioned space. The proposed color will be Pure White (SW7005).

**Site Plan and Floor Plan**

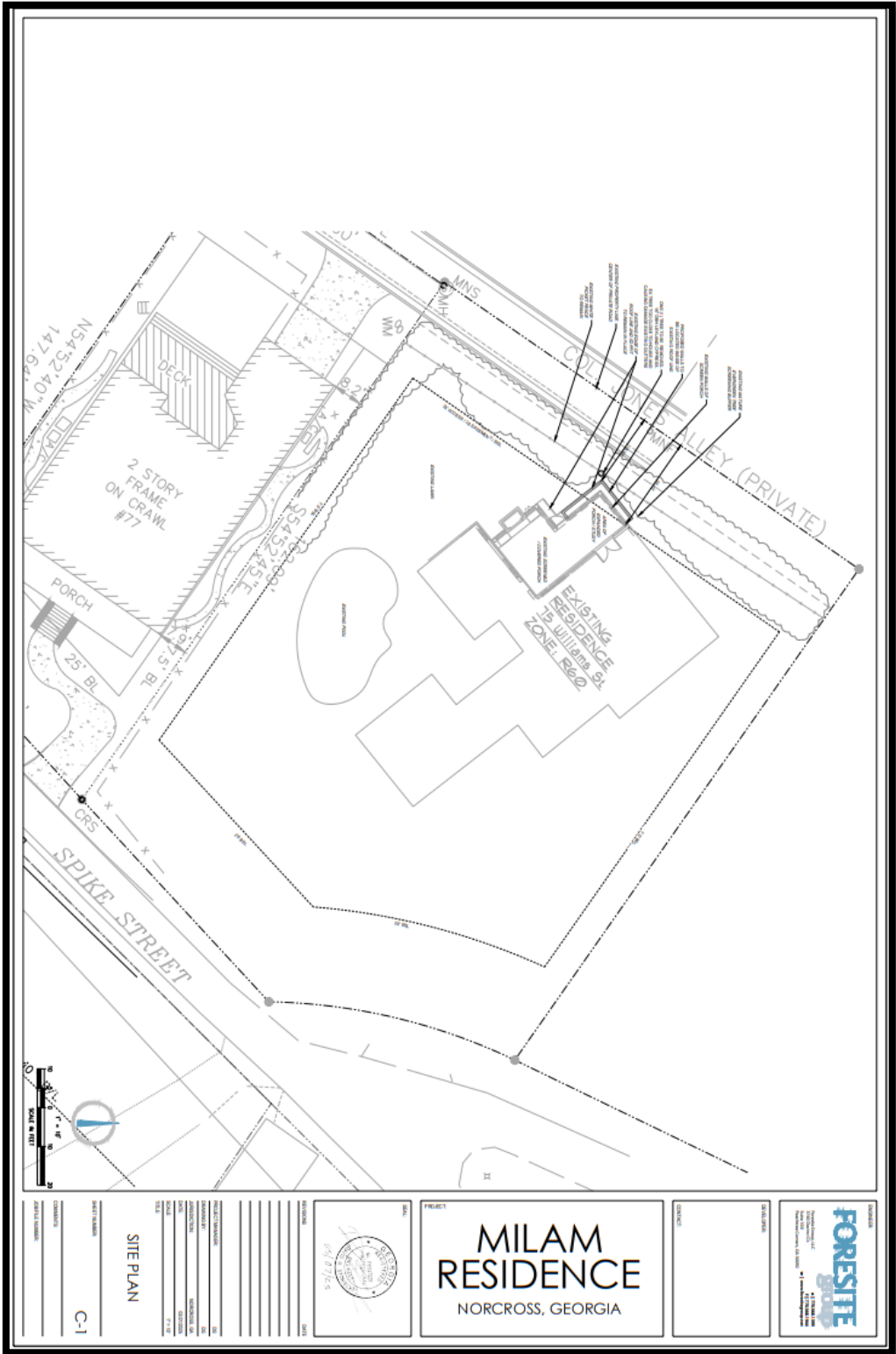
The applicant’s site plan shows the existing conditions of the property and the proposed enclosure of the existing rear porch. To address the rear setback encroachment, the applicant is in the process of applying for an administrative variance (AV2025-007).

**Landscape Plan**

The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance if applicable.

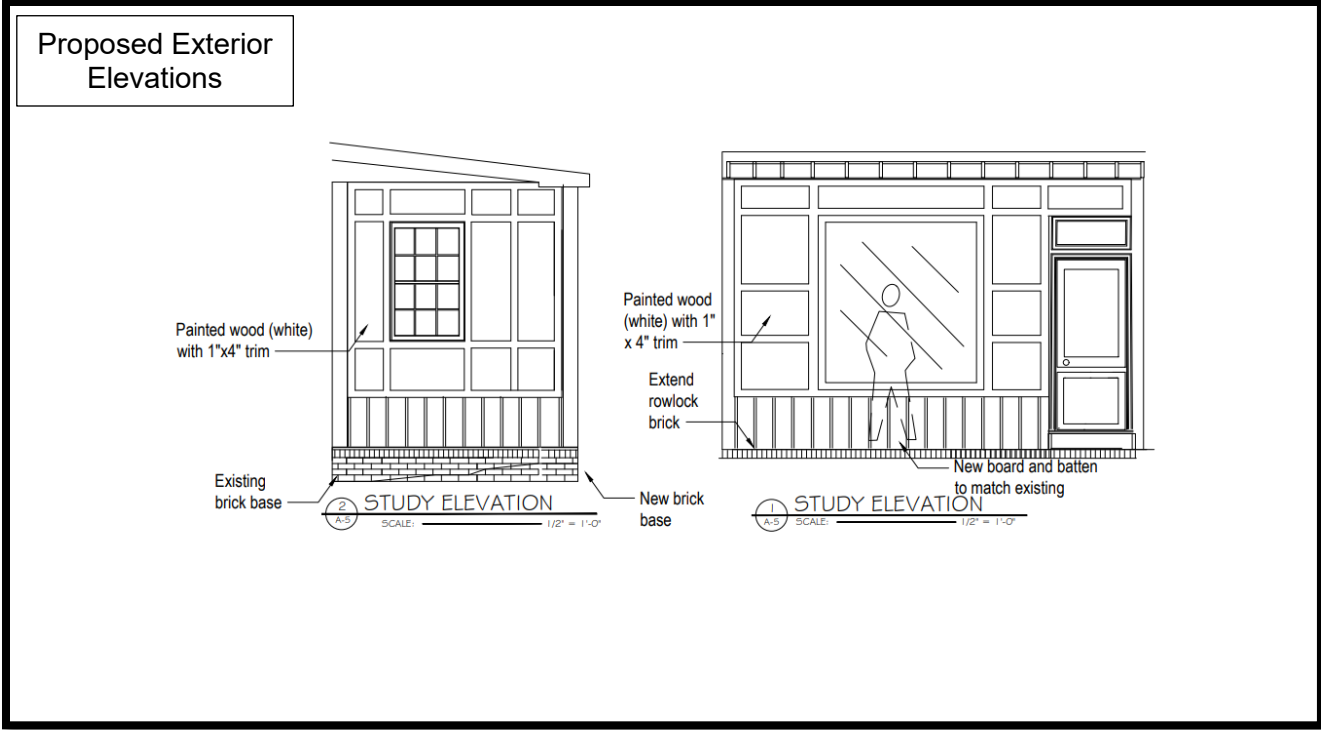
Attachment: COA 2025-032 Staff Report (25-7382 : COA2025-032 75 Williams Street)

Proposed Site Plan



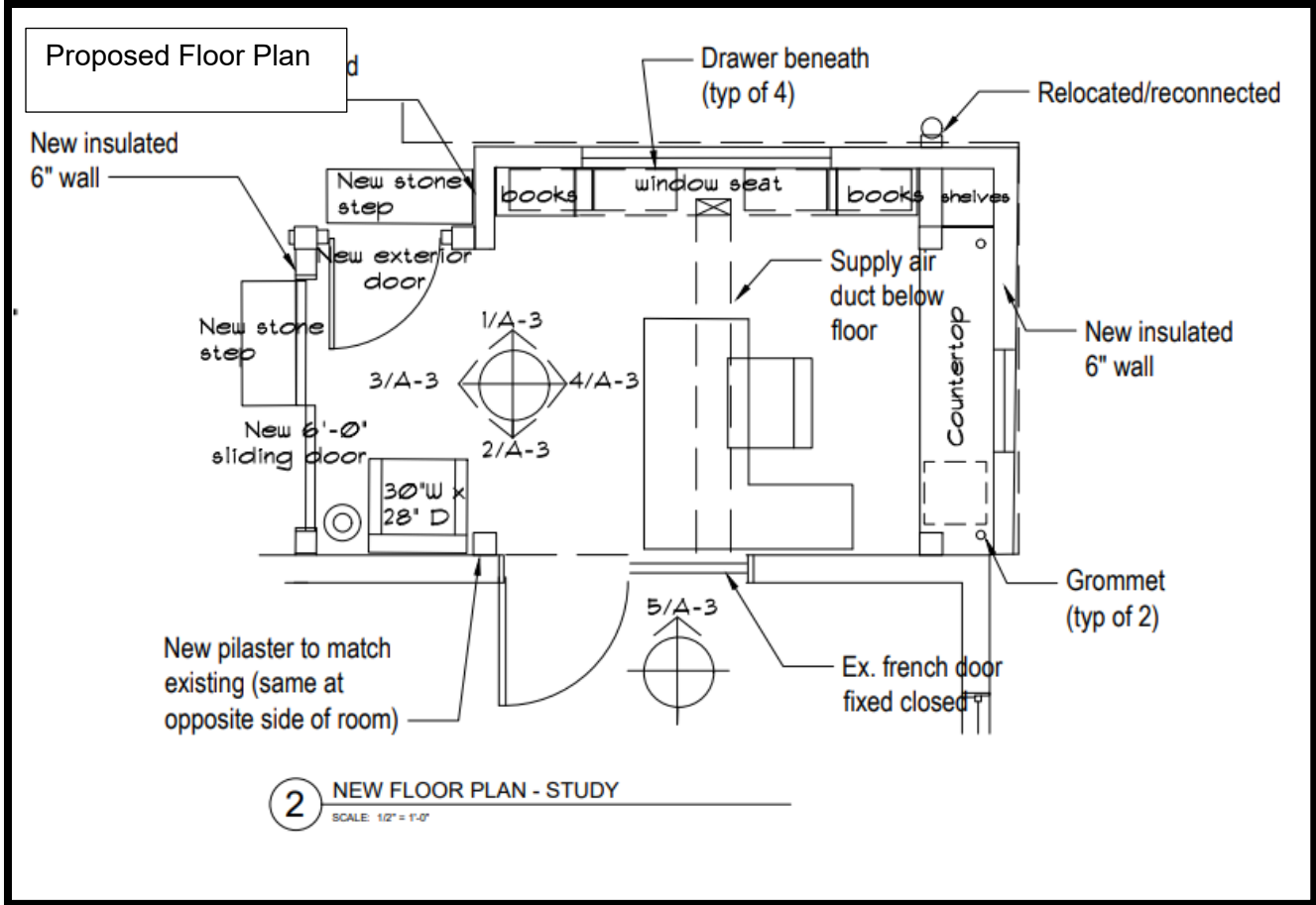
Attachment: COA2025-032 Staff Report (25-7382 : COA2025-032 75 Williams Street)



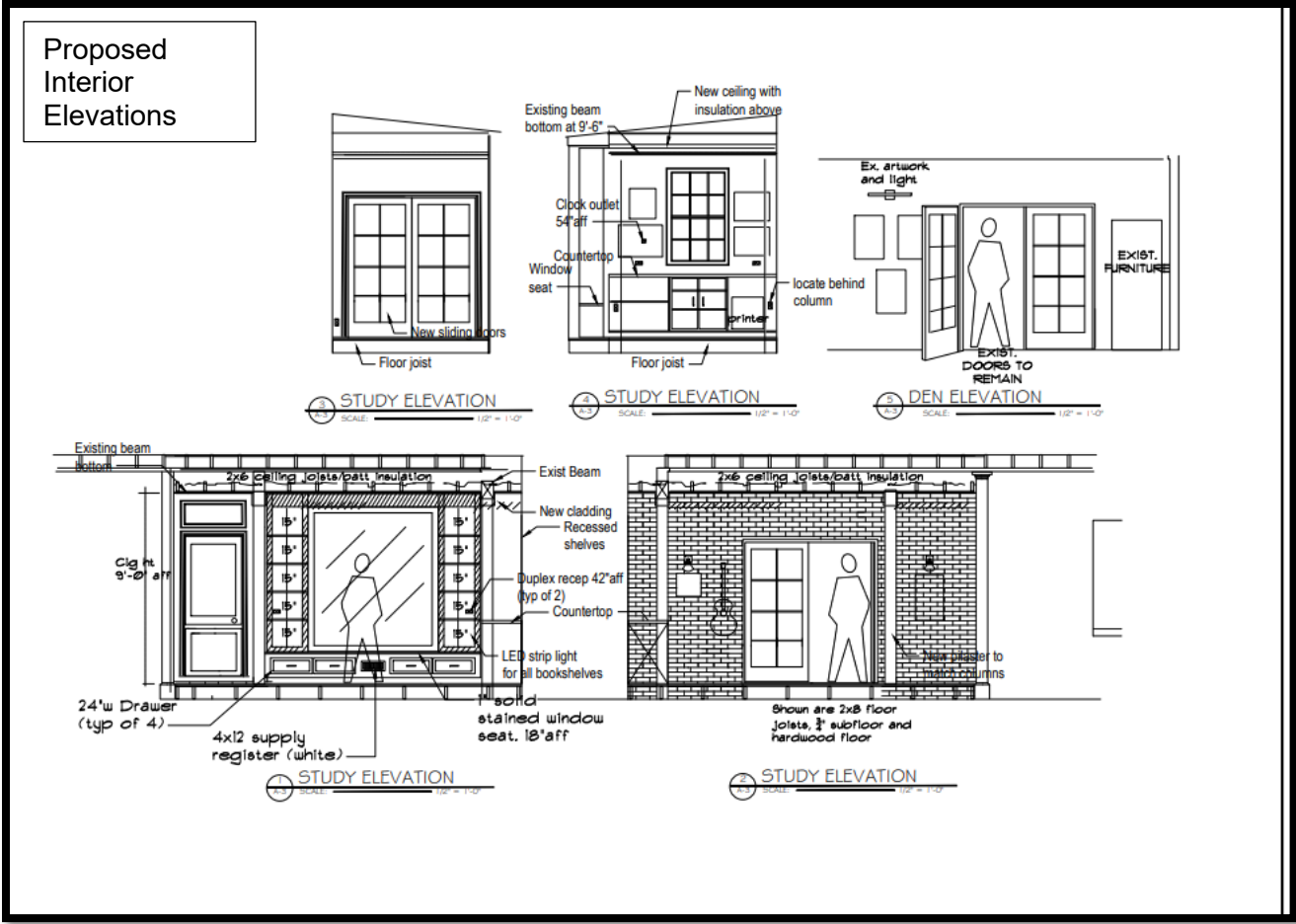


**Description of Exterior Elevations:** The proposed exterior material will consist of board and batten, painted wood (white) with a trim, a new brick base, and extension of the rowlock course.

Attachment: COA2025-032 Staff Report (25-7382 : COA2025-032 75 Williams Street)



Attachment: COA2025-032 Staff Report (25-7382 : COA2025-032 75 Williams Street)



Discussion Items for Interior Elevations: N/A

**Applicable Building Standards:**

N/A

Attachment: COA2025-032 Staff Report (25-7382 : COA2025-032 75 Williams Street)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First		
Primary Façade: Second		
Primary Façade: Third		
Left Side:		
Left Side: Second		
Left Side: Third		
Left Side:		
Right Side:		
Right Side: Second		
Right Side:		
Right Side:		
Rear: First	White / White SW 7005	Painted Wood with painted trim elements
Rear: Second		
Rear: Third		
Rear: Basemnt		



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry		
Garage Doors		
Trim	White	Wood
Mortar		
Gutters		
Corner Board		
Railings		
Windows	White	New windows to match existing
Window Sills	White	
Window Muntin/Mulli	White	
Columns		
Other Architectural Features		
Other Architectural		

REVISED JAN 2025

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Attachment: COA2025-032 Staff Report (25-7382 : COA2025-032 75 Williams Street)

**Recommendations**

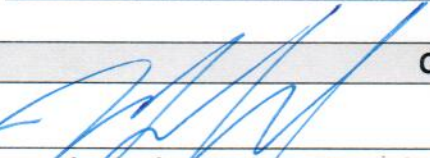
Should the ARB decide to grant approval, Staff recommends the following conditions:

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



# Certificate of Appropriateness Application

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JOB LOCATION			
Job Site Address: 75 Williams Street	Lot #254	Tax Parcel ID: R6254 418	
LANDOWNER OF RECORD			
<b>If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.</b>			
Name: Tim and Julie Milam	Phone: 770-335-7815		
Address: 75 Williams Street	City: Norcross	State: GA	Zip Code: 30071
APPLICANT			
Applicant Name: Tim Milam	Phone: 770-335-7815		
Company Name: n/a	Email: tmilam@jordanskala.com		
Address: 75 Williams Street	City: Norcross	State: GA	Zip Code: 30071
DESCRIPTION OF PROJECT			
Project Type: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Administrative			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:			
<p>We wish to enclose a portion of our covered screened porch to become conditioned space adjoining living room. The space will be used as a home office/library and will be called a "study". Two new exterior walls will be built within the boundary of the existing porch roof and will not be load-bearing. New windows will closely match those of the rest of the home. The elevation drawing (A-5) indicates new wood trim to be painted white to match the façade elements of our existing porch and complement the smeared brick of our home.</p>			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months?			
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If yes, please list the board and reference number:			
_____			
OWNER'S SIGNATURE			
Signature: 	Date: 6.9.2025		
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with <a href="https://eplansolution.com/norcrossga">https://eplansolution.com/norcrossga</a> Hard copies of application materials will not be accepted.			

Attachment: COA2025-032 Application (25-7382 : COA2025-032 75 Williams Street)



# Certificate of Appropriateness Application

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Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width: 9'-10"	Length: 17'-4"	Height:* Existing Roof to Remain
Area Dimensions:		
First Floor: 2,163 SF	Second Floor: 1,440 SF	Third Floor: n/a
Basement**: 500 SF	Front Porch:	Rear Porch: 170 SF ←
Patio:	Garage:	(170 SF is area of the project)
Primary Roof System: (Circle One)		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed for porch	Other:
Roof Pitches:		
Primary Roof Pitch: Existing Roof to Remain ←		
Secondary Roof Pitch:		
Additional Roof Pitch:		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: COA2025-032 Application (25-7382 : COA2025-032 75 Williams Street)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First		
Primary Façade: Second		
Primary Façade: Third		
Left Side:		
Left Side: Second		
Left Side: Third		
Left Side:		
Right Side:		
Right Side: Second		
Right Side:		
Right Side:		
Rear: First	White / White <i>Sw 7005</i>	Painted Wood with painted trim elements
Rear: Second		
Rear: Third		
Rear: Basemnt		

Attachment: COA2025-032 Application (25-7382 : COA2025-032 75 Williams Street)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
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COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry		
Garage Doors		
Trim	White	Wood
Mortar		
Gutters		
Corner Board		
Railings		
Windows	White	New windows to match existing
Window Sills	White	
Window Muntin/Mulli	White	
Columns		
Other Architectural Features		
Other Architectural		

Attachment: COA2025-032 Application (25-7382 : COA2025-032 75 Williams Street)



# Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027  
 65 Lawrenceville Street Norcross, GA 30071

## ARCHITECTURAL REVIEW BOARD MEETING CALENDAR

## HISTORIC PRESERVATION COMMISSION MEETING CALENDAR

Pre-Application Submittal Deadline	Application Submittal Deadlines	ARB Meeting
12/01/2024	12/08/2024	01/21/2025
12/30/2024	01/06/2025	02/18/2025
01/27/2025	02/03/2025	03/18/2025
02/24/2025	03/03/2025	04/15/2025
03/31/2025	04/07/2025	05/20/2025
04/28/2025	05/05/2025	06/17/2025
05/26/2025	06/02/2025	07/15/2025
06/30/2025	07/07/2025	08/19/2025
07/28/2025	08/04/2025	09/16/2025
09/01/2025	09/08/2025	10/21/2025
09/29/2025	10/06/2025	11/18/2025
10/27/2025	11/03/2025	12/16/2025

Pre-application Meeting Deadline	Application Submittal Deadline	Historic Preservation Commission Meeting
12/01/2024	12/08/2024	01/22/2025
01/06/2025	01/13/2025	02/26/2025
02/03/2025	02/10/2025	03/26/2025
03/03/2025	03/10/2025	04/23/2025
04/07/2025	04/14/2025	05/28/2025
05/05/2025	05/12/2025	06/25/2025
06/02/2025	06/09/2025	07/23/2025
07/07/2025	07/14/2025	08/27/2025
08/04/2025	08/11/2025	09/24/2025
09/01/2025	09/08/2025	10/22/2025
10/06/2025	10/13/2025	11/26/2025
11/03/2025	11/10/2025	12/24/2025

ARCHITECTURAL REVIEW BOARD/ HISTORIC PRESERVATIONS REVIEW FEES		
Commercial/Industrial Major Reviews	Major Project Reviews	\$500
Commercial/Industrial Reviews	Minor improvements to façade	\$150
Residential Major Review	New Residential Construction in the City or Historic District	\$150
Residential Minor/Administrative Staff Review	Minor improvements or alterations in the City or Historic District/Administrative Staff Review	\$25
Historic Demolition	Historic Demolition Review	\$500

Attachment: COA2025-032 Application (25-7382 : COA2025-032 75 Williams Street)



# Owner Affidavit

Community Development Department Phone: 678-421-2027  
65 Lawrenceville Street Norcross, GA 30071

*See prior affidavit submitted 1/22/25*

*AV-2025-*

### Section I. Land Ownership

I, Timothy Elliott Milam, hereby attest to ownership of the property located at 75 Williams Street R6254 418, for which this Application is submitted. The Ownership, as recorded on the deed, is in the name of Timothy and Julie Milam.

### Section II. Type of Ownership

Individual  Corporation/LLC  Partnership  Government

Corporation/LLC/Partnership Name:

Secretary of State Registration Number:

Registered Agent Name:

Provide Names of all Officers/Members/General Partners (If applicable):

Registered Agent Address:

Registered Agent Phone #:

### COMPLETE BY OWNER

As the owner of the above designated property for which this affidavit is submitted, I wish to allow (applicant's name) to apply for a for the address mentioned in Section I of this form. I attest that the application is made in good faith and that any information contained in the application is accurate a complete to the best of my knowledge and belief.

### NOTARY

Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.

Sworn and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

Notary Public:

Name:

Seal:

Address:

City, State, Zip Code:

Email address:

Phoner Number:

Commission expires:

Owner's signature:

Attachment: COA2025-032 Application (25-7382 : COA2025-032 75 Williams Street)