

City of Norcross

*65 Lawrenceville Street
Norcross, GA 30071*



Meeting Agenda

**Tuesday, August 19, 2025
6:00 PM**

2nd Floor Conference Room
Architectural Review Board

Jeff Hopper, Chair

Bill McLees

Barbara Grayson

Naim Harrison

Hugh Cooper

- A. Call to Order**
PLEASE SILENCE ALL CELL PHONES AND ELECTRONIC DEVICES
- B. Approval of Previous Meetings' Minutes**
[Architectural Review Board - Jul 15, 2025 6:00 pm](#)
- C. Unfinished Business**
1. [25-7379](#) **COA2025-029 West Peachtree Street**
Consideration of 21 cottage-style homes for a planned residential community.

[COA2025-029 Staff Report - August Meeting](#)
[COA2025-029 Application](#)
- D. New Business**
1. [25-7413](#) **COA2025-005 5786 Hammond Drive**
Consideration of a front porch.

[COA2025-005 Staff Report](#)
[COA2025-005 Application Revised](#)
2. [25-7414](#) **COA2025-016 473 Lawrenceville Street**
Addition of a single-family residence.

[COA2025-016 Staff Report](#)
[COA2025-016 Application](#)
3. [25-7415](#) **COA2025-034 6028 Lanier Boulevard**
Consideration of Rear Additions and a Front Porch.

[COA2025-034 Staff Report](#)
[COA2025-034 Certificate of Appropriateness Application 2025](#)
- E. ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA**
- F. Adjourn**

Signed by _____ Jeff Hopper, Chair

Signed by _____ , LeDarius Scott, Senior
Planner

City of Norcross

65 Lawrenceville Street
Norcross, GA 30071



Meeting Minutes

Tuesday, July 15, 2025
6:00 PM

2nd Floor Conference Room
Architectural Review Board

Jeff Hopper, Chair
Bill McLees
Barbara Grayson
Naim Harrison
Hugh Cooper

Minutes Acceptance: Minutes of Jul 15, 2025 6:00 PM (Approval of Previous Meetings Minutes)

A. Call to Order

Architectural Review Board was called to order at 6:00 PM by

Attendee Name	Title	Status	Arrived
Jeff Hopper	Chair	Present	
Bill McLees	Board Member	Present	
Barbara Grayson	Board Member	Present	
Naim Harrison	Board Member	Present	
Hugh Cooper	Board Member	Present	

B. Approval of Previous Meetings Minutes

Architectural Review Board - Architectural Review Board - Jun 17, 2025 6:00 PM

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Jeff Hopper, Chair
SECONDER:	Barbara Grayson, Board Member
AYES:	Hopper, McLees, Grayson, Harrison, Cooper

C. Unfinished Business

D. New Business

1. 25-7376: COA2025-020 421 Dogwood Circle

A motion to approve application COA2025-020 for constructing a roof over an existing rear deck and enclosing a garage to create living space on the main floor, subject to the following conditions:

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and
2. Architectural Review Board approval. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Barbara Grayson, Board Member
SECONDER:	Jeff Hopper, Chair
AYES:	Hopper, McLees, Grayson, Harrison, Cooper

2. 25-7377: COA2025-021 5265 Wexford Lane

A motion to approve application COA2025-021 for constructing a residential duplex, subject to the following conditions:

1. The reveal (exposed portion) of siding will be a minimum of four inches and shall not exceed six (6) inches.

Minutes Acceptance: Minutes of Jul 15, 2025 6:00 PM (Approval of Previous Meetings Minutes)

2. Corner boards should have the same width and depth as the siding reveal and are not permitted to be greater than two inches of siding reveal or less than one inch of the siding reveal.
3. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
4. Any changes from the Architectural Review Board-approved component shall require ARB approval at another public hearing.
5. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.
6. The front elevation should be all brick.

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Jeff Hopper, Chair
SECONDER:	Barbara Grayson, Board Member
AYES:	Hopper, McLees, Grayson, Harrison, Cooper

3. 25-7378: COA2025-026 5689 Western Hills Drive

The applicant informed staff on 7/15 that he could not attend the meeting, and the board decided to table the case indefinitely.

RESULT:	TABLED INDEFINITELY [UNANIMOUS]
MOVER:	Jeff Hopper, Chair
SECONDER:	Barbara Grayson, Board Member
AYES:	Hopper, McLees, Grayson, Harrison, Cooper

4. 25-7379: COA2025-029 West Peachtree Street

- The applicant discussed the proposal and need for affordable housing, stating that the starting price of homes would be around 200,000 to 300,000 dollars.
- The applicant was selected from an RFP Proposal from the city.
- Of the 21 homes, 6 are one-story, and 15 are two-story.
- Board members and staff reminded those in attendance that this review was solely architectural. The concept plan will be reviewed and considered by the planning and zoning board, and then by the mayor and council.
- The applicant stated that the community will have a mandatory HOA and bylaws.
- Approximately 85% of the units will be owner-occupied.
- Some citizens expressed concerns about the homes not having garage doors.
- Trash receptacles and valet services were also discussed.
- Marketability and the benefits to the community were discussed.
- The Board, after an hour discussion, decided to table the case, requesting at least 4 different architectural styles for the homes.

RESULT:	TABLED TO AUGUST 19, 2025 [UNANIMOUS]
MOVER:	Jeff Hopper, Chair
SECONDER:	Barbara Grayson, Board Member
AYES:	Hopper, McLees, Grayson, Harrison, Cooper

Minutes Acceptance: Minutes of Jul 15, 2025 6:00 PM (Approval of Previous Meetings Minutes)

5. 25-7380: COA2025-030 3395 Medlock Bridge Road

A motion to approve application COA2025-030 for constructing an enclosed front porch, adding a new doorway, portico, and selecting building colors, subject to the following conditions:

1. Any modifications required by the Architectural Review Board to be completed prior to the issuance of a building permit.
2. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
3. Any changes from the Architectural Review Board-approved component shall require ARB approval at another public hearing.
4. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Barbara Grayson, Board Member
SECONDER:	Hugh Cooper, Board Member
AYES:	Hopper, McLees, Grayson, Harrison, Cooper

6. 25-7381: COA2025-031 148 North Peachtree Street

A motion to approve application COA2025-031 for the construction of a proposed garage door, window modification, door modification, and staircase modification to a previously approved COA application (COA2022-020), along with the exterior paint color, subject to the following conditions:

1. All previous architectural conditions of approval, not otherwise in conflict, to remain in effect.
2. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
3. Any changes from the Architectural Review Board-approved component shall require ARB approval at another public hearing.
4. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Barbara Grayson, Board Member
SECONDER:	Hugh Cooper, Board Member
AYES:	Hopper, McLees, Grayson, Harrison, Cooper

Minutes Acceptance: Minutes of Jul 15, 2025 6:00 PM (Approval of Previous Meetings Minutes)

7. 25-7382: COA2025-032 75 Williams Street

A motion to approve application COA2025-032 for converting a screened porch into a conditioned space, subject to the following conditions:

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board-approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to the release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.

RESULT:	APPROVED WITH CONDITIONS [UNANIMOUS]
MOVER:	Jeff Hopper, Chair
SECONDER:	Barbara Grayson, Board Member
AYES:	Hopper, McLees, Grayson, Harrison, Cooper

E. ADDITIONAL INPUT AND/OR DISCUSSION NOT OTHERWISE ADDRESSED BY THIS AGENDA

F. Adjourn

Jeff Hopper motioned to adjourn the meeting at 7:48 pm, seconded by Naim Harrison. The vote was unanimous. 5:0.

Signed by _____ **Jeff Hopper, Chair**

Signed by _____ , **LeDarius Scott, Senior Planner**

Minutes Acceptance: Minutes of Jul 15, 2025 6:00 PM (Approval of Previous Meetings Minutes)



Department of Community Development

TO: Architectural Review Board
FROM: LeDarius Scott
DATE: August 19, 2025
SUBJECT: COA2025-029 West Peachtree Street
CC:

Please review attached Staff Reports and supporting documents for submitted application.

Consideration of 21 cottage style homes for a planned residential community.

[COA2025-029 Staff Report - August Meeting](#)

[COA2025-029 Application](#)



Meeting Date: 8/19/2025 at 6:00 PM

Petition Number: COA2025-029

Project Type:

21 Cottage Style Homes

Property Location:

Parcel numbers addressed below

Tax Parcel ID:

Parcel numbers addressed below

Petitioner:

Booker Washington

Petitioner's Request:

Consideration of 21 cottage style homes for a planned residential community.

Vicinity Map:



Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)

Process and the Architectural Review Board

Overview

The Norcross Architectural Review Board (ARB) is the city-appointed body tasked with administering the city's review process by applying the standards in this Architectural and Site Design Standards Manual. ARB is responsible for all areas outside the HPC and ARB is the decision making body for this area. Refer to the official Zoning map of the City of Norcross for boundaries. In order for an applicant to obtain a building permit for a proposed project, the ARB must approve a Certificate of Appropriateness (COA). A COA must be obtained from the ARB prior to the issuance of a building permit.

Scope of ARB

The standards in this manual apply only to exterior features of properties because these features affect the quality of the public environment. Interior features are not addressed. In some cases, proposed changes to the historic landscape and streetscape are addressed by these standards.

The ARB reviews proposals for all new construction projects within the city limits of Norcross, as well as proposals for the exterior remodeling of all existing properties. The only exception to this policy is for the exterior remodeling of existing single-family residences: within the Norcross Historic District a COA must be obtained, but outside the boundaries of the Norcross Historic District a COA is not required. Proposals for new multi-family residential projects, or the rehabilitation of existing multi-family projects, are required to obtain a COA.

Responsibility of ARB

The standards in this manual have been written as principals that will help maintain the unique "sense of place" enjoyed by residents of Norcross. If a design project situation should arise that is not specifically covered in this manual, the ARB is charged with using the ethics represented in this manual, as well as their professional knowledge and aesthetic judgement to render a decision.

PROPERTY INFORMATION	
Property Location	Parcel numbers: 6253 028, 6253 027, 6253 026, 6253 262, 6253 288
Acreage:	1.67 acres
Existing Lot Dimensions:	Lot frontage along West Peachtree Street: Approximately 254 feet Lot Depth: Approximately 290 feet
Existing Building Dimensions:	N/A
Topography:	High Point: 1074 Low Point: 1056
Elevation:	High Point: Approximately the middle of the subject parcels Low Point: Northside
Encumbrances:	N/A

Project Description

The subject parcels were once owned by the City of Norcross and designated a Planned Residence District (PRD) zoning when the Unified Development Ordinance was created. The applicant responded to the City of Norcross’ Request for Proposal, RFP ED 24-08, to develop the subject parcels. The applicant seeks to develop a planned residential community of 21 cottage style single-family residences on a combined 1.67 acre-lot. The proposed Parc plans will be one (1) story and the Cross is two (2) story with a minimum heated space of 624 square feet. The property is situated in Character Area 5, Hopewell Woods, which supports the development of planned residential neighborhoods that offer a variety of housing options. Planned residential communities are defined by the 2045 Comprehensive Plan as a residential development whose essential features are a definable boundary, and a consistent, but not necessarily uniform character. Such developments may include a variety of housing types and typically share common recreational amenities, and private covenants, conditions, and restrictions enforced by a homeowners’ association. COA2025-029 was considered by the Architectural Review Board at their July meeting. The application was tabled following discussion with the board requesting at least four (4) different variations of the proposed elevations. Building materials shall not consist of a mix of more than 3 materials for aesthetic consistency as described in the RFP presentation from the applicant.

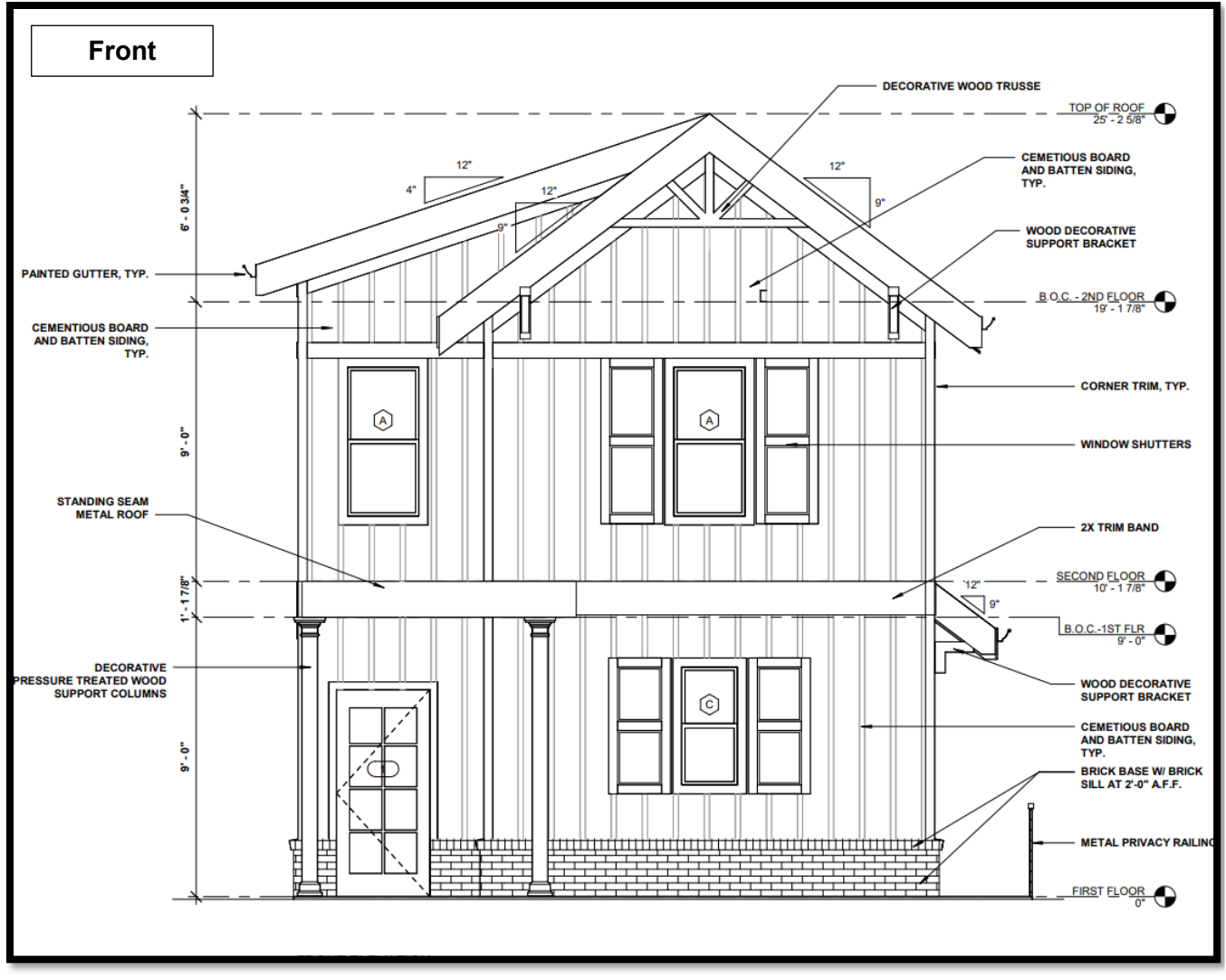
Site Plan

The applicant’s site plan shows the 21 units situated on the 1.67 acre-lot, which is a proposed density of 12.5 units per acre. Surface level parking and an amenity area are included. The residences appear to be accessed by sidewalks located throughout the community. The final site plan will be subject to final approval by the Mayor and Council.

Landscape Plan

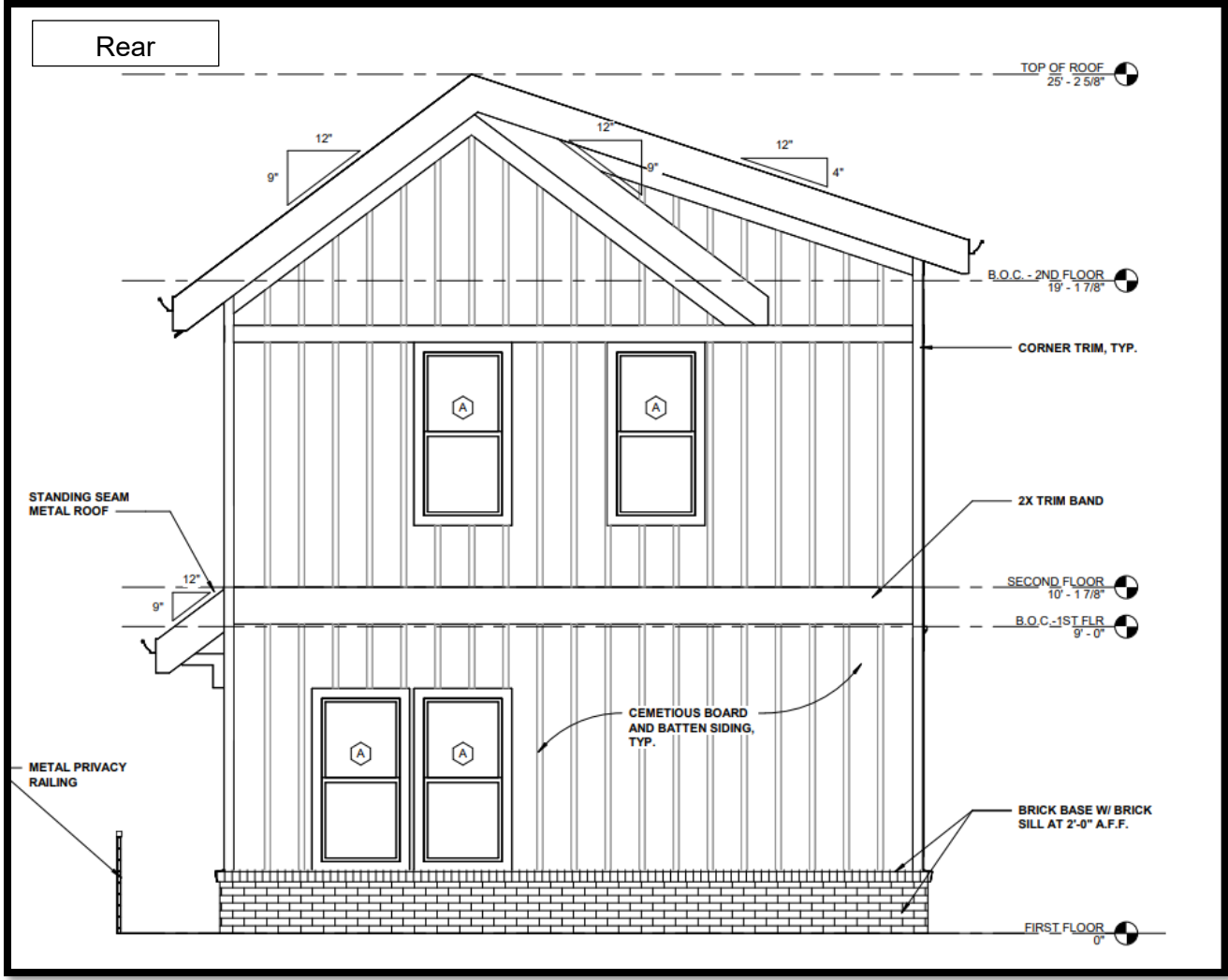
The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance if applicable.

Proposed Cross Cottage Elevations



Description of Front Elevation: The “Cross” front elevation will consist of vertical cementitious board and batten siding, a brick water table with a rowlock course, decorative wood support columns, a trim band to differentiate the first story from the second story, and windows that include shutters.

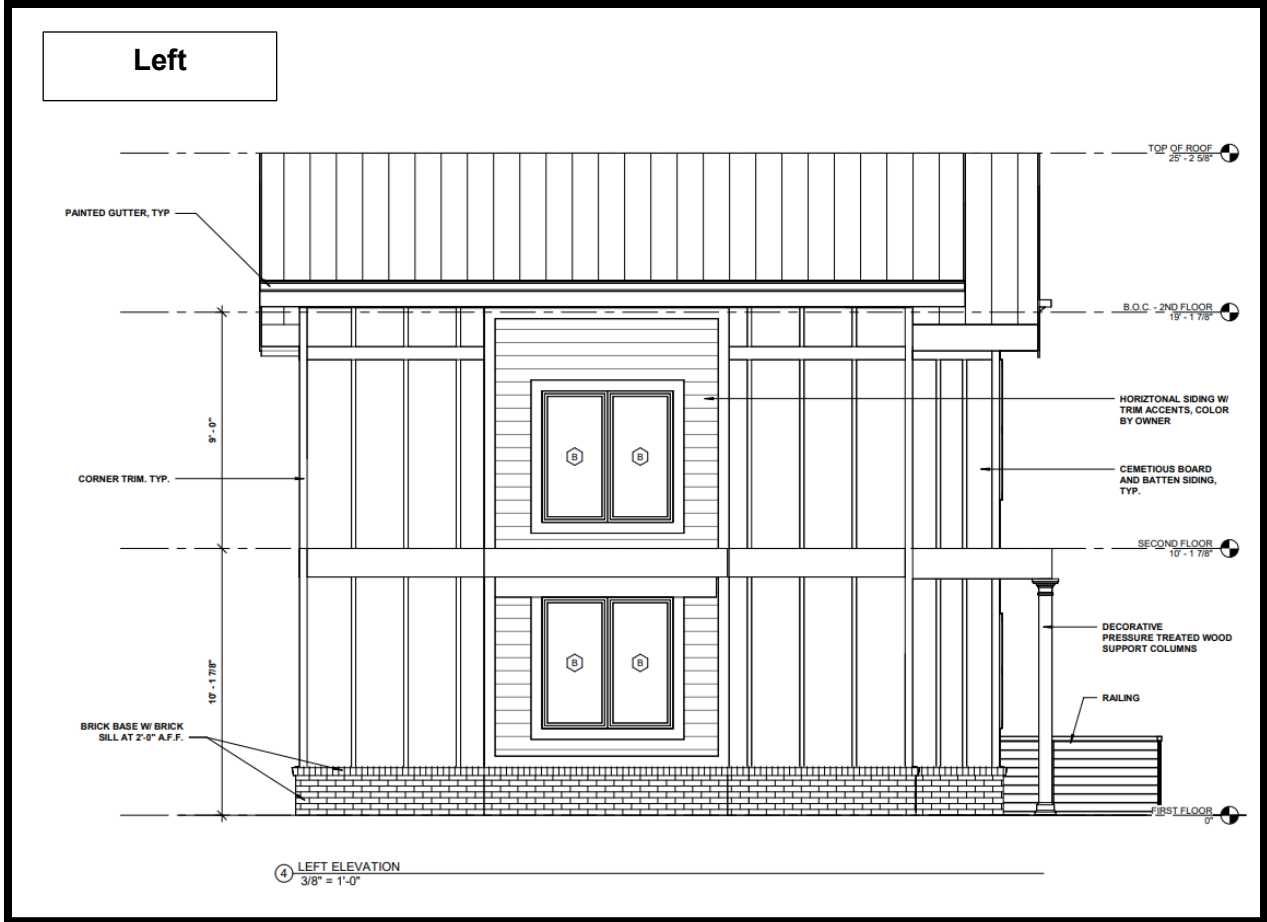
Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)



Description of Rear Elevation: The “Cross” rear elevation will consist of vertical cementitious board and batten siding, a brick water table with a rowlock course, a trim band to differentiate the first story from the second story, and single-hung windows.

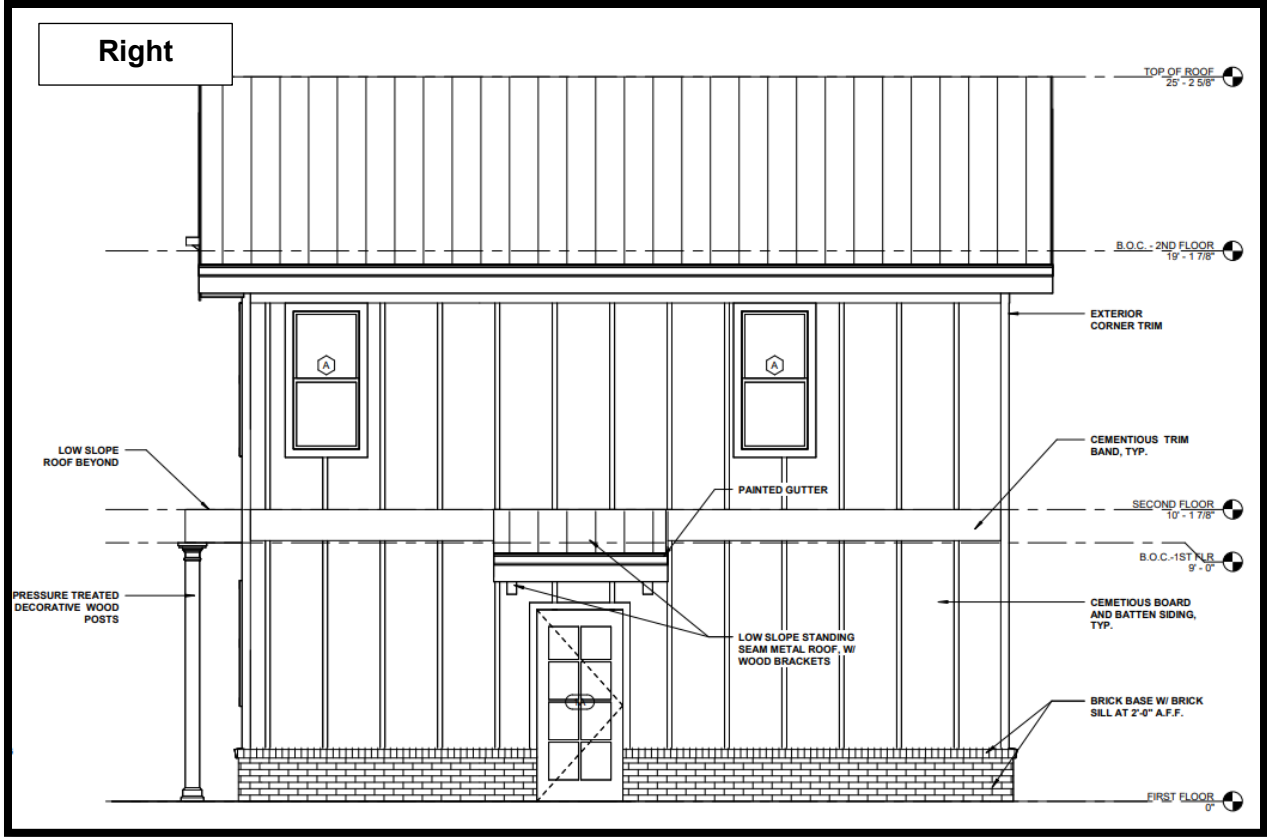
Discussion Items: N/A

Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)



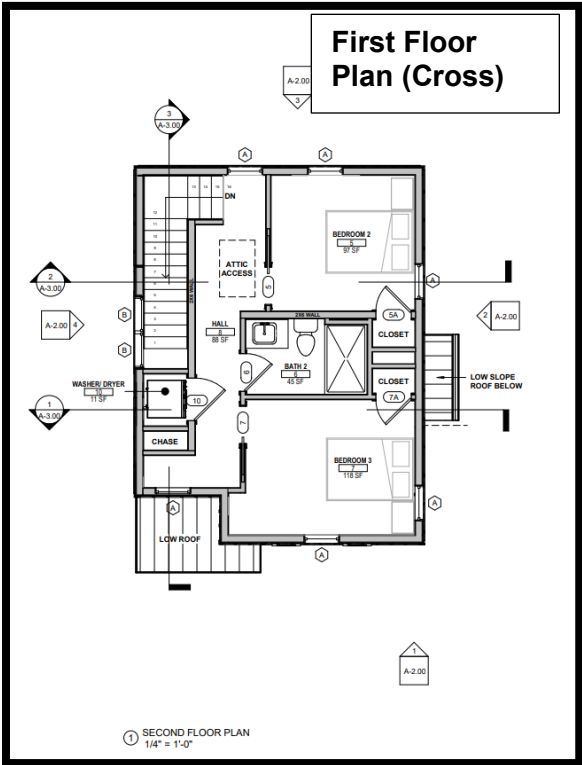
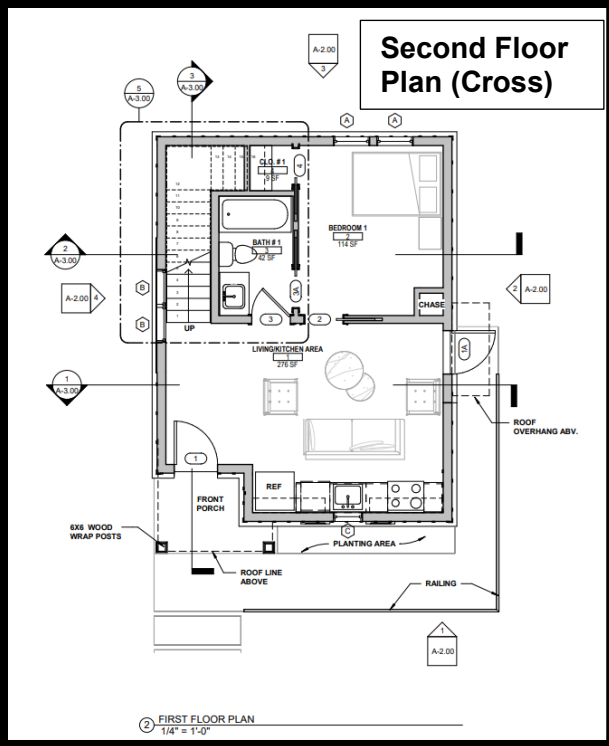
Description of left elevation: The “Cross” left elevation will consist of vertical cementitious board and batten siding, horizontal siding with trim accents, a brick water table with a rowlock course, and a trim band to differentiate the first story from the second story.

Attachment: COA2025-029 Staff Report - August Meeting - August Meeting (25-7379 : COA2025-029 West Peachtree Street)



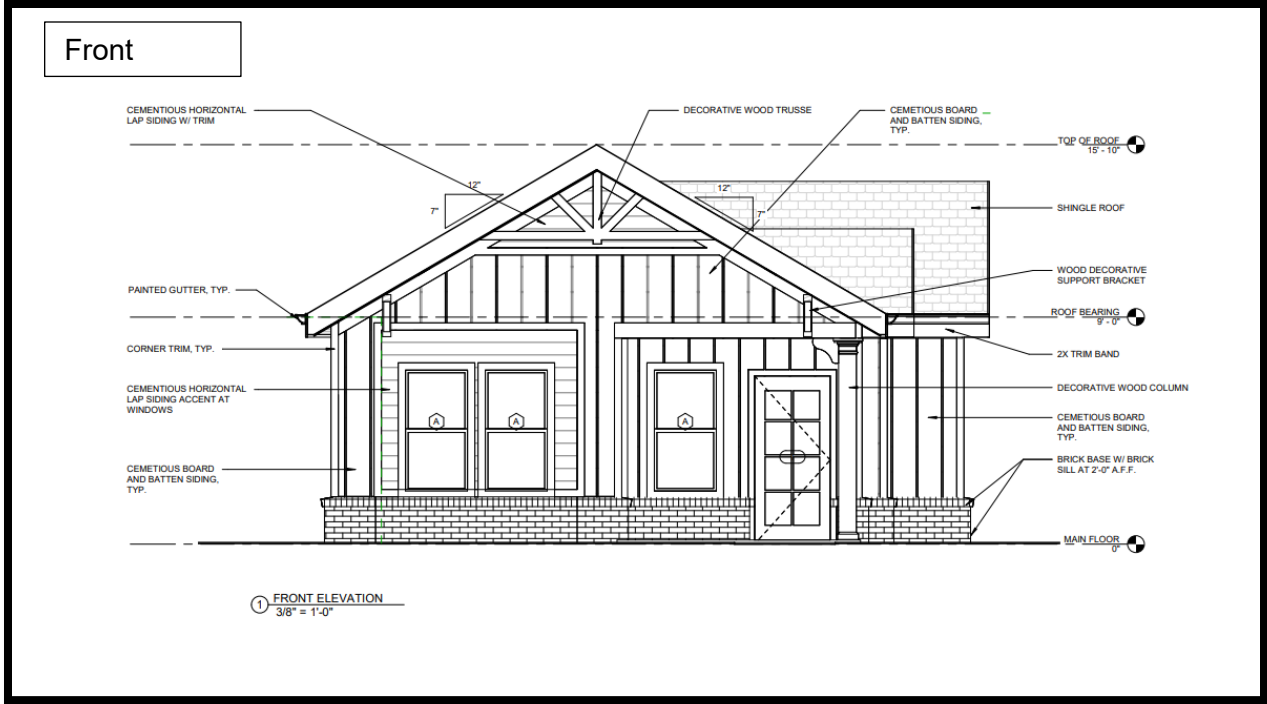
Description of Right Elevation: The “Cross” right elevation will consist of vertical cementitious board and batten siding, a brick water table with a rowlock course, and a trim band to differentiate the first story from the second story. The side door will feature a standing seam metal roof with wood brackets.

Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)

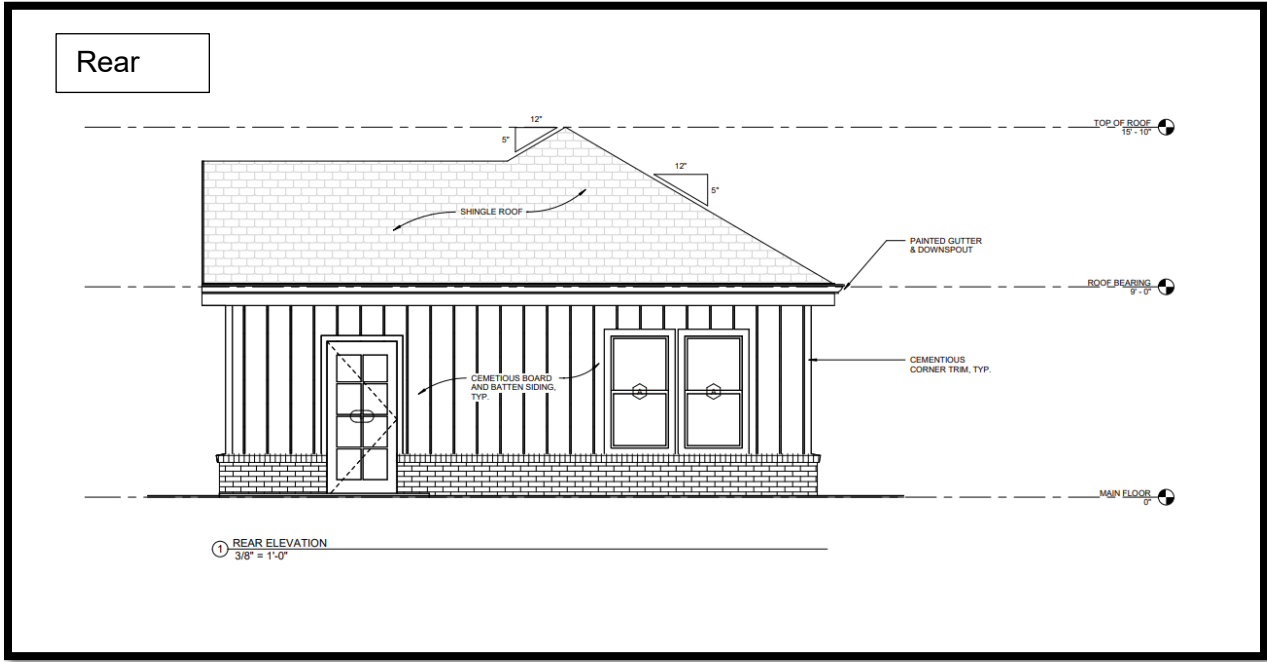


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The Parc Cottage



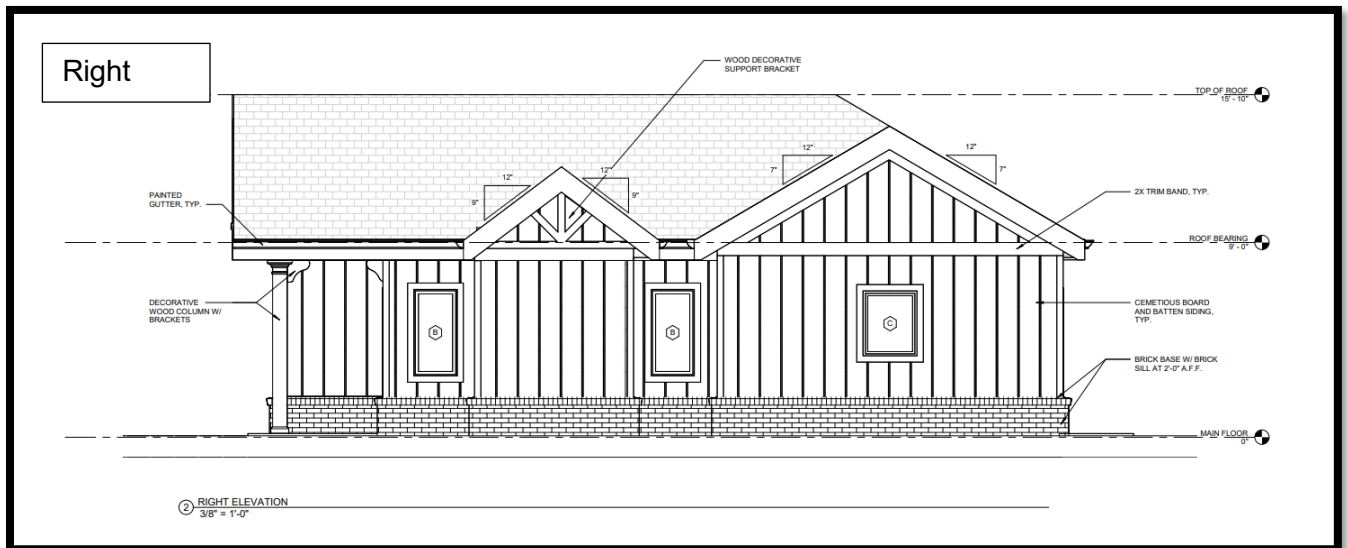
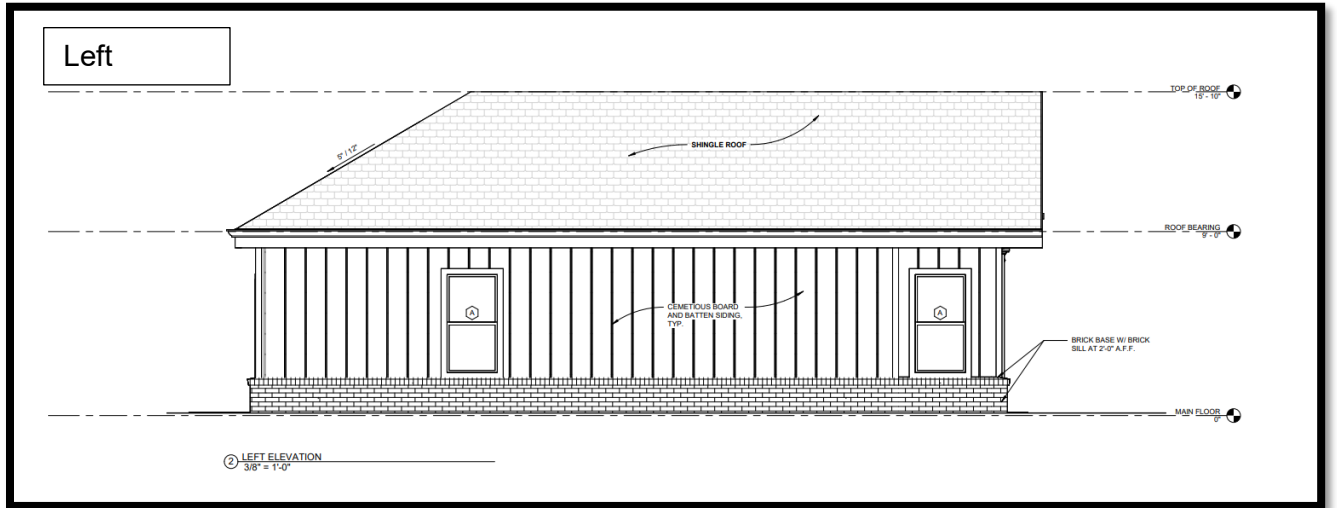
Description of Front Elevation: The front elevation consists of vertical cementitious board and batten siding, cementitious horizontal lap siding, a brick water table with a rowlock course, and a decorative wood truss.



Description of the rear elevation: The rear elevation shows cementitious board and batten siding along with a brick water table with a rowlock course and two single-hung windows.

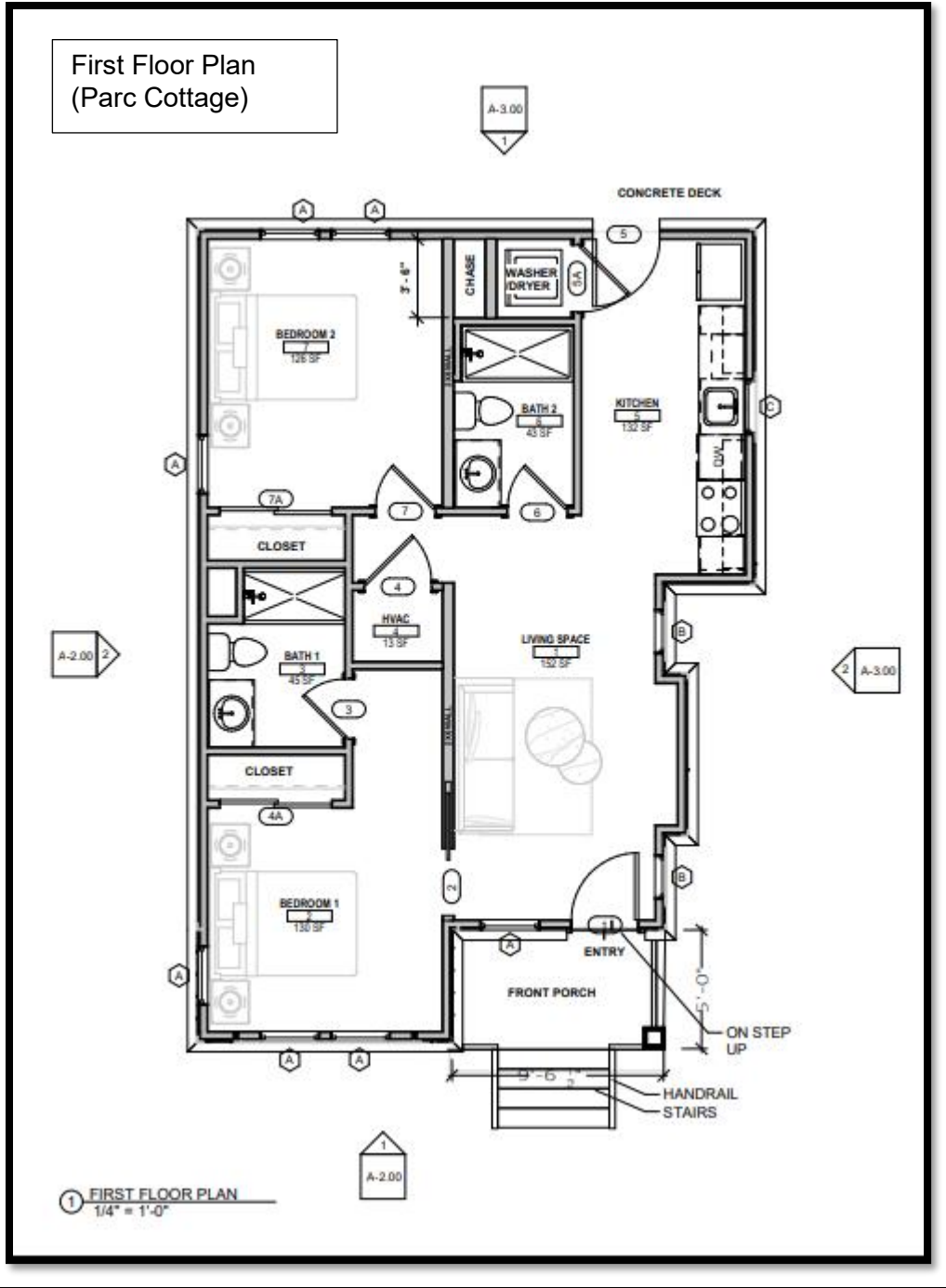
Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)

Discussion Items for rear elevation: N/A



Description of left and right elevation: Both sides feature cementitious board and batten siding along a brick water table. The right elevation includes a wood decorative support bracket (truss).

Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)



Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Alabaster (SW) ^{Sherwin} Williams	Fiber Cement
Primary Façade:	Light French Gray (SW)	Fiber Cement
Primary Façade: Third	N/A	
Left Side:	Alabaster (SW)	Fiber Cement
Left Side: Second	Light Gray (SW)	Fiber Cement
Left Side: Third	N/A	N/A
Left Side:	Vintage Wood Paper	Fiber Cement
Right Side:	Vintage Wood Cedar	Fiber Cement
Right Side: Second	N/A	
Right Side:	N/A	
Right Side:	N/A	
Rear: First	Alabaster (SW)	Fiber Cement
Rear: Second	Light French Gray (SW)	Fiber Cement
Rear: Third	N/A	
Rear: Basemnt	N/A	

REVISED JAN 2024

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Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071


COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	N/A	N/A
Garage Doors	N/A	N/A
Trim	Peppercon (SW)	Fiber Cement
Mortar	N/A	N/A
Gutters	Peppercon (SW)	Aluminum
Corner Board	Peppercon (SW)	Fiber Cement
Railings	Tricon Black (SW)	steel
Windows	Peppercon (SW)	Vinyl
Window Sills	Peppercon (SW)	Vinyl
Window Muntin/Mullin	N/A	N/A
Columns	Peppercon Peppercon (SW)	Pressure treated wood
Other Architectural Features	Accent siding multiple colors	Fiber Cement
Other Architectural		

REVISED JAN 2024

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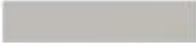

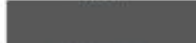



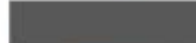

Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)



Exterior Paint and Siding Colors



NORTH PARK COTTAGES
A NORCROSS COMMUNITY

Exterior

Paint Colors	Siding Colors
 Light French Gray (Base)	 Vintagewood Black
 Peppercorn (Trim)	 Vintagewood Poplar
 Alabaster (Base)	 Vintagewood Cedar
 Peppercorn (Trim)	 Vintagewood Bark



Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)

Exterior Materials and Colors

Goals

Materials chosen for the exterior of a building are a significant component in the appearance and "feel" of a building. Certain materials have an air of permanence, such as brick and stone. Wood is a natural material that can be utilized in a variety of finishes for different looks. Wood can also last indefinitely with periodic repair and repainting as long as it is kept free from moisture. As new technologies emerge in the building industry, materials may be introduced that resemble traditional building materials in appearance, especially regarding exterior cladding. New, composite materials (typically a combination of wood and plastic fibers) may be considered for use in the DDD as long as they can meet or exceed the performance of the material they are imitating. It is important that alternate materials closely replicate original materials in size, texture, profile and surface treatment. Well-known alternate materials that do not perform well over time, and that do not replicate the appearance of original materials, include vinyl and metal siding. Metal siding can corrode or dent, and vinyl can melt, crack and distort as it contracts and expands with changes in temperature. Metal and vinyl siding are not permanent replacement materials and require yearly maintenance. Synthetic stucco systems (foam backed panels with applied stucco veneer) are another material that does not conform to the durability, texture or surface treatment of traditional stucco. Significant attention must be given to the application of stucco for it to perform appropriately.

Guidelines for All Development Types

- 3.5.1.1 The façade treatments should contain uniformity in use of materials. The use of architectural materials only on the front elevation of a residence is prohibited.
- 3.5.1.2 The façade of a building facing or visible from public right-of-way shall contain a combination of architectural treatments, windows, and doors such that the maximum allowable unbroken façade distance for each building or side of building visible from the right-of-way shall be twenty (20) feet. Such controls shall pertain to both the vertical and horizontal elevations. All commercial buildings should have a distinguishable base and cornice for each level of the building.
- 3.5.1.3 "Blank facades" that do not feature windows, doors or architectural treatments are strictly prohibited from the DDD.
- 3.5.1.4 Gutters and downspouts that are specifically designed for the task must be used; the use of PVC conduit, piping and other such materials that are not specifically designed as gutters or downspouts is prohibited.
- 3.5.1.5 All building facades must be designed to have a recognizable base, field and fascia/cornice.
- 3.5.1.6 Multi-family residential and commercial buildings must be designed to provide façade articulation, including the use of façade projections (12" minimum), changes in siding texture or material, use of detail such as trim and brackets, or the addition of windows, porches or balconies.
- 3.5.1.7 Building elements and façade details must be proportional to the scale of the building.
- 3.5.1.8 When building materials are applied to the exterior of a building they should be detailed to provide proper drainage so that water does not accumulate on flat areas or decorative crevices. Excessive moisture can cause mortar joint deterioration, metal corrosion and wood deterioration.
- 3.5.1.9 Approved building materials include brick, stone, wood, and wood shakes/shingles.

Exterior Materials and Colors

Guidelines for All Development Types

- 3.5.1.10 Alternative building materials approved through the design review process include, but are not limited to, stucco, synthetic stucco, and composite materials such as hardiplank type siding. The use of most contemporary stucco products such as stucco covered foam insulation boards, or stucco/cement panels is only permitted on a case-by-case basis. Seek guidance from the ARB staff prior to considering this material. To evaluate such materials the ARB must determine if the alternative material meets the following standards:
1. Has physical properties (texture, color, dimensions) similar to those of traditional building materials; and or that it will be installed in a manner that tolerates differences;
 2. At least meets similar performance expectations as those of traditional building materials; and
 3. Be applied in such a manner that a passerby would not discern a difference between the composite or synthetic material from that of the traditional building it is replacing. If an alternative material meets these required standards (determined by the ARB) it may be used within the district.
- 3.5.1.11 Building materials that are prohibited include, but are not limited to, plain concrete block, mirrored glass, metal siding and vinyl siding.
- 3.5.1.12 The application of faux veneer panels, such as brick, asphalt shingles, EFIS and plywood is prohibited.
- 3.5.1.13 Neutral traditional building color palettes are encouraged. Colors should blend with neighboring buildings.
- 3.5.1.14 Chosen colors must be approved by the ARB on a case-by-case basis except when located within the National and Local Historic Districts. Suggested color palettes include: 1. "Victorian" by Sherwin Williams; 2. "Arts and Crafts" by Sherwin Williams; 3. "Jazz Age" by Sherwin Williams; 4. "Streamlined Years" by Sherwin Williams; and 5: "Historical Color Collection" by Benjamin Moore.
- 3.5.1.15 The painting of masonry will be approved on a case-by-case basis.
- 3.5.1.16 Retain and maintain original exterior materials if at all possible. Such materials can include masonry, metal, wood or other historic materials.
- 3.5.1.17 Regularly inspect exterior materials in order to identify, evaluate and treat causes of deterioration, such as leaking gutters, roofs or flashing; cracks or holes; faulty caulking; insect infestation or vegetative growth.
- 3.5.1.18 Retain historic surface treatment coatings on exterior materials, such as paint or original varnishes, in order to protect the material from moisture and ultraviolet light. Paint removal is inappropriate for a historically painted surface unless deteriorated surface treatments need to be removed prior to replacement. Careful removal of paint must be completed by hand scraping, hand sanding, thermal devices and limited use of chemical strippers where necessary.
- 3.5.1.19 Exterior materials that were historically unpainted must generally remain unpainted. Appropriate non-historic protective coatings may be applied to exterior materials where needed to protect the original material, such as in areas of high pedestrian use.
- 3.5.1.20 When replacement of exterior materials is necessary, replace only deteriorated materials and match the original material in size, shape, profile, texture, and type.
- 3.5.1.21 When repair or replacement of new mortar is needed, the new mortar must duplicate the old in strength, composition, color, texture, and mortar joint width. A high content of Portland cement must not be used in repointing historic masonry joints.
- 3.5.1.22 Historic stucco facing must be repaired with stucco mixture that comes very close to duplicating the original material in both appearance and texture.

SECTION 3.5 | EXTERIOR MATERIALS AND COLORS

ARCHITECTURAL AND SITE DESIGN STANDARDS

Exterior Materials and Colors

Guidelines for All Development Types

- 3.5.1.23 The application of non-historic exterior siding, such as brick veneers, asphalt shingle siding, and contemporary or faux stucco products (stucco coated foam insulation board and cement panels), dryvit, metal siding, vinyl siding and plywood, over historic materials is not appropriate within the district.
- 3.5.1.24 The use of composite or synthetic material to replace deteriorated historic material on a building must meet one of the following circumstances: a. the unavailability of historic materials; b. the unavailability of skilled craftsmen; c. inherent flaws in the original materials; or d. code-required changes.
- 3.5.1.25 All construction shall include a combination of architectural treatment of brick or stone masonry, stucco, wood, or other durable materials.
- 3.5.1.26 The application of architectural details that do not belong to the period or style of the district is not appropriate.
- 3.5.1.27 Building design features must be obtained from the project's area of influence.
- 3.5.1.28 Architectural features must promote architectural interest.
- 3.5.1.29 Architectural features on new construction must have balance and not create a cluttered appearance.
- 3.5.1.30 All detailing of architectural elements and materials will be undertaken so that joints of dissimilar materials are kept to a minimum and are not seen from the public right-of-way. All detailing will be appropriately scaled to the new construction utilizing historic precedent.
- 3.5.1.31 The addition of materials, architectural details, and light fixtures that do not belong to the period or style of the historic building is not appropriate.
- 3.5.1.32 When deteriorated elements must be replaced, new materials must be compatible with the original in terms of size, design, and hardware.
- 3.5.1.33 If gutters and downspouts are deteriorated and need to be replaced, new gutters and downspouts should be similar to the original in materials and appearance.
- 3.5.1.34 Approved primary building materials include brick, tile masonry and stone. Primary building materials considered on a case-by-case basis include concrete that is textured or scored, split-faced block, stucco (including stucco with a smooth Cementous finish and synthetic stucco), and Hardi-Plank equivalent for siding.
- 3.5.1.35 Secondary building materials that are acceptable include pre-cast masonry (for trim and cornice elements only), Gypsum Reinforced Fiber Concrete (GFRC – for trim elements only), and metal (for lintels, beams, trim elements and ornamentation).
- 3.5.1.36 Building materials that are prohibited include metal and aluminum siding, simulated brick, plain concrete block (CMU) and mirrored glass. Portable buildings are prohibited.

SECTION 3.5 | EXTERIOR MATERIALS AND COLORS

STANDARDS

Guidelines for Residential Developments

- 3.5.3.1 All residential construction shall include a combination of architectural treatments, such as brick or stone masonry, stucco, wood, or other durable materials. If masonry materials are used a minimum of (3) three facades must use the masonry material.
- 3.5.3.2 The reveal (exposed portion) of siding will be a minimum of four inches and shall not exceed six (6) inches.
- 3.5.3.3 Corner boards should have the same width and depth as the siding reveal, and are not permitted to be greater than two inches of the siding reveal, or less than one inch of the siding reveal.
- 3.5.3.4 When historical documentation exists, new shutters must be appropriate to the style and period of the building in terms of material and design.



Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)



Elevation #2 for August ARB Meeting

Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)



Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)



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Attachment: COA2025-029 Staff Report - August Meeting (25-7379 : COA2025-029 West Peachtree Street)

Recommendations

Should the ARB decide to grant approval, Staff recommends the following conditions:

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address: 646 West Peachtree Street	Lot # 253	Tax Parcel ID: <i>Pin (6523027)</i>	
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name: <i>Techie NPC Ltd. Liability Co</i>	Phone: <i>770-570-9449</i>		
Address: <i>3120 Godby Road Unit 1103</i>	City: <i>College Park</i>	State: <i>GA</i>	Zip Code: <i>30349</i>
APPLICANT			
Applicant Name: <i>Booker Washington</i>	Phone: <i>770-570-9449</i>		
Company Name: <i>Techie Homes</i>	Email: <i>booker@techie-homes.com</i>		
Address: <i>730 Peachtree St Ste 570</i>	City: <i>Atlanta</i>	State: <i>GA</i>	Zip Code: <i>30308</i>
DESCRIPTION OF PROJECT			
Project Type <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed: <i>Planned Residential Community of 21 cottage homes provided under the zoning. New construction residential community. New construction will consist of both one-story and two-story cottages.</i>			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please list the board and reference number: _____			
OWNER'S SIGNATURE			
Signature: <i>[Signature]</i>	Date: <i>6/2/2025</i>		
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with https://eplansolution.com/norcrossga Hard copies of application materials will not be accepted.			

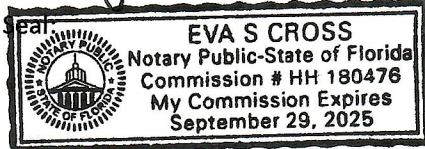
Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



Owner Affidavit

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

Booker Washington / CEO *646 W. Peachtree St PIN (6530)*

Section I. Land Ownership	
I, <i>[Redacted]</i> , hereby attest to ownership of the property located at <i>[Redacted]</i> , Parcel ID# <i>[Redacted]</i> for which this Application is submitted. The Ownership, as recorded on the deed, is in the name of <i>[Redacted]</i> .	
Section II. Type of Ownership	
<input checked="" type="checkbox"/> Individual <input type="checkbox"/> Corporation/LLC <input type="checkbox"/> Partnership <input type="checkbox"/> Government	
Corporation/LLC/Partnership Name: <i>Techie NPC LTD</i>	Secretary of State Registration Number: <i>2501572</i>
<i>[Redacted]</i>	Registered Agent Name: <i>Registered Agents Inc.</i>
Provide Names of all Officers/Members/General Partners (If applicable): <i>Booker Washington, Managing Member / CEO</i>	
Registered Agent Address: <i>3120 Goodby Rd / Oldge Park GA 30319</i>	Registered Agent Phone #: <i>7705709449</i>
COMPLETE BY OWNER	
As the owner of the above designated property for which this affidavit is submitted, I wish to allow <i>Techie NPC LTD</i> (applicant's name) to apply for a <i>PRD</i> for the address mentioned in Section I of this form. I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief.	
NOTARY	
Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.	Sworn and subscribed before me this <u>2</u> day of <u>June</u> , 20 <u>25</u> .
Name: <i>Booker Washington</i>	Notary Public: <i>[Signature] Eva Cross</i>
Address: <i>730 Peachtree St #530 Atlanta GA 30308</i>	
City, State, Zip Code: <i>Atlanta, Ga 30308</i>	
Email address: <i>booker@techie-homes.com</i>	
Phoner Number: <i>7705709449</i>	
Owner's signature: <i>[Signature]</i>	Commission expires: <i>September 29, 2025</i>

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

The Parc Floor Plan

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width: 20' 2"	Length: 26' 4"	Height:* 25' 2 5/8"
Area Dimensions:		
First Floor: 640 522	Second Floor: 438	Third Floor: N/A
Basement**: N/A	Front Porch: 346 36	Rear Porch: N/A
Patio: N/A	Garage: N/A	
Primary Roof System: (Circle One)		
Gable	Hip	Gambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch: 12" / 9"		
Secondary Roof Pitch: 4" / 12"		
Additional Roof Pitch: N/A		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number 646 W. Peachtree St Lot # 253	Scale with scale bar 1/4" = 1' 0"	Scaled measurement for each floor level and building elevation as shown
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

Foundation Type: (Circle One)		
Slab	<u>Crawl Space</u>	Basement
Building Dimensions:		
Width: 24' 9"	Length: 36' 2"	Height:* 15' 10"
Area Dimensions:		
First Floor: 640 sqft	Second Floor: NA	Third Floor: NA
Basement**: N/A	Front Porch: 346 sqft	Rear Porch: N/A
Patio: 305 305ft	Garage: NA	
Primary Roof System: (Circle One)		
<u>Gable</u>	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch: 12" 7"		
Secondary Roof Pitch: 12" 7" 5" 12"		
Additional Roof Pitch: N/A		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number 646 W. Peachtree St LOT 253	Scale with scale bar 1/4" = 1' 0"	Scaled measurement for each floor level and building elevation as shown
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Alabaster (SW) ^{slamin} _{william}	Fiber cement
Primary Façade:	Light French Gray (SW)	Fiber cement
Primary Façade: Third	N/A	
Left Side:	Alabaster (SW)	Fiber cement
Left Side: Second	Light Gray (SW)	Fiber cement
Left Side: Third	N/A	N/A
Left Side:	Vintage Wood Poplar	Fiber cement
Right Side:	Vintage Wood Cedar	Fiber cement
Right Side: Second	N/A	
Right Side:	N/A	
Right Side:	N/A	
Rear: First	Alabaster (SW)	Fiber cement
Rear: Second	Light French Gray (SW)	Fiber cement
Rear: Third	N/A	
Rear: Basemnt	N/A	

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	N/A	N/A
Garage Doors	N/A	N/A
Trim	Peppercorn (SW)	Fiber Cement
Mortar	N/A	N/A
Gutters	Peppercorn (SW)	Aluminum
Corner Board	Peppercorn (SW)	Fiber Cement
Railings	Tricon Black (SW)	steel
Windows	Peppercorn (SW)	Vinyl
Window Sills	Peppercorn (SW)	Vinyl
Window Muntin/Mulli	N/A	N/A
Columns	Peppercorn Peppercorn (SW)	Pressure treated wood
Other Architectural Features	Accent siding multiple colors	Fiber Cement
Other Architectural		

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
 65 Lawrenceville Street Norcross, GA 30071

ARCHITECTURAL REVIEW BOARD MEETING CALENDAR		
Pre-Application Submittal Deadline	Application Submittal Deadlines	ARB Meeting
11/28/2023	12/5/2023	1/16/2024
12/27/2023	1/2/2024	2/20/2024
1/16/2024	1/23/2024	3/19/2024
2/27/2024	3/5/2024	4/16/2024
4/2/2024	4/9/2024	5/21/2024
4/30/2024	5/7/2024	6/18/2024
5/28/2024	6/4/2024	7/16/2024
6/25/2024	7/2/2024	8/20/2024
7/23/2024	7/30/2024	9/17/2024
8/27/2024	9/3/2024	10/15/2023
9/24/2024	10/1/2024	11/19/2024
10/22/2023	10/29/2024	12/17/2024

HISTORIC PRESERVATION COMMISSION MEETING CALENDAR			
Pre-application Meeting Deadline	Application Submittal Deadline		Historic Preservation Commission Meeting
12/5/2023	12/12/2023		1/24/2024
1/9/2024	1/16/2024		2/28/2024
2/6/2024	2/13/2024		3/27/2024
3/5/2024	3/12/2024		4/24/2024
4/2/2024	4/9/2024		5/22/2024
5/7/2024	5/14/2024		6/26/2024
6/4/2024	6/11/2024		7/24/2024
7/2/2024	7/9/2024		8/28/2024
7/30/2024	8/6/2024		9/25/2024
9/3/2024	9/10/2024		10/23/2024
10/8/2024	10/15/2024		11/27/2024

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027

65 Lawrenceville Street Norcross, GA 30071

ARCHITECTURAL REVIEW BOARD/ HISTORIC PRESERVATIONS REVIEW FEES		
Commercial/Industrial Major Reviews	Major Project Reviews	\$500
Commercial/Industrial Reviews	Minor improvements to façade	\$150
Residential Major Review	New Residential Construction in the City or Historic District	\$150
Residential Minor/Administrative Staff Review	Minor improvements or alterations in the City or Historic District/Administrative Staff Review	\$25
Historic Demolition	Historic Demolition Review	\$500

Attachment: COA2025-029 ARB Application (25-7379 : COA2025-029 West Peachtree Street)



Department of Community Development

TO: Architectural Review Board
FROM: LeDarius Scott
DATE: August 19, 2025
SUBJECT: COA2025-005 5786 Hammond Drive
CC:

Please review attached Staff Reports and supporting documents for submitted application.

Consideration of a front porch.

[COA2025-005 Staff Report](#)

[COA2025-005 Application Revised](#)



Meeting Date: 08/19/2025 at 6:00 PM

Petition Number: COA2025-005

Project Type:

Consideration of a front porch

Property Location:

5786 Hammond Drive

Tax Parcel ID:

6215 079

Petitioner:

Nancy Herrera

Petitioner's Request:

Consideration of a front porch

Vicinity Map:



Attachment: COA2025-005 Staff Report (25-7413 : COA2025-005 5786 Hammond Drive)

Process and the Architectural Review Board

Overview

The Norcross Architectural Review Board (ARB) is the city-appointed body tasked with administering the city's review process by applying the standards in this Architectural and Site Design Standards Manual. ARB is responsible for all areas outside the HPC and ARB is the decision making body for this area. Refer to the official Zoning map of the City of Norcross for boundaries. In order for an applicant to obtain a building permit for a proposed project, the ARB must approve a Certificate of Appropriateness (COA). A COA must be obtained from the ARB prior to the issuance of a building permit.

Scope of ARB

The standards in this manual apply only to exterior features of properties because these features affect the quality of the public environment. Interior features are not addressed. In some cases, proposed changes to the historic landscape and streetscape are addressed by these standards.

The ARB reviews proposals for all new construction projects within the city limits of Norcross, as well as proposals for the exterior remodeling of all existing properties. The only exception to this policy is for the exterior remodeling of existing single-family residences: within the Norcross Historic District a COA must be obtained, but outside the boundaries of the Norcross Historic District a COA is not required. Proposals for new multi-family residential projects, or the rehabilitation of existing multi-family projects, are required to obtain a COA.

Responsibility of ARB

The standards in this manual have been written as principals that will help maintain the unique "sense of place" enjoyed by residents of Norcross. If a design project situation should arise that is not specifically covered in this manual, the ARB is charged with using the ethics represented in this manual, as well as their professional knowledge and aesthetic judgement to render a decision.

PROPERTY INFORMATION	
Property Location	5786 Hammond Drive
Acreage:	0.46 acres
Existing Lot Dimensions:	Lot frontage along Hammond Drive: Approximately 100 feet Lot Depth: Approximately 206 feet
Existing Building Dimensions:	N/A
Topography:	High Point: 964 Low Point: 938
Elevation:	High Point: Front of property Low Point: Rear of property
Encumbrances:	N/A

Project Description

The applicant seeks to demolish and rebuild a 125 square foot front porch for the existing single-family residence. The proposed front porch will be constructed with a siding veneer, a wood vent, wood steps, wood handrails and supported by four (4) 8 by 8 wood posts.

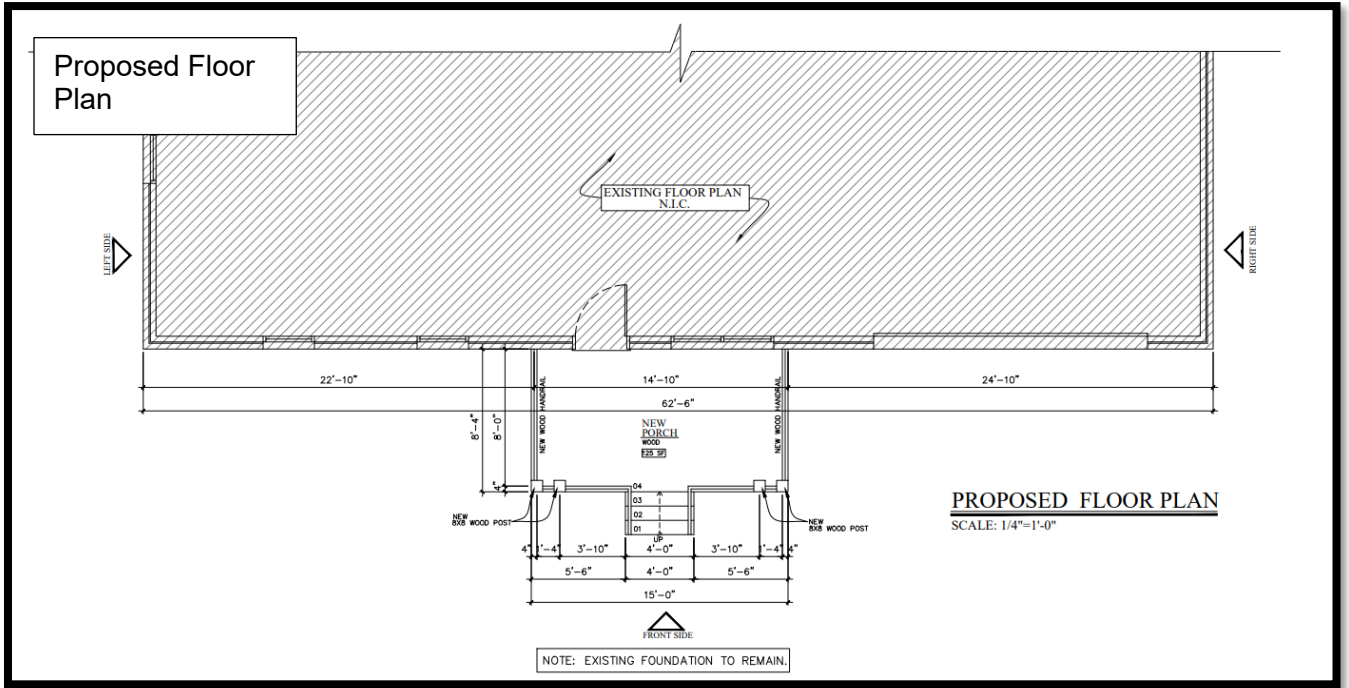
Floor Plan

The applicant’s floor plan shows the proposed footprint of the new porch, which is same size as the existing front porch.

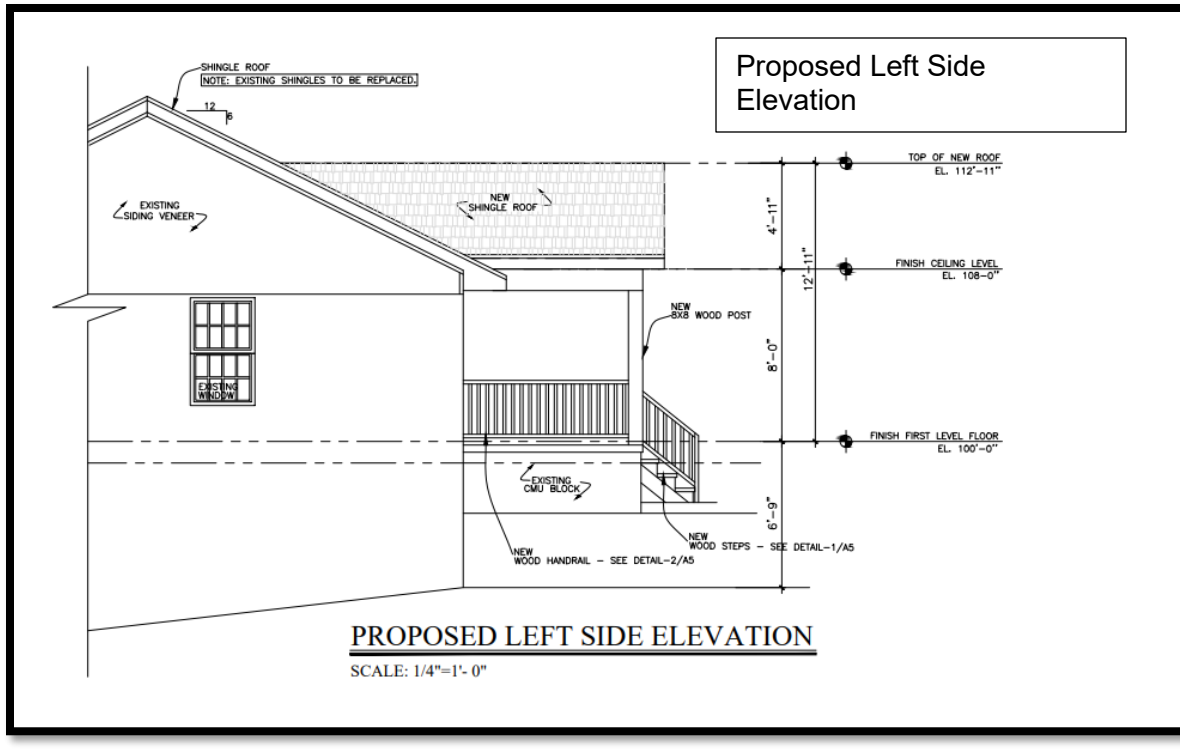
Landscape Plan

The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance, if applicable.

Attachment: COA2025-005 Staff Report (25-7413 : COA2025-005 5786 Hammond Drive)



Attachment: COA2025-005 Staff Report (25-7413 : COA2025-005 5786 Hammond Drive)



Description of Front, Left, and Right Elevations: The proposed front porch will be constructed with a siding veneer, a wood vent, wood steps, wood handrails and supported by four (4) 8 by 8 wood posts.

Discussion Item: Is the wood being used stained, painted, or natural?

Discussion Item: Is the house being repainted to match the proposed colors of the porch?

Applicable Building Standards:

3.7.3.1 Front porches, verandahs and terraces must be at least six feet deep to accommodate porch furniture as well as the passage of one person.

3.7.3.4 Appropriate porch supports will be of "traditional" design, such as square, round, turned, or tapered porch supports. A pier base may be utilized with a porch support and must be made of an approved building material.

3.7.3.6 The primary entrance to a residence must utilize an entrance feature, such as a stoop, verandah, porch, or terrace. These features help identify the entrance as the main entry to the residence.



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Agreeable grey 7029	A100 Paint
Primary Façade:	City Scape 7067	A100 paint
Primary Façade: Third	White	A100 paint
Left Side:	White	A100 paint
Left Side: Second	Agreeable grey 7029	A100 paint
Left Side: Third	City Scape 7067	A100 paint
Left Side:		
Right Side:	City Scape 7067	A100 paint
Right Side: Second	Agreeable grey 7029	A100 paint
Right Side:	White	A100 paint
Right Side:		
Rear: First	City Scape 7067	A100 paint
Rear: Second	Agreeable grey 7029	A100 paint
Rear: Third	White	A100 paint
Rear: Basemnt		

Attachment: COA2025-005 Staff Report (25-7413 : COA2025-005 5786 Hammond Drive)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Agreeable grey 7029	A100 paint
Garage Doors	Black	A100 paint
Trim	White	A100 paint
Mortar		
Gutters	Black	Metal
Corner Board		
Railings	White	Wood/paint
Windows	White	Vinyl
Window Sills	White	Paint
Window Muntin/Mulli	White	
Columns	White	
Other Architectural Features		
Other Architectural		

Attachment: COA2025-005 Staff Report (25-7413 : COA2025-005 5786 Hammond Drive)





Expert Pick
SW 7029

Agreeable Gray

FULL DETAILS ▾

Our best-selling paint color is the perfect complement to just about anything. With a beige undertone, this gray exudes a subtle warmth.

Get this color in a:

 Color Sample	 Paint Sample	 Interior Paint	 Exterior Paint
---	---	---	---





SW 7067

Cityscape

FULL DETAILS ▾

As day shifts into night, you'll discover a new layer of nuance in this deep gray. Its neutral undertone allows endless possibilities for color combinations.

Get this color in a:

 Color Sample	 Paint Sample	 Interior Paint	 Exterior Paint
---	---	---	---

Attachment: COA2025-005 Staff Report (25-7413 : COA2025-005 5786 Hammond Drive)

Recommendations

Should the ARB decide to grant approval, Staff recommends the following conditions:

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address: 5786 Hammond Drive	Lot #	Tax Parcel ID:	
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name: Nancy Herrera	Phone: 404-915-2197		
Address: 5786 Hammond Drive	City: Norcross	State: Ga	Zip Code: 30071
APPLICANT			
Applicant Name: Joshua Landry	Phone: 678-900-2254		
Company Name: N/A	Email: Jjlandry94@gmail.com		
Address: 5786 Hammond Drive	City: Norcross	State: Ga	Zip Code: 30071
DESCRIPTION OF PROJECT			
Project Type <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:			
Demo and rebuild covered front porch/ re roof house			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months?			
<input type="checkbox"/> Yes <input type="checkbox"/> No			
If yes, please list the board and reference number:			
Yes _____			
OWNER'S SIGNATURE			
Signature:	Date:		
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with https://eplansolution.com/norcrossga Hard copies of application materials will not be accepted.			

Attachment: COA2025-005_Application Revised (25-7413 : COA2025-005 5786 Hammond Drive)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width: 8'-4"	Length: 15'	Height: * 12'-11"
Area Dimensions:		
First Floor:	Second Floor:	Third Floor:
Basement**:	Front Porch: 8'-4"x15'	Rear Porch:
Patio:	Garage:	
Primary Roof System: (Circle One)		
Gable Yes	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch: 6:12		
Secondary Roof Pitch: 6:12		
Additional Roof Pitch: 6:12		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: COA2025-005_Application Revised (25-7413 : COA2025-005 5786 Hammond Drive)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Agreeable grey 7029	A100 Paint
Primary Façade:	City Scape 7067	A100 paint
Primary Façade: Third	White	A100 paint
Left Side:	White	A100 paint
Left Side: Second	Agreeable grey 7029	A100 paint
Left Side: Third	City Scape 7067	A100 paint
Left Side:		
Right Side:	City Scape 7067	A100 paint
Right Side: Second	Agreeable grey 7029	A100 paint
Right Side:	White	A100 paint
Right Side:		
Rear: First	City Scape 7067	A100 paint
Rear: Second	Agreeable grey 7029	A100 paint
Rear: Third	White	A100 paint
Rear: Basemnt		

Attachment: COA2025-005_Application Revised (25-7413 : COA2025-005 5786 Hammond Drive)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Agreeable grey 7029	A100 paint
Garage Doors	Black	A100 paint
Trim	White	A100 paint
Mortar		
Gutters	Black	Metal
Corner Board		
Railings	White	Wood/paint
Windows	White	Vinyl
Window Sills	White	Paint
Window Muntin/Mulli	White	
Columns	White	
Other Architectural Features		
Other Architectural		

Attachment: COA2025-005_Application Revised (25-7413 : COA2025-005 5786 Hammond Drive)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

ARCHITECTURAL REVIEW BOARD MEETING CALENDAR		
Pre-Application Submittal Deadline	Application Submittal Deadlines	ARB Meeting
11/28/2023	12/5/2023	1/16/2024
12/27/2023	1/2/2024	2/20/2024
1/16/2024	1/23/2024	3/19/2024
2/27/2024	3/5/2024	4/16/2024
4/2/2024	4/9/2024	5/21/2024
4/30/2024	5/7/2024	6/18/2024
5/28/2024	6/4/2024	7/16/2024
6/25/2024	7/2/2024	8/20/2024
7/23/2024	7/30/2024	9/17/2024
8/27/2024	9/3/2024	10/15/2023
9/24/2024	10/1/2024	11/19/2024
10/22/2023	10/29/2024	12/17/2024

HISTORIC PRESERVATION COMMISSION MEETING CALENDAR		
Pre-application Meeting Deadline	Application Submittal Deadline	Historic Preservation Commission Meeting
12/5/2023	12/12/2023	1/24/2024
1/9/2024	1/16/2024	2/28/2024
2/6/2024	2/13/2024	3/27/2024
3/5/2024	3/12/2024	4/24/2024
4/2/2024	4/9/2024	5/22/2024
5/7/2024	5/14/2024	6/26/2024
6/4/2024	6/11/2024	7/24/2024
7/2/2024	7/9/2024	8/28/2024
7/30/2024	8/6/2024	9/25/2024
9/3/2024	9/10/2024	10/23/2024
10/8/2024	10/15/2024	11/27/2024

Attachment: COA2025-005_Application Revised (25-7413 : COA2025-005 5786 Hammond Drive)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

ARCHITECTURAL REVIEW BOARD/ HISTORIC PRESERVATIONS REVIEW FEES		
Commercial/Industrial Major Reviews	Major Project Reviews	\$500
Commercial/Industrial Reviews	Minor improvements to façade	\$150
Residential Major Review	New Residential Construction in the City or Historic District	\$150
Residential Minor/Administrative Staff Review	Minor improvements or alterations in the City or Historic District/Administrative Staff Review	\$25
Historic Demolition	Historic Demolition Review	\$500

Attachment: COA2025-005_Application Revised (25-7413 : COA2025-005 5786 Hammond Drive)



Owner Affidavit

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

Section I. Land Ownership

I, [REDACTED], hereby attest to ownership of the property located at [REDACTED], Parcel ID# [REDACTED] for which this Application is submitted. The Ownership, as recorded on the deed, is in the name of [REDACTED].

Section II. Type of Ownership

Individual Corporation/LLC Partnership Government

Corporation/LLC/Partnership Name:

Secretary of State Registration Number:

[REDACTED]

Registered Agent Name:

Provide Names of all Officers/Members/General Partners (If applicable):

N/A

Registered Agent Address: N/A

Registered Agent Phone #: N/A

COMPLETE BY OWNER

As the owner of the above designated property for which this affidavit is submitted, I wish to allow Joshua Landry (applicant's name) to apply for a BUILDING PERMIT for the address mentioned in Section I of this form. I attest that the application is made in good faith and that any information contained in the application is accurate and complete to the best of my knowledge and belief.

NOTARY

Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.

Sworn and subscribed before me this _____ day of _____, 20_____.

Notary Public:

Name: Nancy Herrera

Seal:

Address: 5786 Hammond Drive

City, State, Zip Code: Norcross GA 30071

Email address: jlandry84@gmail.com

Phoner Number: (404) 915-2997

Owner's signature:

Commission expires:

Attachment: COA2025-005_Application Revised (25-7413 : COA2025-005 5786 Hammond Drive)



Department of Community Development

TO: Architectural Review Board
FROM: LeDarius Scott
DATE: August 19, 2025
SUBJECT: COA2025-016 473 Lawrenceville Street
CC:

Please review attached Staff Reports and supporting documents for submitted application.

Addition of a single-family residence.

[COA2025-016 Staff Report](#)

[COA2025-016 Application](#)



Meeting Date: 08/19/2025 at 6:00 PM

Petition Number: COA2025-016

Project Type:	Addition to a single-family residence
Property Location:	473 Lawrenceville Street
Tax Parcel ID:	6255 080
Petitioner:	Mauricio Patino
Petitioner's Request:	Addition to a single-family residence

Vicinity Map:



Attachment: COA2025-016 Staff Report (25-7414 : COA2025-016 473 Lawrenceville Street)

Process and the Architectural Review Board

Overview

The Norcross Architectural Review Board (ARB) is the city-appointed body tasked with administering the city's review process by applying the standards in this Architectural and Site Design Standards Manual. ARB is responsible for all areas outside the HPC and ARB is the decision making body for this area. Refer to the official Zoning map of the City of Norcross for boundaries. In order for an applicant to obtain a building permit for a proposed project, the ARB must approve a Certificate of Appropriateness (COA). A COA must be obtained from the ARB prior to the issuance of a building permit.

Scope of ARB

The standards in this manual apply only to exterior features of properties because these features affect the quality of the public environment. Interior features are not addressed. In some cases, proposed changes to the historic landscape and streetscape are addressed by these standards.

The ARB reviews proposals for all new construction projects within the city limits of Norcross, as well as proposals for the exterior remodeling of all existing properties. The only exception to this policy is for the exterior remodeling of existing single-family residences: within the Norcross Historic District a COA must be obtained, but outside the boundaries of the Norcross Historic District a COA is not required. Proposals for new multi-family residential projects, or the rehabilitation of existing multi-family projects, are required to obtain a COA.

Responsibility of ARB

The standards in this manual have been written as principals that will help maintain the unique "sense of place" enjoyed by residents of Norcross. If a design project situation should arise that is not specifically covered in this manual, the ARB is charged with using the ethics represented in this manual, as well as their professional knowledge and aesthetic judgement to render a decision.

PROPERTY INFORMATION	
Property Location	473 Lawrenceville Street
Acreage:	0.66 acres
Existing Lot Dimensions:	Lot frontage along Lawrenceville Street: Approximately 44 feet Lot Depth along Beutell Street: Approximately 256 feet
Existing Building Dimensions:	N/A
Topography:	High Point: 1036 Low Point: 1026
Elevation:	High Point: North Low Point: South
Encumbrances:	N/A

Project Description

The applicant seeks to add a 144-square-foot bathroom addition to the rear of an existing single-family home. It is important to note that work has already started on the addition.

Site Plan

The applicant’s site plan shows the footprint of the existing single-family residence. The addition can meet the prescribed setbacks for a R75 lot.

Landscape Plan

The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance.

Applicable Building Standards

3.5.1.34 Approved primary building materials include brick, tile masonry and stone. Primary building materials considered on a case-by-case basis include concrete that is textured or scored, split-faced block, stucco (including stucco with a smooth Cementous finish and synthetic stucco), and Hardi-Plank equivalent for siding.

Attachment: COA2025-016 Staff Report (25-7414 : COA2025-016 473 Lawrenceville Street)

Picture 1: Existing Home's Front Elevation facing Beutell Street



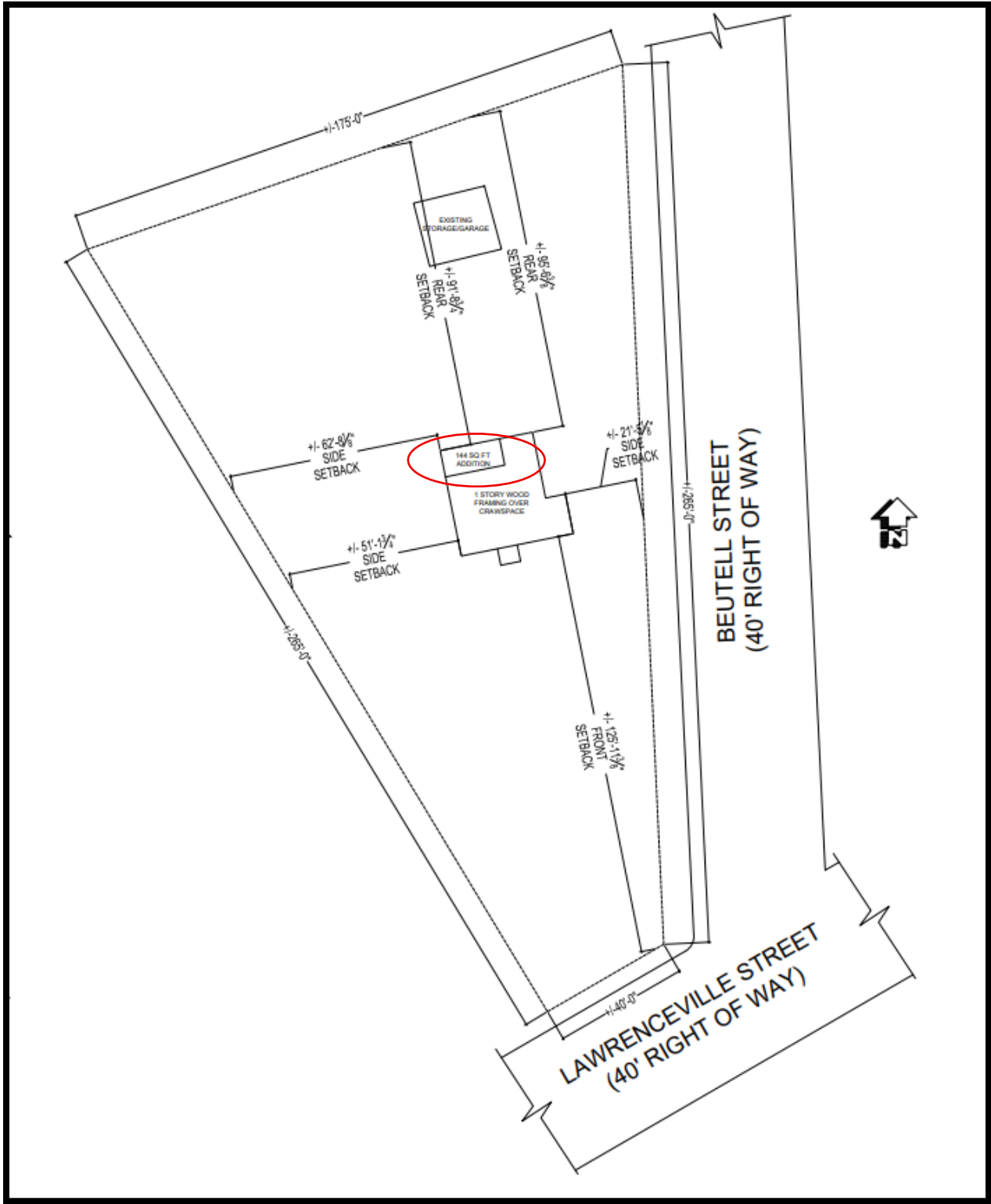
Attachment: COA2025-016 Staff Report (25-7414 : COA2025-016 473 Lawrenceville Street)

Picture #2: Existing Home's side facing Beutell Street and the Rear



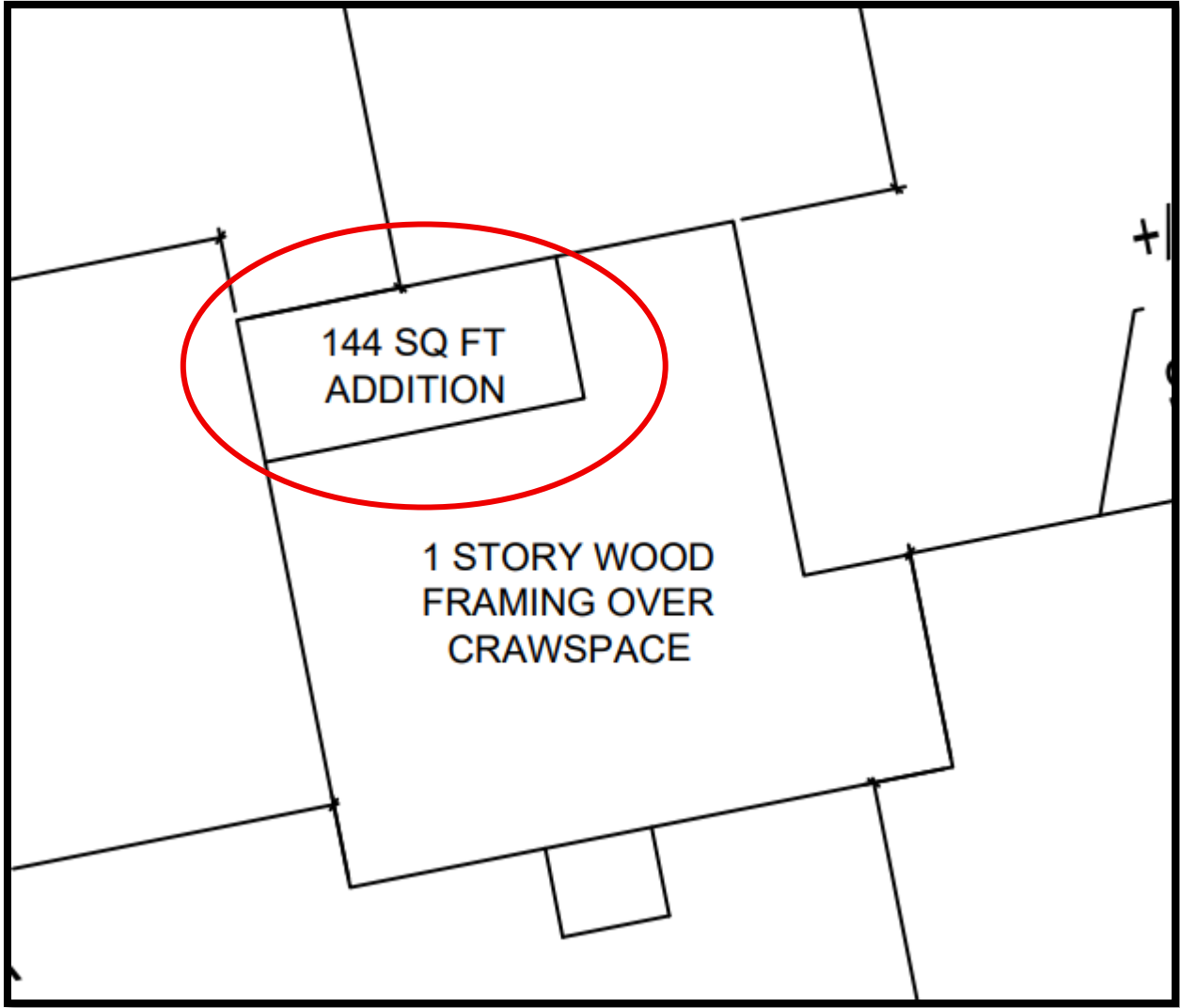
Attachment: COA2025-016 Staff Report (25-7414 : COA2025-016 473 Lawrenceville Street)

Site Plan



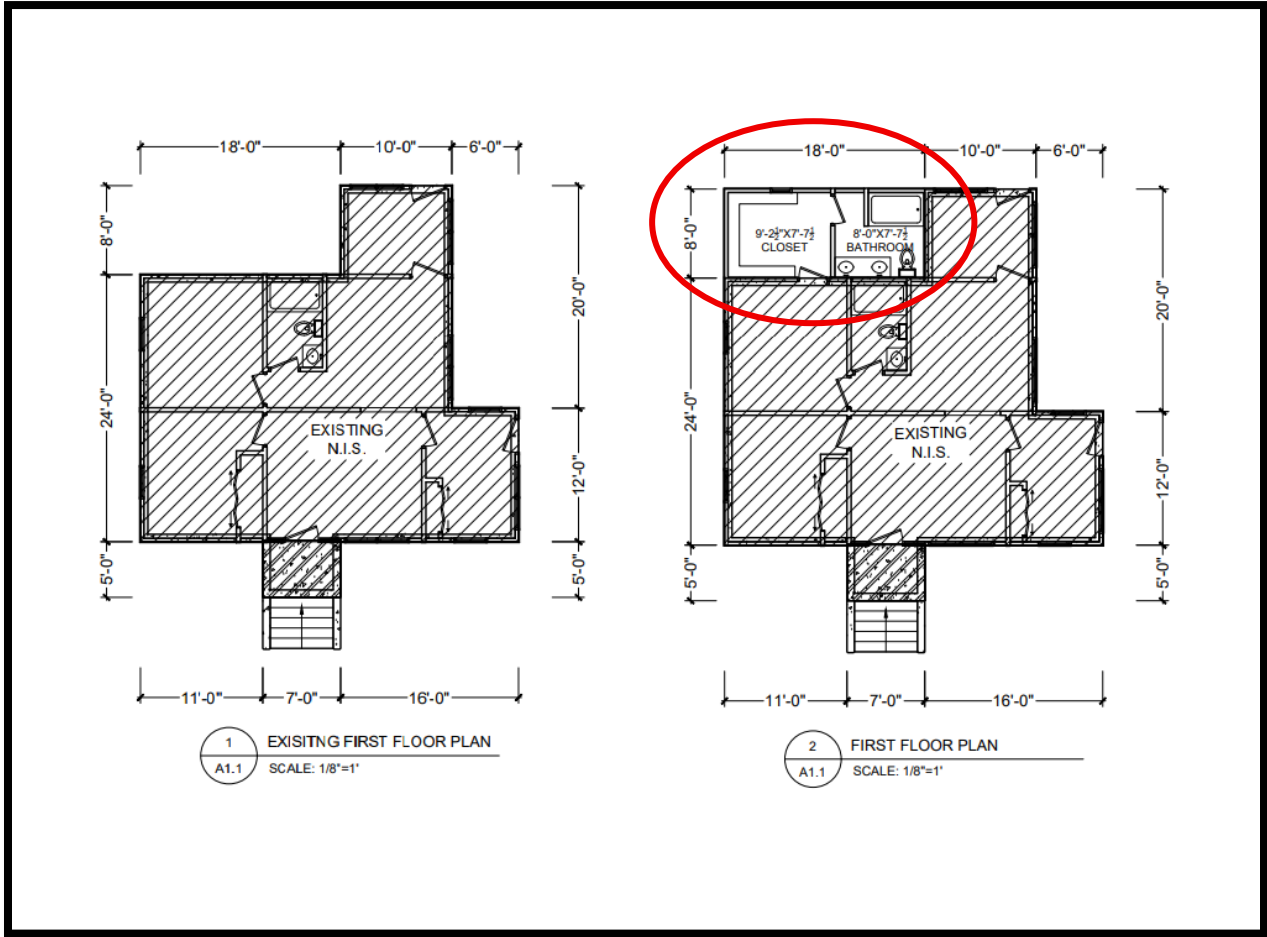
Attachment: COA2025-016 Staff Report (25-7414 : COA2025-016 473 Lawrenceville Street)

Site Plan (Zoomed In)



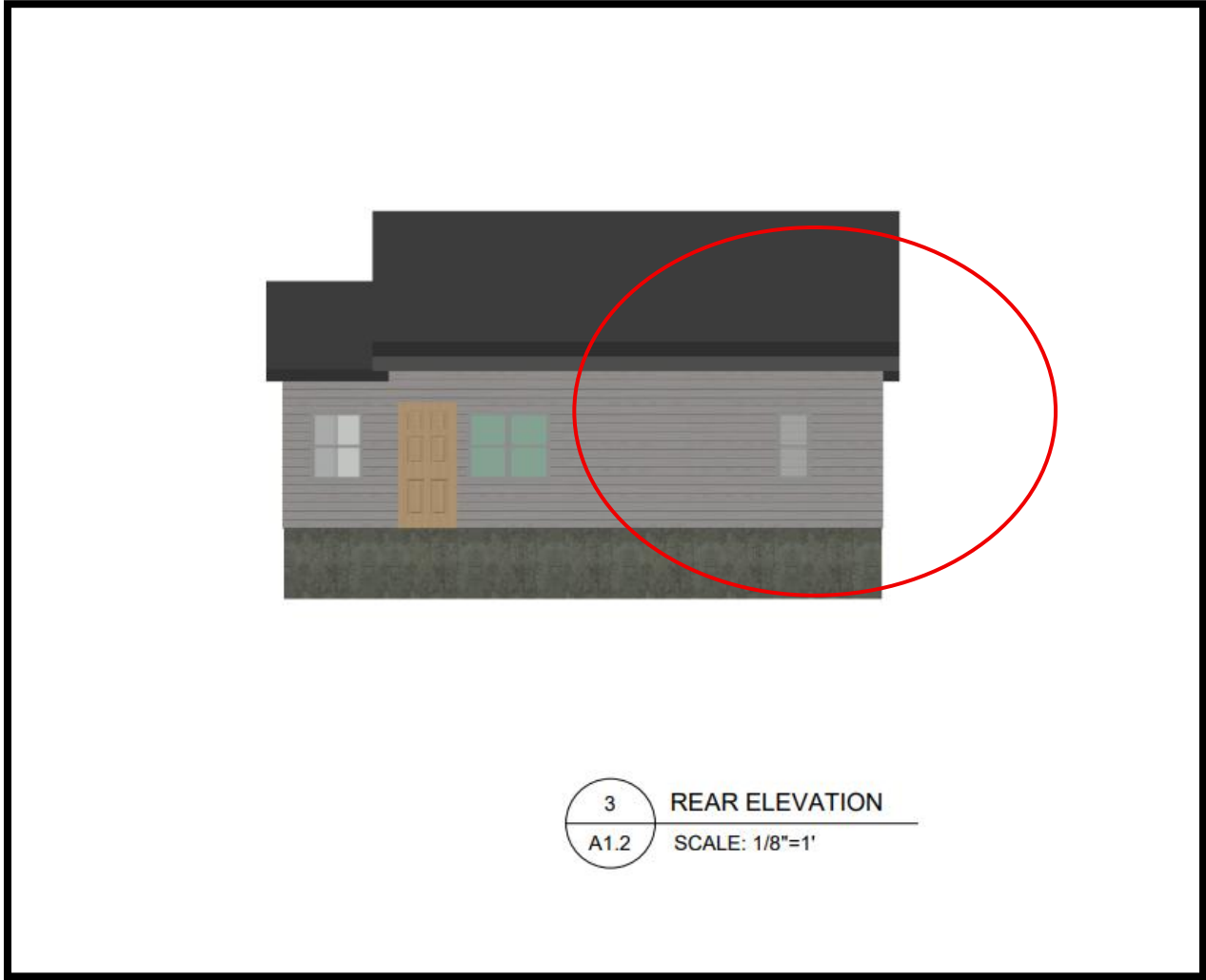
Attachment: COA2025-016 Staff Report (25-7414 : COA2025-016 473 Lawrenceville Street)

Proposed Floor Plan

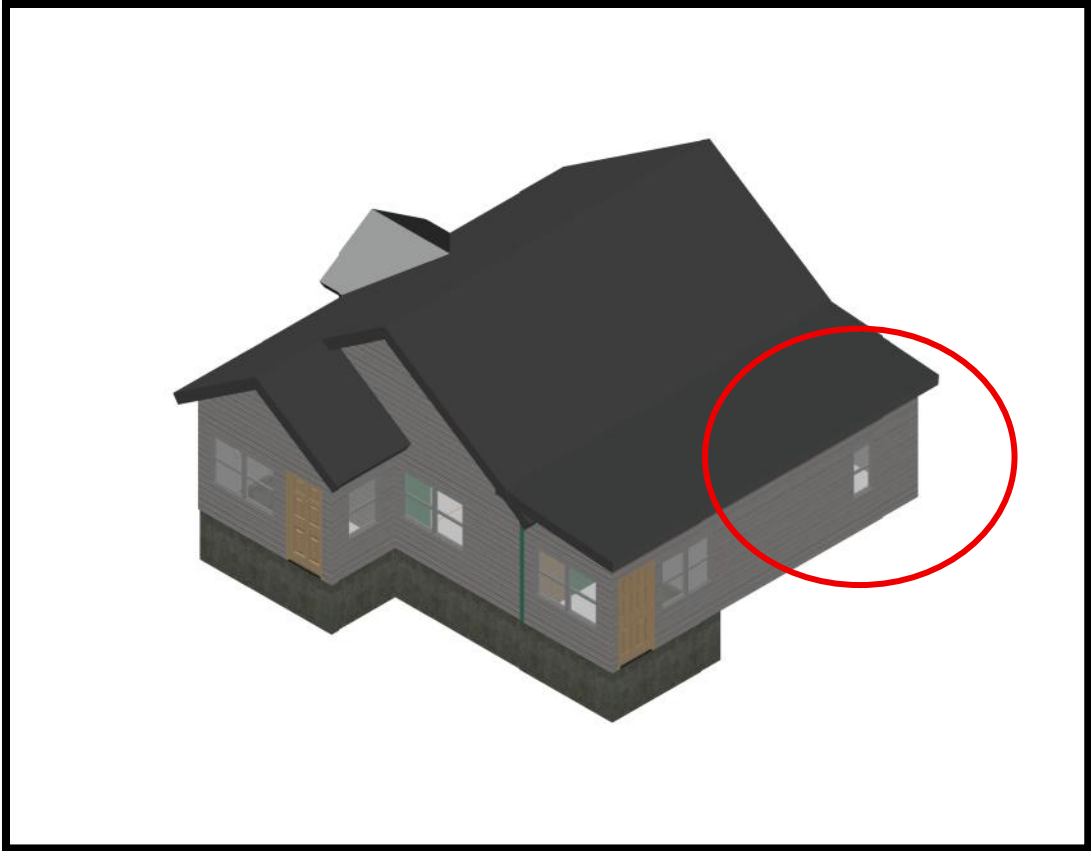


Attachment: COA2025-016 Staff Report (25-7414 : COA2025-016 473 Lawrenceville Street)

Proposed Rear Elevations:



Attachment: COA2025-016 Staff Report (25-7414 : COA2025-016 473 Lawrenceville Street)

A screenshot of a paint product page for Sunbeam 8007-5D. The page features a large color swatch on the left and product details on the right. The details include the product name 'SUNBEAM', the code '8007-5D', and a section for 'COLOR INFORMATION' with a minus sign icon. Below this, there are three columns: 'Family' (White), 'Undertone' (Cool), and 'LRV' (89.0). Another row shows 'RGB' (242, 244, 234) and 'HEX' (#f2f4ea). At the bottom, there are three buttons: 'Add Chip To Cart', 'Order Paint Sample', and 'Order Paint Online'. The text 'AVAILABLE AT LOWE'S' and 'Get free store pickup and shipping at Lowes.com' is also present.

SUNBEAM
8007-5D

COLOR INFORMATION -

Family White	Undertone Cool	LRV ? 89.0
RGB ? 242, 244, 234	HEX ? #f2f4ea	

Add Chip To Cart Order Paint Sample ↗

AVAILABLE AT LOWE'S
Get free store pickup and shipping at Lowes.com

Order Paint Online ↗

Attachment: COA2025-016 Staff Report (25-7414 : COA2025-016 473 Lawrenceville Street)

Description of Rear Elevation: Proposed elevation(s) shows a concrete siding finish. There will be one window added to the addition. The proposed color is Sunbeam (8007-5D), which will match the existing color of the home.

City of Norcross Architectural Review Board Meeting for August 19, 2025, at 6:00 PM



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First		
Primary Façade:		
Primary Façade: Third		
Left Side:		
Left Side: Second		
Left Side: Third		
Left Side:		
Right Side:		
Right Side: Second		
Right Side:		
Right Side:		
Rear: First	Sunbeam 18007-5D	Concrete Siding
Rear: Second		
Rear: Third		
Rear: Basemnt		

Attachment: COA2025-016 Staff Report (25-7414 : COA2025-016 473 Lawrenceville Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry		
Garage Doors		
Trim		
Mortar		
Gutters		
Corner Board		
Railings		
Windows	1 exterior (white)	GLASS
Window Sills		
Window Muntin/Mulli		
Columns		
Other Architectural Features		
Other Architectural		

REVISED JAN 2024

4

Attachment: COA2025-016 Staff Report (25-7414 : COA2025-016 473 Lawrenceville Street)

Recommendations

Should the ARB decide to grant approval, Staff recommends the following conditions:

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

JOB LOCATION			
Job Site Address: <i>473 Lawrenceville st</i>	Lot #	Tax Parcel ID:	
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name: <i>Mauricio Patiño Cortina</i>		Phone: <i>404-453-2415</i>	
Address: <i>473 Lawrenceville St</i>	City: <i>Norcross</i>	State: <i>GA</i>	Zip Code: <i>30071</i>
APPLICANT			
Applicant Name: <i>Mauricio Patiño</i>		Phone: <i>404-453-2415</i>	
Company Name:		Email:	
Address: <i>473 Lawrenceville</i>	City: <i>Norcross</i>	State: <i>GA</i>	Zip Code: <i>30071</i>
DESCRIPTION OF PROJECT			
Project Type <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed: <i>Addition of a full bathroom consisting of shower/tub, toilet and vanity. Full Dimensions of addition: 16'x8' 10' height at base of house to 7' at end of extension.</i>			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please list the board and reference number: _____			
OWNER'S SIGNATURE			
Signature: <i>Marcos Patiño</i>		Date: <i>08-18-2025</i>	
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with https://eplansolution.com/norcrossga Hard copies of application materials will not be accepted.			

Attachment: COA2025-016 Application (25-7414 : COA2025-016 473 Lawrenceville Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width: 8	Length: 16	Height:* 10
Area Dimensions:		
First Floor: Yes	Second Floor:	Third Floor:
Basement**:	Front Porch:	Rear Porch:
Patio:	Garage:	
Primary Roof System: (Circle One)		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch:		
Secondary Roof Pitch:		
Additional Roof Pitch:		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		

Attachment: COA2025-016 Application (25-7414 : COA2025-016 473 Lawrenceville Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
 65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First		
Primary Façade:		
Primary Façade: Third		
Left Side:		
Left Side: Second		
Left Side: Third		
Left Side:		
Right Side:		
Right Side: Second		
Right Side:		
Right Side:		
Rear: First	<i>Rear First floor Bathroom</i>	<i>See attachments</i>
Rear: Second		
Rear: Third		
Rear: Basemnt		

Attachment: COA2025-016 Application (25-7414 : COA2025-016 473 Lawrenceville Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
 65 Lawrenceville Street Norcross, GA 30071

COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry		
Garage Doors		
Trim		
Mortar		
Gutters		
Corner Board		
Railings		
Windows	1 exterior (white)	Plastic/glass
Window Sills		
Window Muntin/Mulli		
Columns		
Other Architectural Features		
Other Architectural		

Attachment: COA2025-016 Application (25-7414 : COA2025-016 473 Lawrenceville Street)



Certificate of Appropriateness Application

Community Development Department Phone: 678-421-2027
65 Lawrenceville Street Norcross, GA 30071

ARCHITECTURAL REVIEW BOARD MEETING CALENDAR

Pre-Application Submittal Deadline	Application Submittal Deadlines	ARB Meeting
12/01/2024	12/08/2024	01/21/2025
12/30/2024	01/06/2025	02/18/2025
01/27/2025	02/03/2025	03/18/2025
02/24/2025	03/03/2025	04/15/2025
03/31/2025	04/07/2025	05/20/2025
04/28/2025	05/05/2025	06/17/2025
05/26/2025	06/02/2025	07/15/2025
06/30/2025	07/07/2025	08/19/2025
07/28/2025	08/04/2025	09/16/2025
09/01/2025	09/08/2025	10/21/2025
09/29/2025	10/06/2025	11/18/2025
10/27/2025	11/03/2025	12/16/2025

HISTORIC PRESERVATION COMMISSION MEETING CALENDAR

Pre-application Meeting Deadline	Application Submittal Deadline	Historic Preservation Commission Meeting
12/01/2024	12/08/2024	01/22/2025
01/06/2025	01/13/2025	02/26/2025
02/03/2025	02/10/2025	03/26/2025
03/03/2025	03/10/2025	04/23/2025
04/07/2025	04/14/2025	05/28/2025
05/05/2025	05/12/2025	06/25/2025
06/02/2025	06/09/2025	07/23/2025
07/07/2025	07/14/2025	08/27/2025
08/04/2025	08/11/2025	09/24/2025
09/01/2025	09/08/2025	10/22/2025
10/06/2025	10/13/2025	11/26/2025
11/03/2025	11/10/2025	12/24/2025

ARCHITECTURAL REVIEW BOARD/ HISTORIC PRESERVATIONS REVIEW FEES		
Commercial/Industrial Major Reviews	Major Project Reviews	\$500
Commercial/Industrial Reviews	Minor improvements to façade	\$150
Residential Major Review	New Residential Construction in the City or Historic District	\$150
Residential Minor/Administrative Staff Review	Minor improvements or alterations in the City or Historic District/Administrative Staff Review	\$25
Historic Demolition	Historic Demolition Review	\$500

Attachment: COA2025-016 Application (25-7414 : COA2025-016 473 Lawrenceville Street)



Department of Community Development

TO: Architectural Review Board
FROM: LeDarius Scott
DATE: August 19, 2025
SUBJECT: COA2025-034 6028 Lanier Boulevard
CC:

Please review attached Staff Reports and supporting documents for submitted application.

Consideration of Rear Additions and a Front Porch.

[COA2025-034 Staff Report](#)

[COA2025-034 Certificate of Appropriateness Application 2025](#)



Meeting Date: 08/19/2025 at 6:00 PM

Petition Number: COA2025-034

Project Type:

Consideration of Rear Additions and Porch

Property Location:

6028 Lanier Boulevard

Tax Parcel ID:

6215 135

Petitioner:

Nichelle Bell

Petitioner's Request:

Consideration of Rear Additions and Front Porch

Vicinity Map:



Attachment: COA2025-034 Staff Report (25-7415 : COA2025-034 6028 Lanier Boulevard)

Process and the Architectural Review Board

Overview

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Scope of ARB

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Responsibility of ARB

The standards in this manual have been written as principals that will help maintain the unique "sense of place" enjoyed by residents of Norcross. If a design project situation should arise that is not specifically covered in this manual, the ARB is charged with using the ethics represented in this manual, as well as their professional knowledge and aesthetic judgement to render a decision.

PROPERTY INFORMATION	
Property Location	6028 Lanier Boulevard
Acreage:	0.35 acres
Existing Lot Dimensions:	Lot frontage along Lanier Boulevard: 85 feet Lot Depth: 180 feet
Existing Building Dimensions:	N/A
Topography:	High Point: 1064 Low Point: 1052
Elevation:	High Point: West Low Point: Southeast corner
Encumbrances:	N/A

Project Description

The applicant seeks to add two (2) additions to the existing residence: one adjacent to the eastern property line; and one adjacent to the western property line. The proposed rear additions will extend the master suite and add a separate family room and bedroom. According to the application, the proposed color of the additions will be Behr Premium TIS-352 or Pecan Satin with a Hardie Siding Material finish. Although not a part of the Certificate of Appropriateness scope of work, the applicant is also proposing a front porch for the existing home, and a rowlock brick sill for an existing window on the left elevation to match the existing windows that are attached to the existing brick façade on the residence.

Site Plan

The applicant’s site plan shows the footprint of the existing one (1) story residence, a 65 square-foot pad for the proposed front porch, and the two (2) one story additions to the rear of the existing home. As it pertains to the additions’ adherence to the R75 lot development standards, the front porch and additions meet the prescribed front setback, side setbacks, rear setback, and impervious coverage.

Landscape Plan

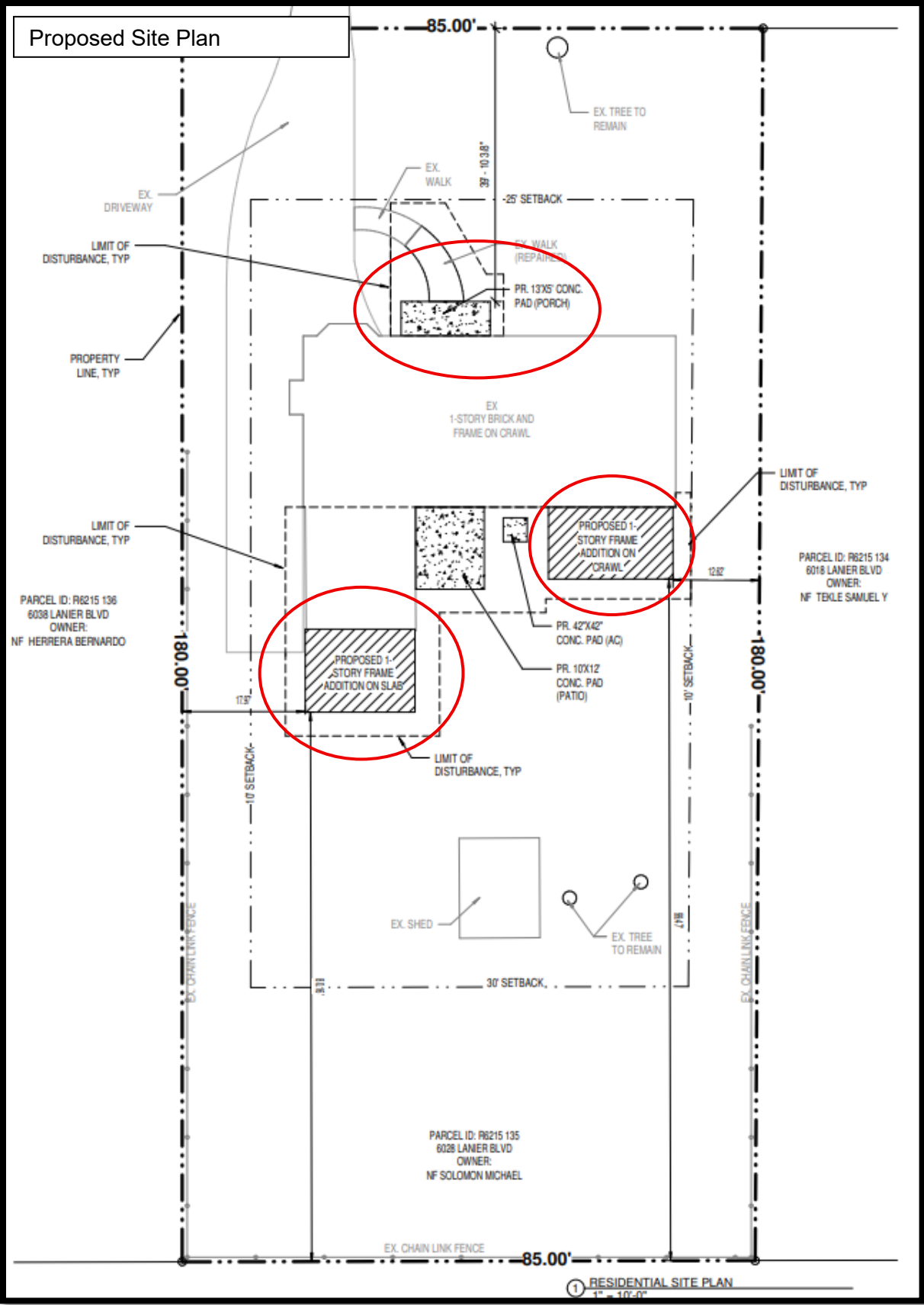
The applicant will be required to install the tree density units as specified by the Arborist as well as all other landscaping and foundation plantings as required by the Architectural Design Standards and the Unified Development Ordinance, if applicable.

Attachment: COA2025-034 Staff Report (25-7415 : COA2025-034 6028 Lanier Boulevard)

Existing Conditions:

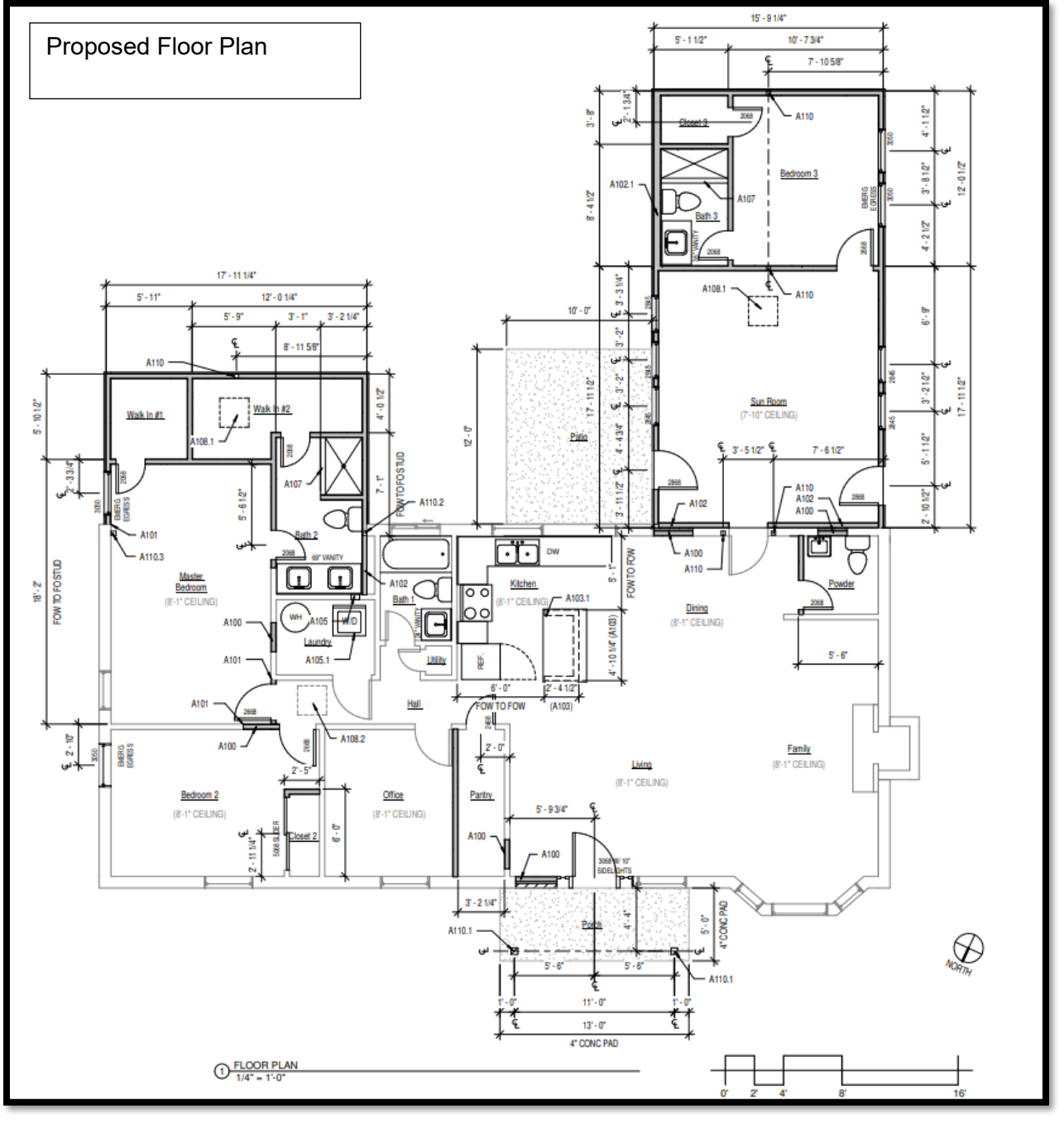


Attachment: COA2025-034 Staff Report (25-7415 : COA2025-034 6028 Lanier Boulevard)

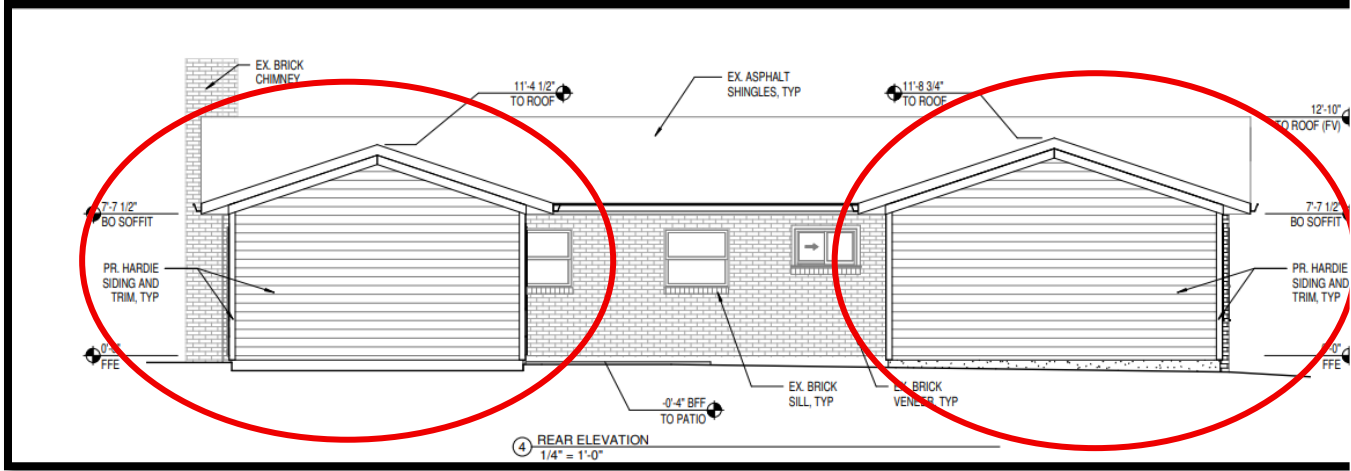


Attachment: COA2025-034 Staff Report (25-7415 : COA2025-034 6028 Lanier Boulevard)

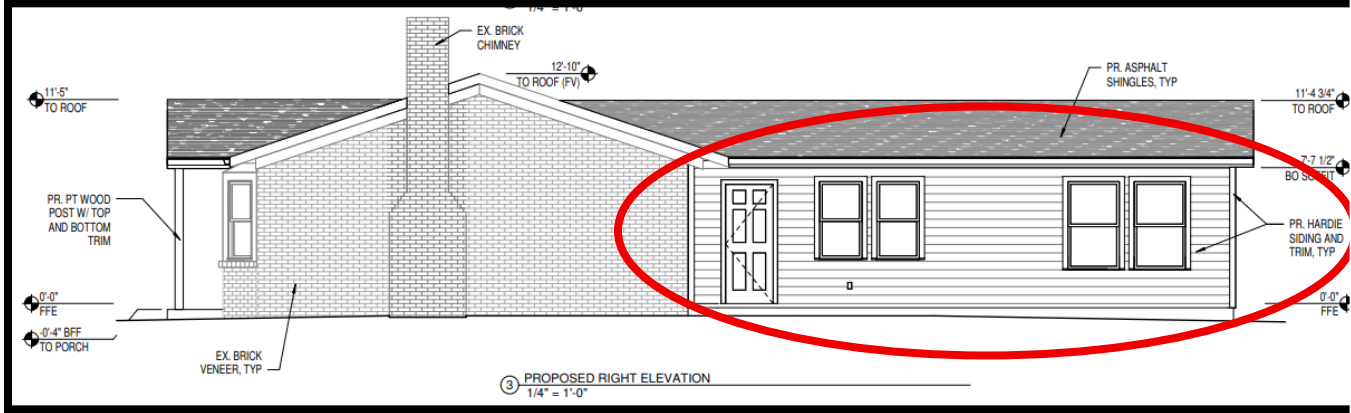
Proposed Floor Plan



Attachment: COA2025-034 Staff Report (25-7415 : COA2025-034 6028 Lanier Boulevard)

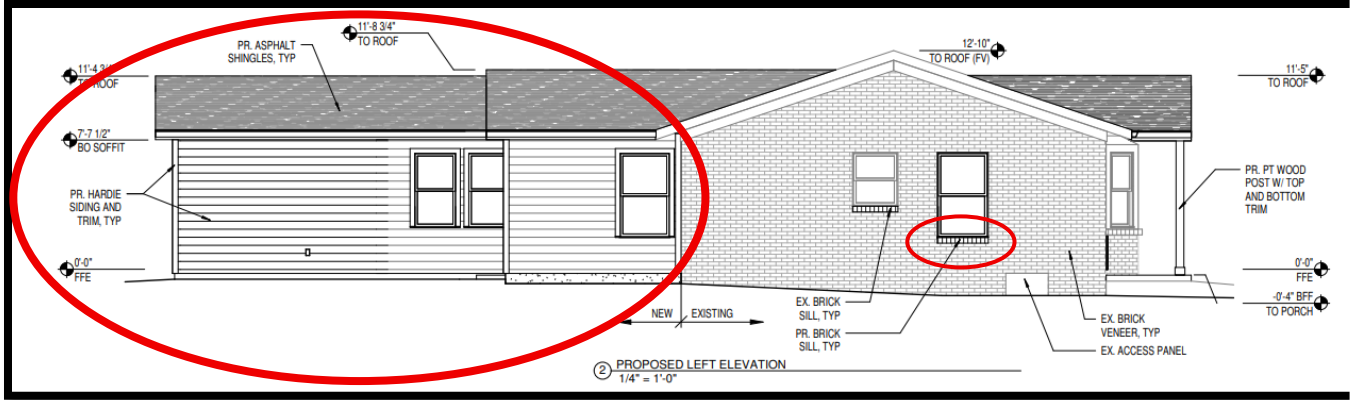


Description of Proposed Rear Elevation: The proposed rear elevation shows both the left and right additions with proposed hardie siding material.

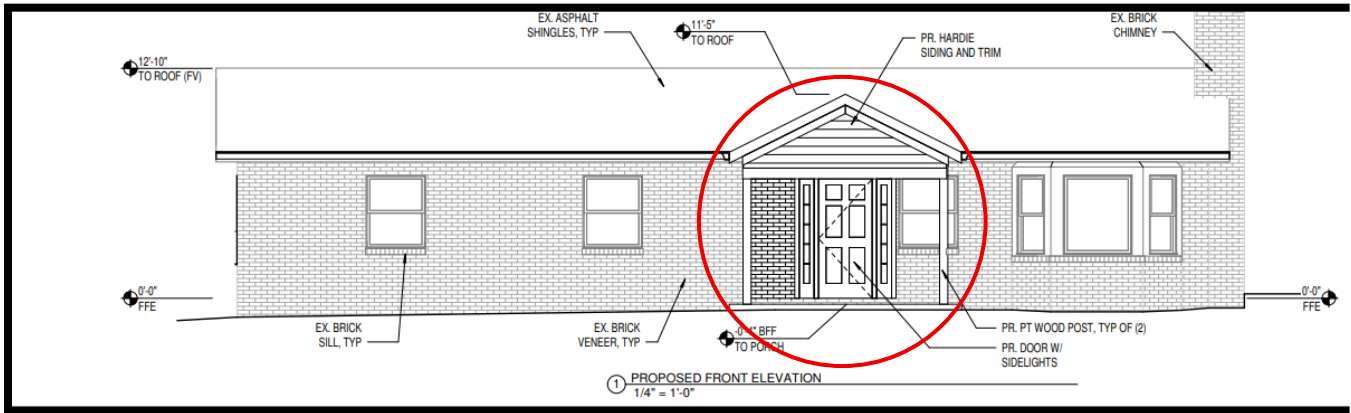


Description of Proposed Right Elevation: The proposed right-side elevation shows a fenestration of single-hung windows, a door that leads to the sunroom, and an addition made of hardie siding.

Attachment: COA2025-034 Staff Report (25-7415 : COA2025-034 6028 Lanier Boulevard)



Description of Proposed Left Elevation: The proposed left addition shows where the additions begin, which shows a fenestration of single-hung windows and hardie siding material for the addition. Although not a part of the Certificate of Appropriateness requests, the proposed left elevation shows the addition of a rowlock brick sill under an existing single-hung window.



Description of Proposed Front Elevation: The proposed front elevation shows the existing front façade and the proposed front porch, which consists of a truss made of hardie plank and is supported by two (2) wood posts. There is also a proposed door with sidelights.

Discussion Items: What are the proposed color(s) for the wood posts, door, and siding?

Attachment: COA2025-034 Staff Report (25-7415 : COA2025-034 6028 Lanier Boulevard)

Applicable Building Standards:

3.5.1.9 Approved building materials include brick, stone, wood, and wood shakes/shingles.

3.5.1.25 All construction shall include a combination of architectural treatment of brick or stone masonry, stucco, wood, or other durable materials.

3.7.3.1 Front porches, verandahs and terraces must be at least six feet deep to accommodate porch furniture as well as the passage of one person;

3.5.3.2 The reveal (exposed portion) of siding will be a minimum of four inches and shall not exceed six (6) inches.

3.5.3.3 Corner boards should have the same width and depth as the siding reveal, and are not permitted to be greater than two inches of the siding reveal, or less than one inch of the siding reveal.



Certificate of Appropriateness Application

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65 Lawrenceville Street Norcross, GA 30071

ELEVATION COLOR AND MATERIAL PLACEMENT ADDENDUM (Façade and sides)		
Component	Color (Include manufacturer's ID)	Material
Primary Façade: First	Existing brick	Brick veneer
Primary Façade:	Behr Premium TIS-352 Pecan Satin	Hardie siding
Primary Façade: Third		
Left Side:	Behr Premium TIS-352 Pecan Satin	Hardie siding
Left Side: Second		
Left Side: Third		
Left Side:		
Right Side:	Behr Premium TIS-352 Pecan Satin	Hardie siding
Right Side: Second		
Right Side:		
Right Side:	Behr Premium TIS-352 Pecan Satin	Hardie siding
Rear: First		
Rear: Second		
Rear: Third		
Rear: Basemnt		



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COLOR AND MATERIAL PLACEMENT ADDENDUM (Exterior Components)		
Component	Color (Include manufacturer's ID)	Material
Masonry	Existing	Brick veneer
Garage Doors		
Trim	Behr Ultra, BWC-21 Poetic light satin enamel	Painted wood
Mortar	Existing	Standard mortar
Gutters	Standard white or match trim	Metal
Corner Board	Behr Ultra, BWC-21 Poetic light satin enamel	Painted wood
Railings		
Windows	White	Insulated vinyl
Window Sills	White or match window	Vinyl or wood
Window Muntin/Mulli	Daynasty, Espresso Beans PPU5-01D	Vinyl
Columns	Behr Ultra, BWC-21 Poetic light satin enamel	Painted wood
Other Architectural Features		
Other Architectural	SIDING Behr Premium TIS - 352 Pecan Satin	PAINT

REVISED JAN 2025

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Attachment: COA2025-034 Staff Report (25-7415 : COA2025-034 6028 Lanier Boulevard)

Recommendations

Should the ARB decide to grant approval, Staff recommends the following conditions:

1. The applicant is reminded that this approval assumes general conformance with the adopted City of Norcross Architectural and Site Design Standards and Unified Development Ordinance. The applicant and/or builder is responsible for conforming with any specific design standard or UDO code section not addressed in the staff report and Architectural Review Board approval.
2. Any changes from the Architectural Review Board approved component shall require ARB approval at another public hearing.
3. An architectural inspection shall occur prior to release of the certificate of completion or occupancy to confirm compliance with the ARB's approval.



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JOB LOCATION			
Job Site Address:	6028 Lanier Blvd	Lot #	Tax Parcel ID: R6215 135
LANDOWNER OF RECORD			
If applicant is not the owner, as listed on the property deed, a letter from the owner authorizing the proposed work must be included along with the owner's phone number and address.			
Name:	Michael Solomon	Phone:	314-629-5241
Address:	6028 Lanier Blvd	City:	Norcross
		State:	GA
		Zip Code:	30071
APPLICANT			
Applicant Name:	Nichelle Bell	Phone:	678-900-4772
Company Name:	Busy Bee Works LLC	Email:	paatl1968@gmail.com
Address:	P.O. Box 115404	City:	Atlanta
		State:	GA
		Zip Code:	30310
DESCRIPTION OF PROJECT			
Project Type <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Other project			
Briefly, yet accurately, describe all new construction, alterations, repairs or other changes to the exterior appearance or site for the property under consideration. Use additional pages as needed:			
INTERIOR RENOATION OF EXISTING RESIDENCE AND TWO PROPOSED ADDITIONS AT REAR. PROPOSED REAR ADDITIONS SHALL EXTEND MASTER SUITE AND ADD A SEPARATE FAMILY ROOM AND BEDROOM SUITE. WORK INCLUDES ASSOCIATED FRAMING, ELECTRICAL, PLUMBING, AND MECHANICAL.			
STATEMENT			
Has this property been before the Mayor and Council, Downtown Development Authority, Architectural Review Board, Board of Appeals or Board of Planning and Zoning within the last 24 months?			
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If yes, please list the board and reference number:			

OWNER'S SIGNATURE			
Signature:		Date:	07/01/2025
NOTE: Please submit electronic copies online of site plan, landscape plan, floor plans, paint palettes, as well as photos for all proposed building materials, light fixtures, windows, and doors, along with this application form by creating an account with https://eplansolution.com/norcrossga Hard copies of application materials will not be accepted.			

Attachment: COA2025-034_Certificate of Appropriateness Application 2025 (25-7415 : COA2025-034 6028 Lanier Boulevard)



Certificate of Appropriateness Application

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Attachment: COA2025-034_Certificate of Appropriateness Application 2025 (25-7415 : COA2025-034 6028 Lanier Boulevard)

ARCHITECTURAL REVIEW BOARD MEETING CALENDAR

Pre-Application Submittal Deadline	Application Submittal Deadlines	ARB Meeting
12/01/2024	12/08/2024	01/21/2025
12/30/2024	01/06/2025	02/18/2025
01/27/2025	02/03/2025	03/18/2025
02/24/2025	03/03/2025	04/15/2025
03/31/2025	04/07/2025	05/20/2025
04/28/2025	05/05/2025	06/17/2025
05/26/2025	06/02/2025	07/15/2025
06/30/2025	07/07/2025	08/19/2025
07/28/2025	08/04/2025	09/16/2025
09/01/2025	09/08/2025	10/21/2025
09/29/2025	10/06/2025	11/18/2025
10/27/2025	11/03/2025	12/16/2025

HISTORIC PRESERVATION COMMISSION MEETING CALENDAR

Pre-application Meeting Deadline	Application Submittal Deadline	Historic Preservation Commission Meeting
12/01/2024	12/08/2024	01/22/2025
01/06/2025	01/13/2025	02/26/2025
02/03/2025	02/10/2025	03/26/2025
03/03/2025	03/10/2025	04/23/2025
04/07/2025	04/14/2025	05/28/2025
05/05/2025	05/12/2025	06/25/2025
06/02/2025	06/09/2025	07/23/2025
07/07/2025	07/14/2025	08/27/2025
08/04/2025	08/11/2025	09/24/2025
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ARCHITECTURAL REVIEW BOARD/ HISTORIC PRESERVATIONS REVIEW FEES		
Commercial/Industrial Major Reviews	Major Project Reviews	\$500
Commercial/Industrial Reviews	Minor improvements to façade	\$150
Residential Major Review	New Residential Construction in the City or Historic District	\$150
Residential Minor/Administrative Staff Review	Minor improvements or alterations in the City or Historic District/Administrative Staff Review	\$25
Historic Demolition	Historic Demolition Review	\$500



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Attachment: COA2025-034_Certificate of Appropriateness Application 2025 (25-7415 : COA2025-034 6028 Lanier Boulevard)

Foundation Type: (Circle One)		
Slab	Crawl Space	Basement
Building Dimensions:		
Width: 39'-10"	Length: 52'	Height:* 12'-10"
Area Dimensions:		
First Floor: 2,058	Second Floor:	Third Floor:
Basement**:	Front Porch: 65	Rear Porch:
Patio: 120	Garage:	
Primary Roof System: (Circle One)		
Gable	Hip	Grambel
Mansard	Jerkinhead	Flat
Saltbox	Shed	Other:
Roof Pitches:		
Primary Roof Pitch:	6:12	
Secondary Roof Pitch:		
Additional Roof Pitch:		
Floor and Elevation Plan information to be included on each		
Street Address and Lot Number	Scale with scale bar	Scaled measurement for each floor level and building elevation
Site Plan and Landscape Plan information to be included on each		
Scale with scale bar and North Arrow	Building and driveway foot print	HVAC and utility equipment
Location and type of plantings	List of planting materials	
*Height of building means the vertical distance measured from grade to the highest finished roof surface in the case of flat roofs or to a point at the average height of the highest roof having a pitch.		
**Dwellings with a basement and a third story must submit a grade plan elevation to determine if the residential building has a fourth floor.		



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05/26/2025	06/02/2025	07/15/2025
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Owner's Affidavit

Community Development Department Phone: 678-421-2027 65
Lawrenceville Street Norcross, GA 30071

Section I. Land Ownership
 I, MICHAEL SOLOMON, hereby attest to ownership of the property located at
6028 Lanier Blvd, Parcel ID# R6215135 for which this Application is submitted.
 The Ownership, as recorded on the deed, is in the name of MICHAEL SOLOMON.

Section II. Type of Ownership
 Individual Corporation/LLC Partnership Government Homeowner

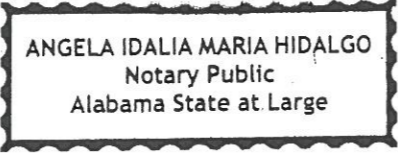
Corporation/LLC/Partnership Name: _____ Secretary of State Registration Number: _____
 Registered Agent Name: _____

Provide Names of all Officers/Members/General Partners (If applicable): _____

Registered Agent Address: _____ Registered Agent Phone #: _____

COMPLETE BY OWNER
 As the owner of the above designated property for which this affidavit is submitted, I wish to allow Nichelle Bell
 (applicant's name) to apply for a Building Permit for the address mentioned in Section I of this form.
 I attest that the application is made in good faith and that any information contained in the application is accurate and
 complete to the best of my knowledge and belief.

NOTARY

Owner states under oath that he/she is the owner of the property described under Section I, which is made part of this Application.	Sworn and subscribed before me this <u>28th</u> day of <u>June</u> , 20 <u>25</u> .
Name: <u>Michael Solomon</u>	Notary Public: <u>Angela Idalia Maria Hidalgo</u>
Address: <u>6028 Lanier Blvd</u>	Seal: 
City, State, Zip Code: <u>Norcross, GA 30027</u>	Commission expires: <u>1/8/2029</u>
Email address: <u>Mike.Solomon@yahoo.com</u>	
Phone Number: <u>314-629-5241</u>	
Owner's signature: 